



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## FH DBE Contract Amendment 001 P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 22, 2020**  
**Issued by:** Scott Gurley

**SCOPE of WORK:** P23G6-FH Amendment 001-20200417

**Ref: COs 1-30**

**DISPOSITION:**

- ☒ Approved  
☐ Rejected

**NARRATIVE:**

☐ See attached documents

Submitted for your review, approval and signature is Contract Amendment #001 for **\$5,445,066.12**. By resolution of the San Mateo County Board of Supervisors amendments to the agreement with FH construction have been authorized up to a maximum amount of \$25,500,000.

Cost: ☐ TBD ☐ Add ☐ Deduct


Schedule: Impact: ☐ Yes ☐ No ☐ TBD

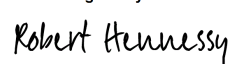
The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS

Robert Hennessy

4/22/2020

**Owner/County PDU Project Manager:**

DocuSigned by:  
  
D149DF838EF04D7...  
(signature) 4/22/2020 (date)  
Scott Gurley  
(printed)

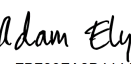
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AB3B77D60A0D483...  
\$5,445,066.12  
OK

Sam Lin

Assistant Director

4/22/2020

**Owner/County PDU Director:**

DocuSigned by:  
  
FB780FA8B4444C9...  
(signature) 4/22/2020 (date)  
Adam Ely  
(printed)

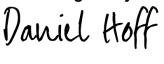
DocuSigned by:  
  
EE1B7F4B372C432...  
\$5,445,066.12  
ok

Karen Rodgers

Reviewed

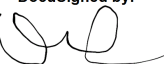
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**FH Construction:**

DocuSigned by:  
  
 5F474CBFF893450...  
 4/22/2020  
 (signature) (date)  
 Daniel Hoff

(Printed)

**County Manager:**

DocuSigned by:  
  
 4F48F896DAB94EF...  
 4/22/2020  
 (signature) (date)  
 Michael Callagy

Agreement No.	R075045
Unifier Cost Account	00 08 00
Total BOS Not-To-Exceed Amount	\$25,500,000.00
Original Contract Amount	\$19,699,197.00
Former Changes	\$0.00
Total Commits/Spends (App 036)	\$22,491,577.40
Available Budget	(\$2,792,380.40)
This Amendment COs (1-30)	\$ 5,445,066.12
Total Authorized Amount	\$25,144,263.12
Balance on Authorization Contract	\$355,736.88



CO	CR	Date	Cost	\$	19,699,197.00	Appr Prev Change running total	Allowance Reductions	Allowance Reduction Amount	Base Contract Allowance
CO 001	CR 8003 Ceiling Heights	8/17/2017	\$ 9,779.14	\$	19,708,976.14				001 Sound Absorbing Walls
CO 002	CR 8004 Cabinet and Countertop revision	9/6/2017	\$ 26,562.00	\$	19,735,538.14	\$ 9,779.14			002 Cages
CO 003	CR 8005 Flooring Revisions	10/30/2017	\$ 198,249.32	\$	19,933,787.46	\$ 36,341.14			003 Hazmat
CO 004	CR 8006 Emergency Generator	10/30/2017	\$ 65,860.23	\$	19,999,647.69	\$ 234,590.46	Allowance 005	\$ (85,000.00)	004 PA
CO 005	CR 8001 Revised HVAC System	11/30/2017	\$ 464,164.33	\$	20,463,812.02	\$ 300,450.69	Allowance 007	\$ (107,000.00)	005 Generator
CO 006	CR 8007 Upgrade Trench Grates	11/30/2017	\$ 57,646.71	\$	20,521,458.73	\$ 764,615.02			006 Autoclave
CO 007	CR 8009 (30%) Floor Plan Revisions	2/5/2018	\$ 198,618.24	\$	20,720,076.97	\$ 822,261.73			007 HVAC Zoning
CO 008	CR 8002 (30%) Flor Plan Revisions Design	3/16/2018	\$ 60,840.75	\$	20,780,917.72	\$ 1,020,879.97			008 Canopies
CO 009	CR 8010 Unforseen Gas Pipe Explore	4/13/2018	\$ 220,542.38	\$	21,001,460.10	\$ 1,081,720.72			009 Kennel Covers
CO 010	CR 8011 Unforssen storm drain system	4/23/2018	\$ 44,729.87	\$	21,046,189.97	\$ 1,302,263.10			010 Owner Allowance
CO 011	CR 8011.1 Extended GCs storm drain	4/25/2018	\$ 137,615.19	\$	21,183,805.16	\$ 1,346,992.97			
CO 012	CR 8012 Design mods and budget adj	5/7/2018	\$ 398,643.84	\$	21,582,449.00	\$ 1,484,608.16	Allowance 001	\$ (85,000.00)	
							Allowance 003	\$ (255,000.00)	
							Allowance 009	\$ (30,000.00)	
							Allowance 010	\$ (350,000.00)	
CO 013	CR 8008 ZNE PV Measures	9/21/2018	\$ 1,066,659.62	\$	22,649,108.62	\$ 1,883,252.00			
CO 014	CR 8016 Water Main Relo	10/4/2018	\$ 286,761.25	\$	22,935,869.87	\$ 2,949,911.62			
CO 015	CR 8015 Finish Floor elevation	12/10/2018	\$ 104,635.67	\$	23,040,505.54	\$ 3,236,672.87			
CO 016	CR 8014 Design Modifications	1/18/2019	\$ 662,069.41	\$	23,702,574.95	\$ 3,341,308.54	Allowance 002	\$ (70,000.00)	
CO 017	CR 8013 PGE Gas Line	3/21/2019	\$ 67,814.86	\$	23,770,389.81	\$ 4,003,377.95			
CO 018	CR 8021 TIA Water Main Modification	3/21/2019	\$ -	\$	23,770,389.81	\$ 4,071,192.81			
CO 019	CR 8018 Rooftop Gas Piping	7/15/2019	\$ 12,416.27	\$	23,782,806.08	\$ 4,071,192.81			
CO 020	CR 8019 ADMP SMP	7/15/2019	\$ 35,359.16	\$	23,818,165.24	\$ 4,083,609.08			
CO 021	CR 8026 Storm Water OM Plan	7/15/2019	\$ 6,192.75	\$	23,824,357.99	\$ 4,118,968.24			
CO 022	CR 8027 ADMP Extras	7/15/2019	\$ 32,063.29	\$	23,856,421.28	\$ 4,125,160.99			
CO 023	CR 8029 Upgrade Plan to solid surface	7/15/2019	\$ 6,483.54	\$	23,862,904.82	\$ 4,157,224.28			
CO 024	CR 8030 Weather Associated	7/17/2020	\$ -	\$	23,862,904.82	\$ 4,163,707.82			
CO 025	CR 8031 Add Lights and Plugs	7/19/2020	\$ 7,825.14	\$	23,870,729.96	\$ 4,163,707.82			
CO 026	CR 8028 Electrical PA	7/19/2019	\$ -	\$	23,870,729.96	\$ 4,171,532.96	Allowance 004	\$ (86,684.18)	
CO 027	CR 8033 Hose bibs		\$ 3,143.01	\$	23,873,872.97	\$ 4,171,532.96			
CO 028	CR 8020 Water Main Extra	9/19/2019	\$ 16,007.05	\$	23,889,880.02	\$ 4,174,675.97			
	CR 8022 Subsurface investigation	9/19/2019	\$ -	\$	23,889,880.02	\$ 4,190,683.02			
	CR 8023 Contaminated Soil	9/19/2019	\$ 87,421.75	\$	23,977,301.77	\$ 4,190,683.02			
	CR 8024 Add power to water fountain	9/19/2019	\$ 2,307.29	\$	23,979,609.06	\$ 4,278,104.77			
	CR 8025 Generator Permit procurement	9/19/2019	\$ 3,744.84	\$	23,983,353.90	\$ 4,280,412.06			
	CR 8032 Added Elec Site work	9/19/2019	\$ 35,463.33	\$	24,018,817.23	\$ 4,284,156.90			
	CR 8034 Dense glass upgrade	9/19/2019	\$ 7,640.58	\$	24,026,457.81	\$ 4,319,620.23			
	CR 8035 Added floor drain at cooler	9/19/2019	\$ 10,698.31	\$	24,037,156.12	\$ 4,327,260.81			
CO 029	CR 8036 Landscape	11/7/2019	\$ 181,354.95	\$	24,218,511.07	\$ 4,337,959.12			
	CR 8037 Fencing Rev	11/7/2019	\$ 268,516.56	\$	24,487,027.63	\$ 4,519,314.07			
	CR 8039 Antenna lighting	11/7/2019	\$ 7,389.08	\$	24,494,416.71	\$ 4,787,830.63			
CO 030	CR 8038.3 Temp Gen	4/7/2020	\$ 136,180.34	\$	24,630,597.05	\$ 4,795,219.71			
	CR 8040 Berm Grading	2/26/2020	\$ 24,581.02	\$	24,655,178.07	\$ 4,931,400.05			
	CR 8041.2 Layer Cake	3/31/2020	\$ 12,644.58	\$	24,667,822.65	\$ 4,955,981.07			
	CR 8042 Add Epoxy	2/19/2020	\$ 6,779.00	\$	24,674,601.65	\$ 4,968,625.65			
	CR 8043.1 Panic alarm	4/7/2020	\$ 4,798.97	\$	24,679,400.62	\$ 4,975,404.65			
	CR 8044.1 Install landscape sleeves	4/16/2020	\$ 5,712.02	\$	24,685,112.64	\$ 4,980,203.62			
	CR 8045.4 Asphalt	4/8/2020	\$ 121,209.66	\$	24,806,322.30	\$ 4,985,915.64			
	CR 8046 Class 2	2/19/2020	\$ 26,835.03	\$	24,833,157.33	\$ 5,107,125.30			
	CR 8047 Soil Import	2/14/2020	\$ 43,628.95	\$	24,876,786.28	\$ 5,133,960.33			
	CR 8048 Med Gas	2/14/2020	\$ 10,792.26	\$	24,887,578.54	\$ 5,177,589.28			
	CR 8049 Temp Access Fencing	3/2/2020	\$ 10,927.95	\$	24,898,506.49	\$ 5,188,381.54			
	CR 8051 Cellular System Fire Alarm	2/25/2020	\$ 3,098.64	\$	24,901,605.13	\$ 5,199,309.49			
	CR 8052 Mail Box Desk Gate	2/21/2020	\$ 4,455.32	\$	24,906,060.45	\$ 5,202,408.13			
	CR 8053.1 Asphalt paving	4/8/2020	\$ 117,308.78	\$	25,023,369.23	\$ 5,206,863.45			
	CR 8055 Access pathways	4/3/2020	\$ 47,429.97	\$	25,070,799.20	\$ 5,324,172.23			
	CR 8057 Spoils relocation grading vdtch	4/4/2020	\$ 43,663.62	\$	25,114,462.82	\$ 5,371,602.20			
	CR 8058 asbestos DMP SMP	4/6/2020	\$ 11,681.74	\$	25,126,144.56	\$ 5,415,265.82			
	CR 8059 ATT Conduit Extension	4/6/2020	\$ 18,118.56	\$	25,144,263.12	\$ 5,426,947.56			
	This Change Order		\$ 5,445,066.12						
	Original Contract Amount		\$ 19,699,197.00						
	New Contract Amount		\$ 25,144,263.12						
Remaining Allowance									
	001 Sound Absorbing Walls	\$ -							
	002 Cages	\$ -							
	003 Hazmat	\$ -							
	004 PA	\$ 14,715.82			Agreement No	R075045			
	005 Generator	\$ -			Unifier Cost Account	00 08 00			
	006 Autoclave	\$ 18,000.00			Total BOS NTE Amount	\$ 25,500,000.00			
	007 HVAC Zoning	\$ -			Original Contract Amount	\$ 19,699,197.00			
	008 Canopies	\$ 20,654.00			Former Changes	\$0.00			
	009 Kennel Covers	\$ -			Total Commits/Spends (App 036)	\$22,491,577.40			
	010 Owner Allowance	\$ -			Available Budget	\$ (2,792,380.40)			
					This Change Order	\$ 5,445,066.12			
					Total Authorized Amount	\$ 25,144,263.12			
					Balance on Authorization Contra	\$ 355,736.88			



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 1**

**Date:** 8/17/2017

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Ceiling Height at Clinic Lobby, Main Lobby, MP

8003 Ceiling Height at Clinic Lobby, Main Lobby, MP

Sam Lin

\$9,779.14

Assistant Director

Scott Gurley

Robert Hennessy

4/16/2020

4/16/2020

DocuSigned by:

*Scott Gurley*

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DocuSigned by:

*Robert Hennessy*

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DocuSigned by:

*Sam Lin*

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\$9,779.14

\$9,779.14

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$0.00
The Contract Amount prior to this Change Order was	\$19,699,197.00
The Contract will be increased by this Change Order in the amount of	\$9,779.14
The new Contract Amount including this Change Order will be	\$19,708,976.14
The Contract Time will be increased by 0 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT	FH CONSTRUCTION CONTRACTOR PO BOX 2329 LODI, CA 95241	OWNER
(Signature)	<i>Daniel Hoff</i> (Signature)	(Signature)
By	<i>Daniel Hoff</i> By	By
Date	<i>9/6/17</i> Date	Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Theresa Yee  
San Mateo County

Number: 8003  
Date: 8/3/17  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

#### Description:

Reason: Owner Request

Initiated by: Theresa Yee (San Mateo County)

REC'D PDU  
'17 AUG 14

We are pleased to offer the following specifications and pricing to make the following changes:

Revised the original scope of the contract document to raise the acoustical ceiling height in Clinic Lobby, Main Lobby, and Multipurpose Room from 8'0" to 9'6". Cost is LS and will be added to the construction budget.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
1-950	Ceiling Height @ Lobbies and MP					\$7,661.00	\$7,661.00
1-200	LDA - Design & Coordination				\$613.00		\$613.00
						Subtotal:	\$8,274.00
					\$8,274.00	%	\$827.40
					\$9,779.14	%	\$264.04
					\$8,274.00	%	\$413.70
						Total:	\$9,779.14

\* Budget approved was \$7000.  
Health #5 agreed to reduce \$3000-  
on sound absorption well.  
mf

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: Theresa Yee  
Date: 17 AUG 17

Cc:

OK, Sam 8/17/2017



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 2**

**Date: 9/6/2017**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Cabinet and Countertop Revisions

8004 Cabinet and Countertop Revisions

\$26,562.00

scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

Scott Gurley

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DocuSigned by:

Robert Hennessy

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\$26,562.00

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$26,562.00

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$9,779.14
The Contract Amount prior to this Change Order was	\$19,708,976.14
The Contract will be increased by this Change Order in the amount of	\$26,562.00
The new Contract Amount including this Change Order will be	\$19,735,538.14
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

Daniel Hoff

Daniel Hoff

10/3/17





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Theresa Yee  
San Mateo County

Number: 8004  
Date: 8/29/17  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

### Description:

Reason: Design Change  
Initiated by: Theresa Yee (San Mateo County)  
Source: Proposal Request

We are pleased to offer the following specifications and pricing to make the following changes:

Cabinet and countertop revisions is provided as an NTE cost. Additional costs will be identified and provided to the owner in an itemized spreadsheet. The NTE cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the NTE fund will be returned to the owner at completion of the project by deductive change order.

Attached is the estimated costs of revisions.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
1-950	Cabinet and Counter Revisions					\$26,562.00	\$26,562.00
						Subtotal:	\$26,562.00
						Total:	\$26,562.00

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: Theresa Yee 08 SEP 17  
Date: \_\_\_\_\_

Cc:

*[Handwritten signature]*  
9/6/17





**F&H CONSTRUCTION**  
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California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 3**

**Date:** 10/30/2017

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Flooring Revisions

8005 Flooring Revisions

Robert Hennessy

Sam Lin

\$198,249.32

Scott Gurley

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

Scott Gurley

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DocuSigned by:

Robert Hennessy

AB3B77D60A0D483...

\$198,249.32

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$198,249.32

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$36,341.14
The Contract Amount prior to this Change Order was	\$19,735,538.14
The Contract will be increased by this Change Order in the amount of	\$198,249.32
The new Contract Amount including this Change Order will be	\$19,933,787.46
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

See CR 8005

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

Daniel Hoff

Daniel Hoff

10/30/17

## Robert Hennessy

---

**From:** Hennessy, Robert <Robert.Hennessy@jacobs.com>  
**Sent:** Monday, October 23, 2017 1:32 PM  
**To:** Robert Hennessy  
**Subject:** FW: CR 8005 R5 - Flooring Revisions.pdf  
**Attachments:** CR 8005 R5 - Flooring Revisions.pdf

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**From:** Daniel Hoff [mailto:dhoff@f-hconst.com]  
**Sent:** Friday, October 20, 2017 3:08 PM  
**To:** Hennessy, Robert  
**Cc:** Stephen Seibly; Tim O'Brien; Brendan Corbett  
**Subject:** [EXTERNAL] CR 8005 R5 - Flooring Revisions.pdf

Bob,

See revised CR for additional Flooring per our Wednesday's design Meeting.

Thanks,

**Daniel Hoff** / LEED AP BD+C

(209) 931-3738 **PHONE**

(209) 269-6327 **MOBILE**

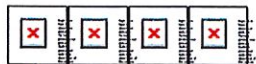
(209) 931-4427 **FAX**

[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



1115 East Lockeford Street, Lodi, CA 95240

**[WWW.F-HCONST.COM](http://WWW.F-HCONST.COM)**



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Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### *Letter of Transmittal*

To: Robert Hennessy  
Jacobs

Transmittal #: 50

Date: 10/20/2017

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Subject: Change Request - 8005: Flooring Revisions

**WE ARE SENDING YOU**

☒ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	10/5/17	8005	Flooring Revisions

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

Remarks:

Copy To:

From: Daniel Hoff (F & H Construction)

Signature: \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

# **Change Request**

ROM

To: Robert Hennessy  
Jacobs

Number: 8005

Date: 10/5/17

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Flooring Revisions

Reason: Owner Request

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Flooring revisions is provided as an NTE cost. Revisions are based on attached floor plan and requested flooring changes made during design phase coordination meetings. Additional costs will be identified and provided to the owner in an itemized spreadsheet. The NTE cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the NTE fund will be returned to the owner at completion of the project by deductive change order.

Attached is the estimated costs of revisions.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
1-950	Flooring Revisions					\$198,249.32	\$198,249.32
						Subtotal:	\$198,249.32
						Total:	\$198,249.32

ROM NTE.

Sub → 10/25/17

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

RECEIVED  
Date: 10/25/17  
Project Development Unit  
County of San Mateo

Robert J. Hennessy 10/25/17



**F&H CONSTRUCTION**  
Spaces for life

SCOPE: FLOORING BUDGETARY NUMBERS VERSION 5  
SAN MATEO COUNTY ANIMAL SHELTER

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	ROM UNIT COST	ROM BUDGET AMOUNT	NOTES/BASIS OF COST ESTIMATE
	(DEDUCT) SEALED CONCRETE	-9,263.0	SF	\$0.80	\$ (7,410.40)	
	RESINOUS FLOORING	98.0	SF	\$14.50	\$ 1,421.00	Duralflex Cryl-A-Quartz
	CLINIC SHEET VINYL FLOORING	3,185.0	SF	\$14.25	\$ 45,386.25	Altro Stronghold 30
	OFFICE SHEET VINYL FLOORING	6,800.0	SF	\$14.25	\$ 96,900.00	Altro Stronghold 30
	RUBBER FLOORING	1,650.0	SF	\$19.50	\$ 32,175.00	Rubber Flooring
	DESIGN DEVELOPMENT FEE	1.0	LS	\$7,500.00	\$ 7,500.00	
	SUB - TOTAL OF ALL ABOVE				\$ 175,971.85	
	BUILDERS RISK INSURANCE					
	LIABILITY INSURANCE					
	PAYMENT & PERFORMANCE BOND					
	CONTRACTORS FEE				\$ 17,597.19	
	TOTAL				\$ 198,249.32	



Architect  
LDA PARTNERS LLP  
225 Park Ave. North  
225 Park Ave. North  
San Jose, CA 95128  
408.281.1111  
www.ldapartners.com



FSM CONSTRUCTION  
San Jose, CA

Client  
COUNTY OF SAN MATEO - Dept.  
of Public Works  
355 County Center - Fifth Floor  
Redwood City, CA 94063  
650.333.4100

Project  
ANNUAL DRIVER  
REPLACEMENT  
12 Airport Blvd  
San Mateo, CA



Project No. 2015-15  
Drawn by: RL, CL  
Checked by: DE  
No. Description Date By

OVERALL FLOOR PLAN

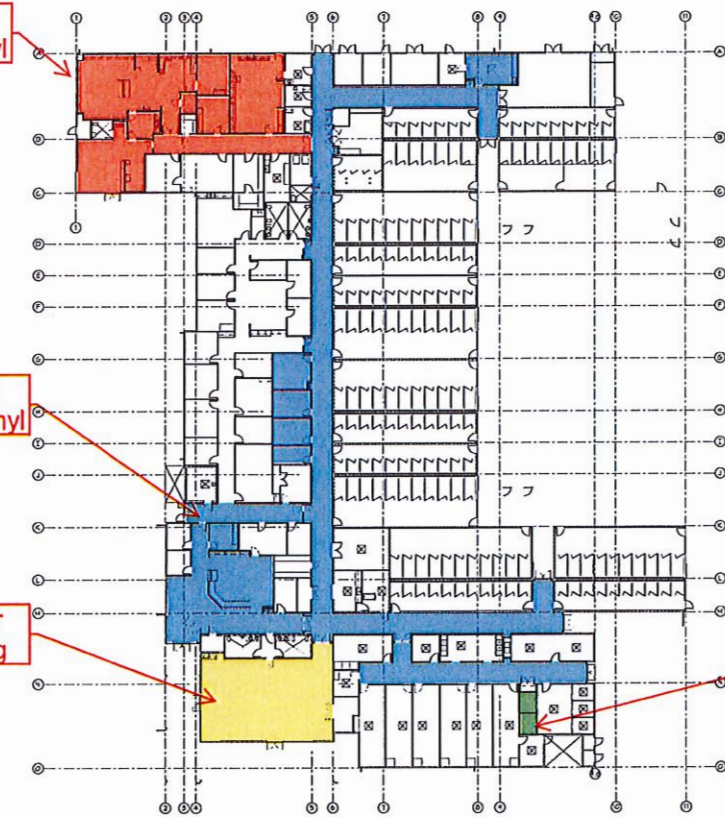
A3.00

Medical  
Sheet Vinyl

Office  
Sheet Vinyl

Rubber  
Flooring

Resinous  
Flooring



OVERALL FLOOR PLAN





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 4**

**Date:** 10/30/2017

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Emergency Generator

8006 Emergency Generator

\$65,860.23

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$65,860.23

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$65,860.23

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$36,341.14
The Contract Amount prior to this Change Order was	\$19,735,538.14
The Contract will be increased by this Change Order in the amount of	\$65,860.23
The new Contract Amount including this Change Order will be	\$19,801,398.37
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

See Change Request 8006

(Signature)

By

By

See Change Request 8006

By

See Change Request 8006

Date

Date

Date



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To:

**Number:** 8006

**Date:** 10/20/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Emergency Generator

Reason: Owner Request

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Provide and install a 150KW Generator to include Pad, Trenching, 4 Ballard, Feeders from Gen set to Transfer switch, conduits and cable for fire alarm, tie in to the fire alarm system and remote enunciator.

No Fencing is included in this proposal

Level 2 Acoustical Enclosure is included

275 Gallon tank is included


Fuel and electrical testing Includes one full tank

No permits are included


Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price	
1-020	Allowances No. 5 - Emergency Generator					\$(85,000.00)	\$(85,000.00)	
16-100	Intermountain Electric				\$145,556.12		\$145,556.12	
16-100	Self Perform	\$494.84		\$50.00			\$544.84	
						Subtotal:	\$61,100.96	
					Markup - Subcontractor (5%)	\$60,556.12	5.00 %	\$3,027.81
					Markup - Self-Perform (15%)	\$544.84	15.00 %	\$81.73
					BIT	\$61,100.96	2.70 %	\$1,649.73
						Total:	\$65,860.23	

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:  10/25/17

Date: 10/25/17

  
STEPHEN SEIBLY  
10/25/17

 10/25/17

## Robert Hennessy

---

**From:** Hennessy, Robert <Robert.Hennessy@jacobs.com>  
**Sent:** Monday, October 16, 2017 10:51 AM  
**To:** Robert Hennessy  
**Subject:** FW: SMCAS IM Standby Generator Proposal.pdf  
**Attachments:** PCO #3 - Gen Set - REVISED 09.14.17.pdf  
  
**Importance:** High

---

**From:** Daniel Hoff [mailto:dhoff@f-hconst.com]  
**Sent:** Thursday, October 05, 2017 2:21 PM  
**To:** Hennessy, Robert; Sam Lin  
**Cc:** Stephen Seibly; David Signorello; Karen Prentice  
**Subject:** RE: SMCAS IM Standby Generator Proposal.pdf  
**Importance:** High

Bob,

This item is a critical issue for the design team (more so than the grating and flooring). Could you review the information provided and provide direction?

Thanks,

**Daniel Hoff** / LEED AP BD+C

(209) 931-3738 **PHONE**  
(209) 269-6327 **MOBILE**  
(209) 931-4427 **FAX**  
[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



1115 East Lockeford Street, Lodi, CA 95240


**[WWW.F-HCONST.COM](http://WWW.F-HCONST.COM)**



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RECEIVED  
Date: 10/25/17  
Project Development Unit  
County of San Mateo





---

**From:** Daniel Hoff  
**Sent:** Friday, September 22, 2017 10:02 AM  
**To:** Hennessy, Robert <[Robert.Hennessy@jacobs.com](mailto:Robert.Hennessy@jacobs.com)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>  
**Cc:** Stephen Seibly (<[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>) <[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>  
**Subject:** RE: SMCAS IM Standby Generator Proposal.pdf

Bob and Sam,

Attached is our subcontractor's proposal for the standby generator. This excludes our BIT, Markup and permit fees. Does the County want a change request and order for approval or will they be proceeding with procuring another generator?

Allowance for generator is \$85,000 therefore a change order will be in the ball park of \$80,000.

Please provide direction.

Thanks,  
Daniel

---

**From:** Theresa Yee [<mailto:tyee@smcgov.org>]  
**Sent:** Friday, September 15, 2017 1:05 PM  
**To:** Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Cc:** Stephen Seibly <[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; [james.hall@jacobs.com](mailto:james.hall@jacobs.com)  
**Subject:** RE: SMCAS IM Standby Generator Proposal.pdf

Thank you Daniel,  
I am in receipt of this. We will look this over. Theresa

---

**From:** Daniel Hoff [<mailto:dhoff@f-hconst.com>]  
**Sent:** Tuesday, September 12, 2017 4:39 PM  
**To:** Theresa Yee <[tyee@smcgov.org](mailto:tyee@smcgov.org)>  
**Cc:** Stephen Seibly <[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>  
**Subject:** RE: SMCAS IM Standby Generator Proposal.pdf

Theresa,

We received confirmation that the optional equipment for \$19,850.00 included in the original proposal is not required per current BAAQMD requirements. Intermountain is revising their proposal to exclude any optional equipment not required.

*Optional:*  
*Combination diesel particulate filter/critical grade silencer*  
*Carb Level 3 certified passive filter*  
*(DPF to be mounted to roof of enclosure)*  
*Installation contractor to provide terminations and mounting*  
*Net Additional Amount \$19,850.00*

Thanks,  
Daniel

---

**From:** Daniel Hoff  
**Sent:** Tuesday, September 05, 2017 10:13 AM



**To:** 'Theresa Yee' <[tyee@smcgov.org](mailto:tyee@smcgov.org)>

**Cc:** Stephen Seibly ([sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)) <[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>

**Subject:** SMCAS IM Standby Generator Proposal.pdf

Theresa,

Attached is a proposal for the Standby Generator from IM. The cost is \$167,651.92 which exceeds the allowance (\$85,000) by \$82,651.92.

The additional cost to the County for this system with BIT and our Markup included is \$92,438.86. How does the County want to proceed?

Thanks,  
Daniel

---

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**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 49

**Date:** 10/20/2017

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8006: Emergency Generator

**WE ARE SENDING YOU**

☒ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	10/20/17	8006	Emergency Generator

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Daniel Hoff (F & H Construction)

**Signature:** \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To:

**Number:** 8006

**Date:** 10/20/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Emergency Generator

Reason: Owner Request

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Provide and install a 150KW Generator to include Pad, Trenching, 4 Ballard, Feeders from Gen set to Transfer switch, conduits and cable for fire alarm, tie in to the fire alarm system and remote enunciator.

No Fencing is included in this proposal

Level 2 Acoustical Enclosure is included

275 Gallon tank is included


Fuel and electrical testing Includes one full tank

No permits are included


Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price	
1-020	Allowances No. 5 - Emergency Generator					\$(85,000.00)	\$(85,000.00)	
16-100	Intermountain Electric				\$145,556.12		\$145,556.12	
16-100	Self Perform	\$494.84		\$50.00			\$544.84	
						Subtotal:	\$61,100.96	
					Markup - Subcontractor (5%)	\$60,556.12	5.00 %	\$3,027.81
					Markup - Self-Perform (15%)	\$544.84	15.00 %	\$81.73
					BIT	\$61,100.96	2.70 %	\$1,649.73
						Total:	\$65,860.23	

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:  10/25/17

Date: 10/25/17

  
STEPHEN SEIBLY  
10/25/17

 10/25/17

JOB:     SAN MATEO ANIMAL SHELTER  
CITY:    SAN MATEO, CA

SELF PERFORM VERSION

BY :     F&H  
DATE :   10/20/2017

COST CODE	SELF PERFORM SUMMARY	ITEM QTY	UNIT OF MEASURE	TOTAL COST	COST PER UNIT	CUBIC YARDS	COST PER YARD	TOTAL MAN HOURS
03000	SURVEY/ LAYOUT	1	LS	\$396.56	\$396.56	N/A	N/A	5
03000	GENERATOR PAD	1	LS	\$148.28	\$148.28	N/A	N/A	2
	SUB TOTAL - SELF PERFORM	1	LS	\$544.84	\$544.84	0	\$0.00	7
	ESTIMATE TOTAL - SELF-PERFORM	1	LS	\$544.84	\$544.84	0	\$0.00	7



JOB: SAN MATEO ANIMAL SHELTER  
CITY: SAN MATEO, CA

COMPOSITE MH RATE \$74.14

SELF PERFORM VERSION  
BAYAREA

By: F&H  
Date: 10/20/17

COST CODE	GENERATOR ITEMS BY PHASE	TAKEOFF QTY	U.O.M.	PRODUCTION RATE	U.O.M.	MATERIAL @ UNIT	PRICE	@ UNIT	LABOR PRICE	MH	EQUIPMENT @ UNIT	PRICE	SUBCONTRACT @ UNIT	PRICE	LINE TOTALS
03000	SURVEY/ LAYOUT														
	TOTAL STATION SET UP - OFFICE	1	MH	1	LS		\$0	\$50.00	\$50	0.7	\$50.00	\$50		\$0	\$100
	SURVEY/ LAYOUT - TOTAL STATION	4	MH	1	LS		\$0	\$74.14	\$297	4.0		\$0		\$0	\$297
							\$0	\$0.00	\$0	0.0		\$0		\$0	\$0
	TOTAL MAN DAYS - THIS PHASE	1	MD												
							=====		=====	=====		=====		=====	=====
							\$0		\$347	4.7		\$50		\$0	\$397
03000	SURVEY/ LAYOUT	1	LS				\$0.00		\$346.56			\$50.00		\$0.00	\$396.56
03000	GENERATOR PAD														
	LAYOUT (ABOVE)	0	MH	1.0	LS	\$15.00	\$0	\$74.14	\$0	0.0		\$0		\$0	\$0
	FINE GRADE PAD	2	MH	1	LS		\$0	\$74.14	\$148	2.0		\$0		\$0	\$148
	TOTAL MAN DAYS - THIS PHASE	0	MD												
	SUB TOTAL						\$0		\$148	2.0		\$0		\$0	\$148
03000	GENERATOR PAD	1	LS				\$0.00		\$148.28			\$0.00		\$0.00	\$148.28

**Intermountain Electric**

947 Washington Street  
 San Carlos, CA 94070  
 Telephone: 650.591.7118  
 Fax: 650.591.7123

**F & H Construction**

Contact: Stephen Siebly

**CHANGE ORDER**      **3**  
**Date:**                      9/14/2017  
**Project Name:**        SMAS - Animal Shelt  
**Project Number:**    SMAS - Animal Shelt  
**Page Number:**        1  
**REF:**

## PROPOSED CHANGE ORDER

**Work Description**

Provide and install a 150KW Generator to include Pad, Trenching, 4 Ballard, Feeders from Gen set to Transfer switch, conduits and cable for fire alarm, tie in to the fire alarm system and remote enunciator  
 To Include costs to upgrade Transfer switch, emergency panels from 30Kw to 150Kw  
 Design is included

No Fencing is included in this proposal  
 Level 2 Acoustical Enclosure is included  
 275 Gallon tank is included  
 Fuel and electrical testing Includes one full tank

No permits are included

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.

This price is good for acceptance within 10 days from the date of receipt.

We request a time extension of 3 days.

We will supply and install all materials, labor, and equipment as per your instructions on .

**Itemized Breakdown**

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
3" LOCKNUT - STEEL	2	580.89	C	11.62	12.25	C	0.25
1" CONDUIT - PVC40	255	49.52	C	126.28	5.50	C	14.03
3" CONDUIT - PVC40	145	214.88	C	311.58	12.75	C	18.49
1" ELBOW 90 DEG - PVC40	2	188.22	C	3.76	27.50	C	0.55
3" ELBOW 90 DEG - PVC40	2	1,526.57	C	30.53	85.00	C	1.70
3" COUPLING - PVC	4	361.18	C	14.45	0.00	C	0.00
3" ADAPTER MALE - PVC	2	419.44	C	8.39	35.00	C	0.70
#350 THHN BLACK	634	12,598.11	M	7,987.20	39.38	M	24.97
#1/0 THHN GREEN	145	3,823.62	M	554.42	17.75	M	2.57
1/8" POLYTWINE	255	10.71	M	2.73	3.75	M	0.96
N52 TRAFFIC	1	0.00	E	0.00	0.00	E	0.00
Trenching 2X4	132	65.00	E	8,580.00	0.10	E	13.20
Footing	1	6,500.00	E	6,500.00	32.00	E	32.00
Grounding	1	95.00	E	95.00	4.50	E	4.50
Fire alarm conection	1	85.00	E	85.00	1.00	E	1.00
Remote enunciator	1	25.00	E	25.00	2.35	E	2.35
Install generater	1	145.00	E	145.00	64.00	E	64.00
Fuel for testing only per gallon	275	4.25	E	1,168.75	0.01	E	2.75
Ballards	4	650.00	E	2,600.00	6.00	E	24.00
ATS Install	1	20.00	E	20.00	6.00	E	6.00
Credit bacd all emergency ballasts not needed	-36	35.00	E	-1,260.00	0.45	E	-16.20

ORIGINAL

**PROPOSED CHANGE ORDER****Intermountain Electric**947 Washington Street  
San Carlos, CA 94070**F & H Construction****CHANGE ORDER 3**Date: 9/14/2017  
Project Name: SMAS - Animal Shelt  
Project Number: SMAS - Animal Shelt  
Page Number: 2  
REF:

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
<b>Totals</b>	<b>1,828</b>			<b>27,009.71</b>			<b>197.80</b>

**Summary**

General Materials		27,009.71
Gen Set		60,950.00
Material Tax (@ 9.250 %)		8,136.27
<b>Material Total</b>		<b>96,095.98</b>
GENERAL FOREMAN (39.56 Hrs @ \$140.00)		5,538.40
JOURNEYMAN 617 (79.12 Hrs @ \$122.34)		9,679.54
FOREMAN 617 (79.12 Hrs @ \$135.20)		10,697.02
SAFETY @ 1% (1.98 Hrs @ \$76.85)		152.16
<b>Subtotal</b>		<b>122,163.10</b>
Markup (@ 15.000 %)		17,104.02
<b>Subtotal</b>		<b>139,267.12</b>
Crain/ Gradeall (\$2,400.00 + 0.000 % + 10.000 % + 5.000 %)		2,772.00
FIRE ALARM (\$1,400.00 + 0.000 % + 10.000 % + 5.000 %)		1,617.00
Engineering Strctual (\$1,250.00 + 0.000 % + 0.000 % + 0.000 %)		1,250.00
Engineering Electrical (\$650.00 + 0.000 % + 0.000 % + 0.000 %)		650.00
<b>Subtotal</b>		<b>145,556.12</b>
<b>Final Amount</b>		<b>\$145,556.12</b>

**CONTRACTOR CERTIFICATION**

Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Signature: \_\_\_\_\_  
I hereby certify that this quotation is complete and accurate based on the information provided.

**CLIENT ACCEPTANCE**

CHANGE ORDER: 3 \_\_\_\_\_  
Final Amount: \$145,556.12 \_\_\_\_\_  
Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Change Order #: \_\_\_\_\_  
I hereby accept this quotation and authorize the contractor to complete the above described work.

**ORIGINAL**





Date: May 15, 2017

Intermountain Electric

Subject: San Mateo Animal

Energy Systems is pleased to offer the following proposal for the above listed project, and based on the below 'Bill of Materials'.

**ITEM A – GENERATOR**

Quantity 1 - Generac Industrial diesel engine-driven generator set with turbocharged/aftercooled 6-cylinder 6.7L engine, consisting of the following features and accessories:

- Stationary Emergency-Standby rated
- **150 kW Rating, wired for 277/480 VAC three phase, 60 Hz**
- Permanent Magnet Excitation
- Level 2 Acoustic Enclosure, Steel
  - Industrial Grey Baked-On Powder Coat Finish
- UL2200
- EPA Certified
- H-100 Control Panel
  - Meets NFPA 99 and 110 requirements
  - Temp Range -40 to 70 degrees C
  - Digital Microprocessor:
    - Two 4-line x 20 displays, full system status
    - 3 Phase sensing, +/-0.25% digital voltage regulation
    - RS232, RS485 and Canbus remote ports
    - Waterproof connections
    - All engine sensors are 4-20ma for minimal interference
    - Programmable I/O
    - Built-in PLC for special applications
  - Engine function monitoring and control:
    - Full range standby operation; programmable auto crank, Emergency Stop, Auto-Off-Manual switch
    - Isochronous Governor, +/-0.25% frequency regulation
    - Full system status on all AC output and engine function parameters
    - Service reminders, trending, fault history (alarm log)
    - I2T function for full generator protection
    - Selectable low-speed exercise
  - HTS transfer switch function monitoring and control
  - 2-wire start controls for any 2-wire transfer switch
- Air Filter Restriction Ind
- 8 Function Alarm Relay Panel

- 21 Light Annunciator - Surface
- Battery Charger, 10 Amp, NFPA 110 compliant, installed
- 110 AH, 925 CCA Group 31 Batteries, dual-paralleled, with rack, installed
- Coolant Heater, 1500W
- Remote Emergency Stop Switch, Surface-Mount, shipped loose
- 3 Owner's Manuals
- 120V GFCI and 240V Outlet
- Alternator Strip Heater
- Engine Run Relay
- Flex Fuel Line
- Ground Fault Annunciator
- Optional Fan and Belt Guards
- MLCB, 100% rated, LSI Electronic Trip
  - 225 Amp
  - Shunt trip and Auxiliary Contacts
- Standard 2-Year Limited Warranty
- Vibration spring isolators mounted between sub base tank and gen set skid
- 275 Gallon Double-Wall UL142 Basetank
  - Mechanical fuel level indicator gauge
  - Electronic fuel level sender
  - Normal & Emergency Vent
  - 5 gallon fuel fill spill

**ITEM B –** AUTOMATIC TRANSFER SWITCH

Quantity 1 - HTS Series Automatic Transfer Switch consisting of the following features and accessories:

- **300 Amp, 4 Pole, 277/480 VAC three phase, 60 Hz, with RS-485 communications link to generator set-mounted controller for switch operation**
- Signal Before Transfer contacts
- Double set of Auxiliary Contacts
- UL1008 Listed, CSA Certified
- NEMA 1 Enclosure
- Std set of 3 Manuals
- 2-Year Basic Warranty

**Freight & Labor**

- Freight – all items FOB Job site – off loading by others
- Field start-up and testing conducted by a factory certified technician.
- Witness fuel tank pressure testing at site is included.
- Start-up to be conducted using building load and portable load bank per NFPA 110.
- Start-up and testing is limited to (1) day on site, performed during normal business hours Monday thru Friday, excluding holidays.
- Unless specifically stated in our proposal, on-site training will be conducted the same day as start-up.
- For systems testing, we require free, clear, unimpeded access to the generator, ATS, and switchgear.
- Two-hour load bank testing is proposed; testing will be with a resistive load bank. Access within 50' of the generator must be provided for the load bank. Additional distance must be identified for proper cable length and cost to be supplied to the project.

**Total Price:                      FOB Jobsite without Tax                      \$60,950.00**

**Optional:**

~~Combination diesel particulate filter/critical grade silencer  
Carb Level 3 certified passive filter  
(DPF to be mounted to roof of enclosure)  
Installation contractor to provide terminations and mounting  
Net Additional Amount \$19,850.00~~

**Fuel & Taxes are not included in the above pricing.**

**NOTES:**

- Verbal information used for design assist project. Specifications only used for guideline not followed or included in bill of materials.
  - Cross referenced sections not specifically provided and/or clarified in writing are not included
  - Equipment will be supplied as submitted
  - There will be variations in the equipment from the "concept" contract documents. It is not the responsibility of Energy Systems to design, engineer or to provide construction coordination with other trades.
- Submittal Request: lead-time – 2-3 weeks from receipt of "purchase order" depending on level of project complexity
  - "Hold for approval" – no equipment will be ordered without written release to proceed
  - "For record" – all equipment will be immediately ordered and released for production based on our quoted BOM
- Delivery: Delivery of equipment is on the order of 12-14 weeks from receipt of approved submittals and receipt of complete and necessary technical information; subject to factory workload at time of order
- Written release required prior to production.
- Terms and conditions described in any purchase order and/or contract are incorporated only to the extent that such are consistent with the terms and conditions attached.
- Not included: Exhaust System Backpressure Test, Exhaust Emissions Test, Infrared Scanning, NETA testing, Harmonic Testing, Concrete pad, Off-loading, Anchoring, Installation, Fuel Pipe, Fuel, Exhaust pipe, Pipe insulation, Signage and Permits
- Not included: any required stairs/ platforms required to gain access/ entry into the enclosure, nor to maintain any NEC clearances as it relates to circuit breaker handle height
- Factory witness testing is not included; but can be provided upon request.
- Generator breakers rated for maximum output of generator

**Sincerely,**

**Tony Arroyo**

Sales  
Energy Systems  
925.413.0901  
tarroyo@espowergen.com

**Acceptance of Quote**

Purchase orders for equipment or services on this quotation indicates acceptance of the conditions of sale listed above.

Please return a signed copy of this quote as acknowledgement of receipt.

Print Name

Sign Name

Date



### *Terms and Conditions*

#### *Not Included*

- Installation: Energy Systems is an equipment supplier only. Items noted are "shipped loose" for contractor installation including any required interconnecting piping or to customer connection points.
- Fuel - No fuel is included in this proposal.
- Permits: Any and all permit applications or costs including but not limited to local City, County, State and AQMD. Energy Systems will provide information as requested for use with permit application but assumes no responsibility or obligation to apply for or obtain subject permits unless specifically included in our proposal. Energy Systems has provided equipment that to the best of our knowledge complies with all local, state and federal requirements.
- Emission permitting and compliance testing and related costs. To the best of our knowledge this equipment meets all current emission standards for PM and NOx. A permit to operate this engine may require a "Risk Screen Analysis" to determine maximum cancer risk at the final installation site. Results of this test may require the addition of exhaust after-treatment devices. This equipment is not included unless specifically called out in our bill of material.
- Testing: Any and all associated testing, inspection, equipment, and certifications requested or required to be performed by a third party including circuit breaker coordination, system commissioning or building load testing. Building commissioning exercises typically involve concurrent integrated mechanical, electrical and control systems testing. Our participation in these events can only be quoted separately on a time and material basis.
- IBC seismic certifications are not included unless called out in our bill of material
- Selective Breaker Coordination NEC700, 701 – Customer must provide a copy of the coordination study listing the manufacture's part number of the disconnect device to be supplied with the generator, a revised quote will be issued to supply this alternate device(s).
- Additional items that may be required by local utility for interconnection and parallel operation
- Electrical, Mechanical, Civil, and Structural professionally engineering services
- Engineering services other than supply of Factory standard drawings, equipment cut-sheets and controls per quoted scope of supply
- Startup and Commissioning service charges other than as noted in the quoted scope of supply. Additional field or shop labor including travel costs to/from the jobsite will be quoted and charged separately at time of requested services.
- Balance of plant equipment, controls, and monitoring except as quoted

#### *Commercial Terms and Conditions*

- Terms and Conditions described in any Purchase Order or Contract are incorporated only to the extent that such are consistent with the terms and conditions hereof.
- Seller reserves the right to accept or reject this order
- Payment: Payment in full prior to shipment unless credit is approved. Credit approval contingent upon receipt of completed Energy Systems business credit application, signed terms and conditions, and prelim notice information ([www.espowergen.com/specs-forms/](http://www.espowergen.com/specs-forms/)). Net 30 days on delivery of material or labor completed. One and one half percent (1.5%) interest will apply on past due accounts – 18% per annum.
- Taxes: are not shown or included but will be added as necessary
- Validity: Above quote valid for 60 days
- Price: Escalation charges may apply to orders awaiting release of "hold for approval" submittals longer than 90 days
- Cancellation: Charges of 10% after accepted order, tiered escalation to 50% 4 weeks prior to factory ship date, 90% thereafter
- Freight: FOB jobsite - off loading, storage and protection of this equipment at the jobsite is not included. Equipment cannot be stored by Energy System or its suppliers without prior arrangement. Seller's responsibility for shipments cease upon delivery to the Transportation Company. Any claims for shortages, delays or damages occurring thereafter shall be made directly by the purchaser to the transportation company. Any claims against the seller for shortages in shipments shall be made within Ten (10) days of receipt of shipment.
- Warranty: Standard manufacturer's warranty applies to the above listed equipment. Extended warranty service contracts may be available and are listed above if included.
- Acceptance: Once accepted this order shall become a binding contract but is subject to strikes, lockouts, accidents, fire, delays in manufacture or transportation, acts of God, embargoes, or government actions. These causes beyond the control of the seller shall absolutely absolve the seller from any liability to the purchaser under the terms hereof.
- Contracts: Penalty or liquidated damages clauses for failure to meet shipping dates are not acceptable or binding on Energy Systems.
- Title: It is understood and agreed that title to and possession of subject equipment shall remain vested in seller until all obligations and payments due from purchaser to seller have been paid in full.





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 5**

**Date: 11/30/2017**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Revised HVAC System to 3 Zone DX System

8001 Revised HVAC System to 3 Zone DX System

\$464,164.33

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

Scott Gurley

D149DF838EF04D7...

DocuSigned by:

Robert Hennessy

AB3B77D60A0D483...

\$464,164.33

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$464,164.33

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$300,450.69
The Contract Amount prior to this Change Order was	\$19,999,647.69
The Contract will be increased by this Change Order in the amount of	\$464,164.33
The new Contract Amount including this Change Order will be	\$20,463,812.02
The Contract Time will be increased by 95 days.	
The date of Substantial Completion as of the date of this Change Order therefore is 7/26/2019	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

See Change Request 8001

See Change Request 8001

See Change Request 8001



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8001

**Date:** 7/18/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Revised HVAC System to 3 Zone DX System

Reason: Design Change

Initiated by: Theresa Yee (San Mateo County)

Source: Proposal Request

We are pleased to offer the following specifications and pricing to make the following changes:

Based on contract documents, DBE's original scope was to provide two evaporative cooling units for the animal holding areas. After further review by the County and PHS, a directive was given to change the HVAC system for the animal holding areas to a three zone DX cooling system (Letter 5466 - 002). CR 8001 includes Mechanical and Designers costs to Design, Furnish and Install the revised three zone DX System as a LS cost. Construction costs and winter and construction delay impacts resulting from design revisions will be addressed as an ROM cost within final Change Order. Costs will be identified in an itemized spreadsheet and billed accordingly in the monthly payment application. The ROM cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the ROM fund will be returned to the owner at the completion of the project by deductive change order.

Adjustments for contract time is 41 Working Days for the extended design coordination, 5 Working Days additional scope of work, and an estimated 20 Working Days for weather/construction impacts. Weather Impacts are included in the ROM costs and will be identified as they occur during construction.

Please see attached spreadsheets for LS costs and ROM costs.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
1-020	Revise Zoning of HVAC System					\$(107,000.00)	\$(107,000.00) ✓
1-042	F&H Design Coordination & Time Impact					\$45,434.00	\$45,434.00 ✓
1-200	LDA - Coordination & Design				\$25,320.00		\$25,320.00 ✓
15-500	HVAC - Coordination & Design				\$11,400.00		\$11,400.00 ✓
15-500	HVAC - Furnish & Install				\$232,165.30		\$232,165.30 ✓
16-100	Electrical - Furnish & Install				\$45,779.00		\$45,779.00 ✓
1-950	<u>ROM Cost - HVAC Revision</u>					\$178,795.06	\$178,795.06 ✓ ROM
						Subtotal:	\$431,893.36
					Markup - Subcontractor (5%)	\$314,664.30	5.00 % \$15,733.22
					Markup - Direct Cost (15%)	\$45,434.00	15.00 % \$6,815.10
					BIT	\$360,098.30	2.70 % \$9,722.65
						Total:	\$464,164.33 <i>RJA</i>

*OK. Sam* 11/29/17

*F+H - Steve Aubrey* 11/30/17

*F+H - Daniel Hoff* 11/30/17

*Robert J. Hennessy* 11/28/17  
**ROBERT J. HENNESSY P.E.**





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

*Change Request*

**To:** Robert Hennessy  
Jacobs

**Number:** 8001

**Date:** 7/18/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

Please note that FH CONSTRUCTION will require an extra 92 days to complete this work.

If you have any questions, please contact me at .

Submitted by:

Approved by:

SEE PAGE 1

Date:

## Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 11/30/2017

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
ANIMAL SHELTER REPLACEMENT (10-16-5466)		Change Order Number: 5 Revised HVAC System to 3 Zone DX System					
Change Request No. 8001 Internal: No							
Scope:		Based on contract documents, DBE's original scope was to provide two evaporative cooling units for the animal holding areas. After further review by the County and PHS, a directive was given to change the HVAC system for the animal holding areas to a three zone DX cooling system (Letter 5466 - 002). CR 8001 includes Mechanical and Designers costs to Design, Furnish and Install the revised three zone DX System as a LS cost. Construction costs and winter and construction delay impacts resulting from design revisions will be addressed as an ROM cost within final Change Order. Costs will be identified in an itemized spreadsheet and billed accordingly in the monthly payment application. The ROM cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the ROM fund will be returned to the owner at the completion of the project by deductive change order.					
		Adjustments for contract time is 41 Working Days for the extended design coordination, 5 Working Days additional scope of work, and an estimated 20 Working Days for weather/construction impacts. Weather Impacts are included in the ROM costs and will be identified as they occur during construction.					
		Please see attached spreadsheets for LS costs and ROM costs.					
5466.01	52290	INTERMOUNTAIN ELECTRIC COMPANY	16-100	S		Electrical - Furnish & Install	45,779.00
5466.02	44550	FRANK M BOOTH INC	15-500	S		HVAC - Furnish & Install	232,165.30
5466.02 DB	44550	FRANK M BOOTH INC	15-500	S		HVAC - Coordination & Design	11,400.00
5466.03 DB	57695	LDA PARTNERS	1-200	S		LDA - Coordination & Design	25,320.00
Change Order 5 total							314,664.30



**F&H CONSTRUCTION**  
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1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02 DB**

**Change Order: 1**

**Date: 11/30/2017**

**To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

Revised HVAC System to 3 Zone DX System

**\*DESIGN PHASE\***

Replace RFP Evaporative Cooled Units: (2) original evaporative cooled units were replaced with DX units. County decided to re-zone and utilize (3) DX units in total.

Extra	Cost Code	Cat	Change Request	Description	Amount
	15-500	S	8001	HVAC - Coordination & Design	\$11,400.00



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02 DB****Change Order: 1****Date: 11/30/2017****To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

---

The original Contract Amount was	\$135,000.00
Net change by previously authorized Change Orders	\$0.00
The Contract Amount prior to this Change Order was	\$135,000.00
The Contract will be increased by this Change Order in the amount of	\$11,400.00
The new Contract Amount including this Change Order will be	\$146,400.00
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

---

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

*Daniel Hoff*  
(Signature)

By *Daniel Hoff*

Date 11/30/17



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02**

**Change Order: 1**

**Date: 11/30/2017**

**To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

Revised HVAC System to 3 Zone DX System

Replace RFP Evaporative Cooled Units: (2) original evaporative cooled units were replaced with DX units. County decided to re-zone and utilize (3) DX units in total.

Extra	Cost Code	Cat	Change Request	Description	Amount
	15-500	S	8001	HVAC - Furnish & Install	\$232,165.30

The original Contract Amount was	\$3,238,000.00
Net change by previously authorized Change Orders	\$0.00
The Contract Amount prior to this Change Order was	\$3,238,000.00
The Contract will be increased by this Change Order in the amount of	\$232,165.30
The new Contract Amount including this Change Order will be	\$3,470,165.30
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

By

Date

*Daniel Hoff*

*Daniel Hoff*

*11/30/17*





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.01**

**Change Order: 2**

**Date: 11/30/2017**

**To Contractor:**

INTERMOUNTAIN ELECTRIC COMPANY  
947 WASHINGTON STREET

SAN CARLOS, CA 94070

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

Revised HVAC System to 3 Zone DX System

Electrical Scope - Design, furnish, and install all materials, labor, and equipment for revised HVAC System to 3 Zone DX System

Extra	Cost Code	Cat	Change Request	Description	Amount
	16-100	S	8001	Electrical - Furnish & Install	\$45,779.00

The original Contract Amount was	\$2,482,359.00
Net change by previously authorized Change Orders	\$145,556.12
The Contract Amount prior to this Change Order was	\$2,627,915.12
The Contract will be increased by this Change Order in the amount of	\$45,779.00
The new Contract Amount including this Change Order will be	\$2,673,694.12
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

By

Date

*Daniel Hoff*

*Daniel Hoff*

*11/30/17*



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.03 DB**

**Change Order: 2**

**Date: 11/30/2017**

**To Contractor:**

LDA PARTNERS  
4 SOUTH CENTRAL COURT

STOCKTON, CA 95204

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

Revised HVAC System to 3 Zone DX System

Replace RFP Evaporative Cooled Units: (2) original evaporative cooled units were replaced with DX units. County decided to re-zone and utilize (3) DX units in total. Architectural, Structural and Civil Design; Architectural, Structural, Civil, MEP Coordination.

Extra	Cost Code	Cat	Change Request	Description	Amount
	1-200	S	8001	LDA - Coordination & Design	\$25,320.00

The original Contract Amount was \$885,000.00

Net change by previously authorized Change Orders \$613.00

The Contract Amount prior to this Change Order was \$885,613.00


The Contract will be increased by this Change Order in the amount of \$25,320.00


The new Contract Amount including this Change Order will be \$910,933.00

The Contract Time will be unchanged.

The date of Substantial Completion as of the date of this Change Order therefore is

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

  
(Signature)



By  
Date 11/30/17





**F&H CONSTRUCTION**  
Spaces for life

**SCOPE: LS COSTS - REVISED HVAC SYSTEM TO 3 ZONE DX SYSTEM  
SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
	OWNER ALLOWANCE					
	REVISE ZONING OF HVAC SYSTEM	1	LS	-\$107,000.00	-107,000	
01000	DIVISION 1 - GENERAL CONDITIONS					
	SCHEDULE					
01200	DESIGN (5/17/17 - 7/14/17)	41	DAYS			WORKING DAYS IF NTP 7/14/17
01200	F&H DESIGN EXTENDED OVERHEAD	41	DAYS	\$750.00	30,750	WORKING DAYS IF NTP 7/14/17
01200	LDA PARTNERS	1	LS	\$25,320.00	25,320	
01200	FRANK M BOOTH	1	LS	\$11,400.00	11,400	
	CONSTRUCTION	25	DAYS			
	F&H CONSTRUCTION EXTENDED OVERHEAD (SCOPE)	5	DAYS	\$2,936.80	14,684	WORKING DAYS
TIA #002	DAYS ADDED TO CONTRACT SCHEDULE (DESIGN)	41	DAYS			WORKING DAYS IF NTP 7/14/17
TIA #002	DAYS ADDED TO CONTRACT SCHEDULE (CONSTRUCTION)	25	DAYS			WORKING DAYS IF NTP 7/14/17
TIA #002	TOTAL IMPACT (REF. TIA #002)	95	DAYS			CALENDAR DAYS
	DIVISION 15 - MECHANICAL					
15800	HVAC	1	LS	\$232,165.30	232,165	FRANK M BOOTH
	DIVISION 16 - MECHANICAL					
16000	ELECTRICAL	1	LS	\$45,778.86	45,779	INTERMOUNTAIN ELECTRIC
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				253,098	
	MARKUP - SUBCONTRACTOR (10%)				15,733	
	MARKUP - DIRECT COST (15%)				6,815	
	BIT (2.7%)				9,723	
	<b>TOTAL</b>				<b>285,369</b>	



**F&H CONSTRUCTION**  
Spaces for life

**SCOPE: ROM COSTS - REVISED HVAC SYSTEM TO 3 ZONE DX SYSTEM  
SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
	<b>DIVISION 4 - MASONRY</b>					
04220	MASONRY					
05515	DECREASE 10' DIVIDING WALL TO 8' <DEDUCT>	-216	SF	\$9.50	-2,052	
	<b>DIVISION 5 - METALS</b>					
05500	MISC METAL	1	LS	\$2,500.00	2,500	
05515	ACCESS LADDER	0	LS	\$1,500.00	0	
	<b>DIVISION 6 - WOODS, PLASTICS &amp; COMPOSITES</b>					
06130	WALL FRAMING	1	LS	\$10,000.00	10,000	
06135	ROOF CURB	1	EA	\$500.00	500	
06135	PARAPET WALL FRAMING	200	LF	\$10.00	2,000	
06190	ROOF FRAMING - TRUSS	1	LS	\$55,000.00	55,000	
	<b>DIVISION 7 - THERMAL MOISTURE PROTECTION</b>					
07200	SOUND PROOFING INSULATION	108	LF	\$5.00	540	
07310	SHINGLE ROOFING <DEDUCT>	-2,448	SF	\$7.25	-17,748	
07460	CEMET BOARD SIDING	1,066	SF	\$7.50	7,995	
07530	TPO ROOFING W/ INSULATION	2,350	SF	\$14.05	33,018	
	WALKWAY PADS	25	LF	\$15.00	375	
07620	SHEET METAL & FLASHING	200	LF	\$9.50	1,900	
07620	ROOFING SPECIALTIES - DRAINAGE	2	EA	\$1,000.00	2,000	
07920	CAULKING & SEALANTS	600	LF	\$3.50	2,100	
	<b>DIVISION 9 - FINISHES</b>					
09210	ACCESS PANEL/ ROOF ACCESS	1	EA	\$850.00	850	
01000	<b>DIVISION 1 - GENERAL CONDITIONS</b>					
	SCHEDULE					
	F&H CONSTRUCTION EXTENDED OVERHEAD (WEATHER)	20	DAYS	\$2,936.80	58,736	WORKING DAYS
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				157,714	
	BUILDERS RISK INSURANCE				1,252	
	LIABILITY INSURANCE				1,967	
	PAYMENT & PERFORMANCE BOND				1,609	
	CONTRACTORS FEE (15%)				16,254	
	<b>TOTAL</b>				<b>178,795.06</b>	

BIT = 2.7%



DESIGNERS &amp; ARCHITECTS

10 October 2017

Mr. Daniel Hoff  
Project Manager  
F&H Construction  
1115 East Lockeford Street  
Lodi, CA 95240

Re: San Mateo Animal Shelter – HVAC Redesign

Dear Daniel:

Listed below are additional hours expended by our team for the HVAC redesign for the San Mateo Animal Shelter.

Change Summary	LDA Partners			
Project:	San Mateo Animal Shelter			
Reference:	HVAC Redesign			
Name		Rate	Hours	Cost
Eric Wohle	Principal	\$ 200.00	26.5	\$ 5,300.00
Carolyn Natividad	Project Architect	\$ 175.00	55	\$ 9,625.00
Ramiro Rivas	Drafting	\$ 135.00	77	\$ 10,395.00
Total				\$ 25,320.00

If you have any questions, please let me know.

Cordially,

A handwritten signature in blue ink, appearing to read "Eric Wohle", written in a fluid, cursive style.

Eric W. Wohle, A.I.A., LEED ap  
Partner



4220 Douglas Blvd. Granite Bay CA 95746  
TEL (916) 784-0777 FAX (916) 784-0707  
CA License No. 793419

30-Oct-17

F&H Construction  
1115 E Lockeford St  
Lodi, CA 95240

Attention: Daniel Hoff

Reference: San Mateo Animal Shelter  
FMB Job No. 1704

Subject: Change Proposal Request  
FMB C/O # 90-000-01

General Contractor

Attached and below is the narrative and pricing for the above referenced change order.

(Cost of construction including GC's & OH&P)	\$ 223,235.87
(Engineering Lump Sum Fee)	\$ 8,929.43

Please forward written change order at your earliest convenience or call with any questions.

Sincerely,

FRANK M. BOOTH, INC

A handwritten signature in blue ink, appearing to read "Eric Durbin", is written over a horizontal line.

Eric Durbin  
Estimating/Pre-Construction

Attachment:

cc: Linda Booth  
Job File



The following narrative recaps the major scope changes included in this quotation.

**Replace RFP Evaporative Cooled Units:** (2) original evaporative cooled units were replaced with DX units. County decided to re-zone and utilize (3) DX units in total.





## SCOPE CHANGE COST SUMMARY

<b>Project:</b>	San Mateo Animal Shelter	<b>Date:</b>	10/30/2017
<b>Job #</b>	1704	<b>Prepared By:</b>	Eric Durbin
<b>FMB No.:</b>	90-000-01		
<b>Scope:</b>	Replace Direct MAU's with DX AC's		

<b>Labor:</b>		<b>Hours</b>	<b>Extended</b>
Cost of Labor - From Labor Recap Sheets		137	\$ 16,257.75
Markup	15.00%		\$ 2,438.66
		<b>Labor Total</b>	<b>\$ 16,257.75</b>

**Material & Equipment:**

Direct Material		\$	152,730.00
Sales Tax	9.25%	\$	14,127.53
<b>Sub-Total Material</b>		<b>\$</b>	<b>166,857.53</b>
Markup	15.00%	\$	25,028.63
		<b>Total Material &amp; Equipment</b>	<b>\$ 191,886.15</b>

**Other Costs:**

Fabrication, Equip., Rental (Per labor hr., excl. detailing & delivery)	\$83.89	3.00	\$	251.67
Consumables (Per Field labor \$)	3%	\$ 15,818.43	\$	474.55
Test, Adjustment, Warranty (Per Field labor \$)	2%	\$ 15,818.43	\$	316.37
Subsistence \$14/Hr for GF and Foreman Hours unless overridden	\$14.00	47.26	\$	661.64
Safety Supplies Expense (Per field labor hr.)	\$1.25	133.11	\$	166.39
Direct Equipment Rental (see recap)			\$	-
Other			\$	-
<b>Sub-Total Other Costs</b>			<b>\$</b>	<b>1,870.62</b>
Markup	15.00%		\$	280.59
		<b>Total Other Costs</b>	<b>\$</b>	<b>2,151.21</b>

<b>Total FMB Self Performed Work</b>	<b>\$</b>	<b>210,295.11</b>
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**Subcontracted Work:**

Controls		\$	6,500.00
Insulation		\$	-
Balance		\$	675.00
Fire/Acoustical Caulking		\$	-
Water Treatment		\$	-
Rigging		\$	1,500.00
Excavation		\$	-
Misc Other Subs		\$	1,080.00
<b>Sub-Total Subcontracted Costs</b>		<b>\$</b>	<b>9,755.00</b>
Markup	10.00%	\$	975.50
		<b>Total Subcontracted Costs</b>	<b>\$ 10,730.50</b>

**Cost Recap**

<b>Total Construction Cost:</b>		<b>\$</b>	<b>221,025.61</b>
Bond Premium	1%	\$	2,210.26
<b>Sub-Total Construction Cost</b>		<b>\$</b>	<b>223,235.87</b>

Engineering Fee's for the above	4.0%	\$	8,929.43
<b>Subtotal</b>		<b>\$</b>	<b>232,165.30</b>
OCCIP Deduct	0.0%	\$	-
<b>Total Change Request</b>		<b>\$</b>	<b>232,165.30</b>

The price quoted for the above described Scope Change is subject to the following conditions:

- (1) A direction to proceed by the Contractor will entitle us to progress payments for Work covered above.
- (2) If this change decreases, extends, or otherwise affects our completion time, our cost of performance will thereby increase. We reserve all rights to recover these added costs and rely on Contractor to keep us fully informed regarding changes in the completion time.



## Sheet Metal Productive Work Hours Summary

Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	3.00	-	3.00	3.00	-	-
Field Productive Hours	50.00	-	50.00	50.00	-	-
Subtotal Productive Hours				53.00	-	-

## Sheet Metal Crew Mix

Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 131.42	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 112.47	\$ -	\$ -
Field Crew		1	2		3	\$ 123.50	\$ -	\$ -

## Shop / Detailing Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A	0.8	\$ 131.42		\$ -		\$ -	\$ 98.57
Journeyman		N/A	1.5	\$ 119.54		\$ -		\$ -	\$ 179.31
Apprentice		N/A	0.8	\$ 79.36		\$ -		\$ -	\$ 59.52
Subtotal Productive Hours			3.0						\$ -
General Foreman	Supervision	10.00%	0.3	\$ 135.40		\$ -		\$ -	\$ 40.62
Foreman	Safety	3.00%	0.1	\$ 131.42		\$ -		\$ -	\$ 11.83
Foreman	QA/QC	5.00%	0.2	\$ 131.42		\$ -		\$ -	\$ 19.71
Apprentice	Cleanup	5.00%	0.2	\$ 79.36		\$ -		\$ -	\$ 11.90
Apprentice	Delivery	7.50%	0.2	\$ 79.36		\$ -		\$ -	\$ 17.86
N/A	Subsistence								
Totals		Total ST Hrs	3.92	Total 1.5x Hrs		Total 2.0x Hrs			\$ 439.32

1

## Field Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A	16.7	\$ 131.42		\$ -		\$ -	\$ 2,190.41
Journeyman		N/A	33.3	\$ 119.54		\$ -		\$ -	\$ 3,984.59
Apprentice		N/A		\$ 79.36		\$ -		\$ -	\$ -
Subtotal Productive Hours			50.0						\$ -
General Foreman	Supervision	10.00%	5.0	\$ 135.40		\$ -		\$ -	\$ 676.99
Foreman	Safety	3.00%	1.5	\$ 131.42		\$ -		\$ -	\$ 197.14
Foreman	QA/QC	5.00%	2.5	\$ 131.42		\$ -		\$ -	\$ 328.56
Apprentice	Cleanup	5.00%	2.5	\$ 79.36		\$ -		\$ -	\$ 198.41
Apprentice	Delivery	7.50%	3.8	\$ 79.36		\$ -		\$ -	\$ 297.61
N/A	Subsistence								
Totals		Total ST Hrs	65.25	Total 1.5x Hrs		Total 2.0x Hrs			\$ 7,873.70

90-000-01

[illegible]



Job Name: San Mateo Animal ShelterField Local Union: Local 104 Dist 2Shop Local Union: Local 104 Dist 2**DRYSIDE WAGE BREAKDOWN WORKSHEET****ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)**

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	0	6	6	0	0	0	12
Months/Per (Shop)	0	6	6	0	0	0	12

**HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)****STRAIGHT TIME**

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Field Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Field Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Field Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36
Shop General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Shop Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Shop Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Shop Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36

76.31 92.82213 92.8221 96.53501 96.535

**OVERTIME**

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

**DOUBLE TIME**

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00



Piping Productive Work Hours Summary						
Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

Piping Crew Mix								
Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

Shop / Detailing Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hr			\$ -

Field Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hr			\$ -

DATE 10/30/17

[illegible]



Job Name: San Mateo Animal ShelterField Local Union: District Council 36 LU 467Shop Local Union: District Council 36 LU 467

## WETSID E WAGE BREAKDOWN WORKSHEET

## ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	2	6	6	0	0	0	14
Months/Per (Shop)	2	6	6	0	0	0	14

## HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)

STRAIGHT TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Field Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Field Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Field Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30
Shop General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Shop Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Shop Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Shop Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30

88.06 91.5824 91.5824 95.2457 95.2457 99.05552

OVERTIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

DOUBLE TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00



### Plumbing Productive Work Hours Summary

Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	52.00	-	52.00	52.00	-	-
Subtotal Productive Hours	52.00	-	-	52.00	-	-

### Plumbing Crew Mix

Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

### Shop / Detailing Plumbing Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

### Field Plumbing Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A	17.3	\$ 124.16		\$ -		\$ -	\$ 2,152.03
Journeyman		N/A	34.7	\$ 116.20		\$ -		\$ -	\$ 4,028.34
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours			52.0						\$ -
General Foreman	Supervision	10.00%	5.2	\$ 132.10		\$ -		\$ -	\$ 686.91
Foreman	Safety	3.00%	1.6	\$ 124.16		\$ -		\$ -	\$ 193.68
Foreman	QA/QC	5.00%	2.6	\$ 124.16		\$ -		\$ -	\$ 322.80
Apprentice	Cleanup	5.00%	2.6	\$ 86.30		\$ -		\$ -	\$ 224.38
Apprentice	Delivery	7.50%	3.9	\$ 86.30		\$ -		\$ -	\$ 336.57
Totals		Total ST Hrs	67.86	Total 1.5x Hrs		Total 2.0x Hrs			\$ 7,944.72





Controls				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
Additional AC		1	\$ 6,500.00	\$ 6,500.00
				\$ -
			<b>Totals</b>	<b>\$ 6,500.00</b>

Insulation				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
				\$ -
				\$ -
			<b>Totals</b>	\$ -

<b>Fire/Acoustical Caulking</b>				
<b>item</b>	<b>location</b>	<b>qty</b>	<b>\$/ea</b>	<b>\$</b>
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
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				\$ -
			<b>Totals</b>	\$ -

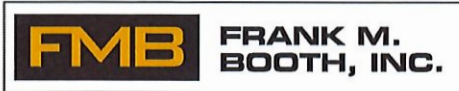
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<b>Insulation</b>				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
<b>Rigging</b>				
item	location	qty	\$/ea	\$
				\$ -
				\$ -
Test	Roof	1	\$1,500.00	\$ 1,500.00
				\$ -
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				\$ -
			Totals	\$ 1,500.00

<b>Misc Other Subs</b>				
<b>item</b>	<b>location</b>	<b>qty</b>	<b>\$/ea</b>	<b>\$</b>
				\$ -
				\$ -
Misc	Misc	1	\$1,080.00	\$ 1,080.00
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				\$ -
			Totals	\$ 1,080.00



\$0



4220 Douglas Blvd. Granite Bay CA 95746  
TEL (916) 784-0777 FAX (916) 784-0707  
CA License No. 793419

30-Oct-17

F&H Construction  
1115 E Lockeford St  
Lodi, CA 95240

Attention: Daniel Hoff

Reference: San Mateo Animal Shelter  
FMB Job No. 1704

Subject: Change Proposal Request  
FMB C/O # 90-000-02

General Contractor

Attached and below is the narrative and pricing for the above referenced change order.

(Cost of construction including GC's & OH&P)	\$ -
(Engineering Lump Sum Fee)	\$ 11,400.00

Please forward written change order at your earliest convenience or call with any questions.

Sincerely,

FRANK M. BOOTH, INC

A handwritten signature in blue ink, appearing to read "Eric Durbin", is written over a horizontal line.

Eric Durbin  
Estimating/Pre-Construction

Attachment:

cc: Linda Booth  
Job File



The following narrative recaps the major scope changes included in this quotation.

**Engineering:** Additional engineering for extended design development.



<b>Project:</b>	San Mateo Animal Shelter	<b>Date:</b>	10/30/2017
<b>Job #</b>	1704	<b>Prepared By:</b>	Eric Durbin
<b>FMB No.:</b>	90-000-02		
<b>Scope:</b>	Extended Engineering/Review		

15.00%	\$	-
<b>Labor Total</b>	<b>\$</b>	<b>-</b>

	\$	-
9.25%	\$	-
	\$	-
15.00%	\$	-
<b>Total Material &amp; Equipment</b>	<b>\$</b>	<b>-</b>

[illegible]

<b>Total FMB Self Performed Work</b>	<b>\$</b>	<b>-</b>
--------------------------------------	-----------	----------

Category	Value
Total Subcontracted Costs	10.00%

1%	\$ -
	\$ -
	\$ -

0.0%	\$ 11,400.00
------	--------------

	\$	11,400.00
--	----	-----------

0.0%	\$	-
------	----	---

5.5%	\$ 11,400.00
------	--------------

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## Sheet Metal Productive Work Hours Summary

Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

## Sheet Metal Crew Mix

Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 131.42	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 112.47	\$ -	\$ -
Field Crew		1	2		3	\$ 123.50	\$ -	\$ -

## Shop / Detailing Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A		\$ 131.42		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 119.54		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 79.36		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 135.40		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 131.42		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 131.42		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 79.36		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 79.36		\$ -		\$ -	\$ -
N/A	Subsistence								
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hr			\$ -

## Field Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A		\$ 131.42		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 119.54		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 79.36		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 135.40		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 131.42		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 131.42		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 79.36		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 79.36		\$ -		\$ -	\$ -
N/A	Subsistence								
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hr			\$ -

DATE 10/30/17

[illegible]

TOTAL

Job Name: San Mateo Animal Shelter

Field Local Union: Local 104 Dist 2

Shop Local Union: Local 104 Dist 2

## DRYSIDE WAGE BREAKDOWN WORKSHEET

## ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	0	6	6	0	0	0	12
Months/Per (Shop)	0	6	6	0	0	0	12

## HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)

STRAIGHT TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Field Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Field Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Field Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36
Shop General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Shop Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Shop Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Shop Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36

76.31 92.82213 92.8221 96.53501 96.535

OVERTIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

DOUBLE TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00





Piping Productive Work Hours Summary						
Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

Piping Crew Mix								
Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

Shop / Detailing Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

Field Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -



DATE 10/30/17

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Piping Takeoff Estimate 1 of 1

Job Name: San Mateo Animal Shelter

Field Local Union: District Council 36 LU 467

Shop Local Union: District Council 36 LU 467

## WETSID WAGE BREAKDOWN WORKSHEET

## ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	2	6	6	0	0	0	14
Months/Per (Shop)	2	6	6	0	0	0	14

## HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)

STRAIGHT TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Field Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Field Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Field Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30
Shop General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Shop Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Shop Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Shop Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30
	88.06	91.5824	91.5824	95.2457	95.2457	99.05552	

OVERTIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

DOUBLE TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00



Plumbing Productive Work Hours Summary						
Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

Plumbing Crew Mix								
Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1		1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

Shop / Detailing Plumbing Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

Field Plumbing Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

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TOTAL





## SUBCONTRACTORS ESTIMATE WORKSHEET

**Controls**

item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
Additional AC			\$ 6,500.00	\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

**Insulation**

item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

**Balance**

item	location	qty	\$/ea	\$
Reheat Coil			\$90.00	\$ -
Air Outlets			\$40.00	\$ -
Air Handler			\$450.00	\$ -
Add for Return Fan			\$125.00	\$ -
Package Units (5 tons)			\$300.00	\$ -
Exhaust Fans			\$300.00	\$ -
Small Fans			\$100.00	\$ -
Pumps			\$300.00	\$ -
Air Handler Coils			\$100.00	\$ -
Boiler			\$200.00	\$ -
Chiller			\$200.00	\$ -
Cooling Tower			\$300.00	\$ -
Expansion Tank			\$150.00	\$ -
Out of town work/per night		-	\$200.00	\$ -
Mileage		-	\$0.85	\$ -
				\$ -
Sub Total				\$ -
Labor Add for Bay Area Work				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

**Fire/Acoustical Caulking**

item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>



<b>Controls</b>				
<b>item</b>	<b>location</b>	<b>qty</b>	<b>\$/ea</b>	<b>\$</b>
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
<b>Water Treatment</b>				
<b>item</b>	<b>location</b>	<b>qty</b>	<b>\$/ea</b>	<b>\$</b>
				\$ -
				\$ -
Test	Roof		\$500.00	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
			<b>Totals</b>	\$ -

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TOTAL RENTAL CHARGES	\$0
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**Intermountain Electric**

947 Washington Street  
 San Carlos, CA 94070  
 Telephone: 650.591.7118  
 Fax: 650.591.7123

**F & H Construction**

Contact: Stephen Siebly

CHANGE ORDER 1  
 Date: 8/1/2017  
 Project Name: SMAS - Animal Shelt  
 Project Number: SMAS - Animal Shelt  
 Page Number: 1  
 REF: 1

## PROPOSED CHANGE ORDER

### Work Description

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.

This price is good for acceptance within 10 days from the date of receipt.

We request a time extension of 3 days.

We will supply and install all materials, labor, and equipment as per your instructions on 1.

### Itemized Breakdown

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
3/4" CONDUIT - EMT	-400	258.15	C	-1,032.60	6.20	C	-24.80
1" CONDUIT - EMT	250	430.09	C	1,075.22	6.80	C	17.00
1 1/2" CONDUIT - EMT	600	844.40	C	5,066.40	8.70	C	52.20
1 1/2" ELBOW 90 DEG - EMT	2	1,006.50	C	20.13	50.00	C	1.00
3/4" CONN SS DC - EMT	-8	120.64	C	-9.65	12.00	C	-0.96
1 1/2" CONN SS DC - EMT	16	549.02	C	87.84	25.00	C	4.00
3/4" COUPLING SS DC - EMT	-40	127.28	C	-50.91	6.00	C	-2.40
1 1/2" COUPLING SS DC - EMT	62	570.98	C	354.01	9.00	C	5.58
1" CONN SS STL - EMT	20	394.72	C	78.94	15.00	C	3.00
1" COUPLING SS STL - EMT	25	419.93	C	104.98	7.00	C	1.75
1 1/2" BUSHING - PLASTIC	16	93.35	C	14.94	0.00	C	0.00
3/4" EMT & 1/2" RMC 1-PC STRUT CLAMP W/ SADDLE	-41	155.54	C	-63.77	0.00	C	-0.00
1" EMT & 3/4" RMC 1-PC STRUT CLAMP W/ SADDLE	27	155.54	C	42.00	0.00	C	0.00
1 1/2" EMT & 1 1/4" RMC 1-PC STRUT CLAMP W/ SADDL	61	168.74	C	102.93	0.00	C	0.00
1" CONDUIT+BOX SUPPORT W/ 9/32" MNTG HOLE	10	449.35	C	44.94	0.00	C	0.00
#12 THHN BLACK	3,300	311.56	M	1,028.15	7.50	M	24.75
#10 THHN BLACK	-1,808	476.48	M	-861.48	8.75	M	-15.82
#2 THHN BLACK	2,816	3,215.20	M	9,054.00	21.25	M	59.84
WIRE CONN RED	60	21.30	C	12.78	0.00	C	0.00
4 11/16x 2 1/8" SQ BOX 1" KO	10	2,728.76	C	272.88	35.00	C	3.50
4 11/16" SQ BLANK COVER	10	826.08	C	82.61	9.00	C	0.90
1/4-20x 1 3/4 WEDGE ANCHOR - 1 1/8" MIN DEPTH	4	0.00	C	0.00	20.00	C	0.80
1/4-20x 1 HEX HEAD BOLT - PLTD STL	10	8.67	C	0.87	7.00	C	0.70
#8x 1/2 WAFER HEAD SELF-TAP STUD SCREW - 12G	20	3.59	C	0.72	6.25	C	1.25
30A 3P BREAKER MOLDED CASE - OPEN	-2	0.00	E	-0.00	0.97	E	-1.94
100A 3P BREAKER MOLDED CASE - OPEN	3	0.00	E	0.00	1.60	E	4.80
30A 250/600V DSN SW NON-FUS - NEMA 3R	-2	407.88	E	-815.76	2.75	E	-5.50
100A 250/600V DSN SW NON-FUS - NEMA 3R	3	1,069.86	E	3,209.58	5.50	E	16.50
Roof penetration	2	49.50	E	99.00	1.50	E	3.00
Mounting Disco assy	1	82.50	E	82.50	3.00	E	3.00
<b>Totals</b>	<b>5,027</b>			<b>18,001.24</b>			<b>152.15</b>

ORIGINAL

**PROPOSED CHANGE ORDER****Intermountain Electric**947 Washington Street  
San Carlos, CA 94070**F & H Construction****CHANGE ORDER 1****Date:** 8/1/2017**Project Name:** SMAS - Animal Shelt**Project Number:** SMAS - Animal Shelt**Page Number:** 2**REF:** 1**Summary**

General Materials		18,001.24
Material Tax	(@ 9.250 %)	1,665.11
<b>Material Total</b>		<b>19,666.35</b>
GENERAL FOREMAN	(30.43 Hrs @ \$140.00)	4,260.20
JOURNEYMAN 617	(60.86 Hrs @ \$122.34)	7,445.61
FOREMAN 617	(60.86 Hrs @ \$135.20)	8,228.27
SAFETY @ 2	(3.04 Hrs @ \$85.00)	258.40
<b>Subtotal</b>		<b>39,858.83</b>
Overhead	(@ 5.000 %)	1,909.69
Markup	(@ 10.000 %)	4,010.34
<b>Subtotal</b>		<b>45,778.86</b>
<b>Final Amount</b>		<b>\$45,778.86</b>

**CONTRACTOR CERTIFICATION**

**Name:** \_\_\_\_\_  
**Date:** \_\_\_\_\_  
**Signature:** \_\_\_\_\_

I hereby certify that this quotation is complete and accurate based on the information provided.

**CLIENT ACCEPTANCE**

**CHANGE ORDER: 1** \_\_\_\_\_  
**Final Amount: \$45,778.86** \_\_\_\_\_  
**Name:** \_\_\_\_\_  
**Date:** \_\_\_\_\_  
**Signature:** \_\_\_\_\_  
**Change Order #:** \_\_\_\_\_

I hereby accept this quotation and authorize the contractor to complete the above described work.

**ORIGINAL**

**DATE:** Aug 11, 2017

**TO:** DANIEL HOFF

**CC:** STEPHEN SEIBLY

**FROM:** JAMES KELLY

**REFERENCE:** SAN MATEO ANIMAL SHELTER

**SUBJECT:** TIME IMPACT ANALYSIS #002

**CPM SCHEDULE: (Total Float -86 working days)** The **Contract Completion Date** is 3/25/19. However, the project is forecasting a **current Project Completion Date of 7/26/19**. This is a **negative variance of 86 working days; 123 calendar days**.

**TIA #002 Summary:** The Design Phase has extended beyond the approved Baseline Schedule and is driving the critical path of the schedule by 86 working days. This negative variance is comprised of multiple design issues; 66 of the 86 working days of this overall delay are listed and detailed below:

- Extended Design / Permit Package 1 (Mechanical Systems) – 41 Days
- Design/Winter Contingency – 25 Day

Total: = 66 Day Impact

**Figure 1 – TIA #002 High Level Summary (66 working days):**

ACTIVITY ID	ACTIVITY NAME	ORG DUR	REM DUR	START	FINISH	
<b>County of San Mateo - Animal Care Shelter -Updated Bas</b>		531	534	17-May-17 A	26-Jul-19	
<b>Pre-Construction</b>		55	58	17-May-17 A	31-Aug-17	
<b>Design Build Phase</b>		55	58	17-May-17 A	31-Aug-17	
<b>Demo, Underground &amp; Grading Package 1</b>		13	13	18-Jul-17	03-Aug-17	
DES-1240	**65% DD - Compl Remaining - Demo, UG & Grading Dsgn/Pmt Pkg 1	13	13	18-Jul-17	03-Aug-17	**65% DD - Compl Remaining - Demo, UG & Gra
<b>Building Package 2</b>		55	58	17-May-17 A	31-Aug-17	
DES-1220	**Extended Design / Pmt Pkg 1 (Mechanical System Revisions)	41	25	17-May-17 A	17-Jul-17	**Extended Design / Pmt Pkg 1 (Mechanical Syst
DES-1230	**65%CD - Complete Remaining 0-50%	13	13	18-Jul-17	03-Aug-17	**65%CD - Complete Remaining 0-50%
DES-1210	65% CD Phase - 50-75%	20	20	04-Aug-17	31-Aug-17	65% CD Phase - 50-75%
<b>Construction</b>		85	85	21-Mar-19	22-Jul-19	
<b>Completion</b>		85	85	21-Mar-19	22-Jul-19	
CL-1100	**Design Contingency - Proj. Extended into Winter - 5d Frmg / 20d Winter Inefficiency	25	25	21-Mar-19	24-Apr-19	**Design Cot
CL-1000	Architect Punch List and Corrections	10	10	25-Apr-19	08-May-19	Architect P
CL-1010	Jurisdictional / Agency Final Inspections	10	10	02-May-19	15-May-19	Jurisdiction
CL-1060	Demo Remaining Structures & Complete New Parking Lots	40	40	23-May-19	22-Jul-19	Demo F
<b>Closeout</b>		4	4	22-Jul-19	26-Jul-19	
CL-1070	Final Remaining Project Completion	0	0		22-Jul-19	
CL-1080	Demobilization	4	4	23-Jul-19	26-Jul-19	Demob



## TIA #002 Details:

**Extended Design / Permit Package 1 (Mech Systems Revisions) (41 Days):** The 65% Permit Package for both the Demo/Underground and Building were impacted by 41 working days due to mechanical design revisions.

Figure 2 – Extended Design / Permit Pkg 1 (41 days):

ACTIVITY ID	ACTIVITY NAME	ORG DUR	START	FINISH	2017	June 2017	July 2017	August 2017										
					15	22	29	05	12	19	26	03	10	17	24	31	07	14
County of San Mateo - Animal Care Shelter -Updated Bas		44	17-May-17 A	03-Aug-17														
Pre-Construction		44	17-May-17 A	03-Aug-17														
Design Build Phase		44	17-May-17 A	03-Aug-17														
Demo, Underground & Grading Package 1		15	23-May-17 A	24-May-17 A														
DES-1020	65% DD Demo, UG & Grading Dsgn/Pmt Pkg 1 (2d Partial Activity)	15	23-May-17 A	24-May-17 A														
Building Package 2		41	17-May-17 A	03-Aug-17														
DES-1220	**Extended Design / Pmt Pkg 1 (Mechanical System Revisions)	41	17-May-17 A	17-Jul-17														
DES-1230	**65%CD - Complete Remaining 0-50%	13	18-Jul-17	03-Aug-17														

**Design Contingency / Weather:** Due to the extended design phase, the project has been extended into winter months. This impact has been estimated at 25 working days to the construction sequence; 5 additional days framing and 20 working days for general impacts due to winter weather conditions. This contingency will be reviewed and addressed month by month on an "as needed" basis.

Figure 3 – Design/Winter Contingency (25 days):

ACTIVITY ID	ACTIVITY NAME	ORG DUR	START	FINISH	February 2019		March 2019		April 2019			May 2019									
					18	25	04	11	18	25	01	08	15	22	29	06	13	20	27	01	
County of San Mateo - Animal Care Shelter -Updated Bas					55	21-Feb-19	08-May-19														
Construction					55	21-Feb-19	08-May-19														
Completion					55	21-Feb-19	08-May-19														
CON-1190	Work-to Completion Lists, Test & Balancing	20	21-Feb-19	20-Mar-19																	
CL-1100	**Design Contingency - Proj. Extended into Winter - 5d Frmg / 20d	25	21-Mar-19	24-Apr-19																	
CL-1000	Architect Punch List and Corrections	10	25-Apr-19	08-May-19																	

Work-to Completion Lists, Test & Balancing

\*\*Design Contingency - Proj

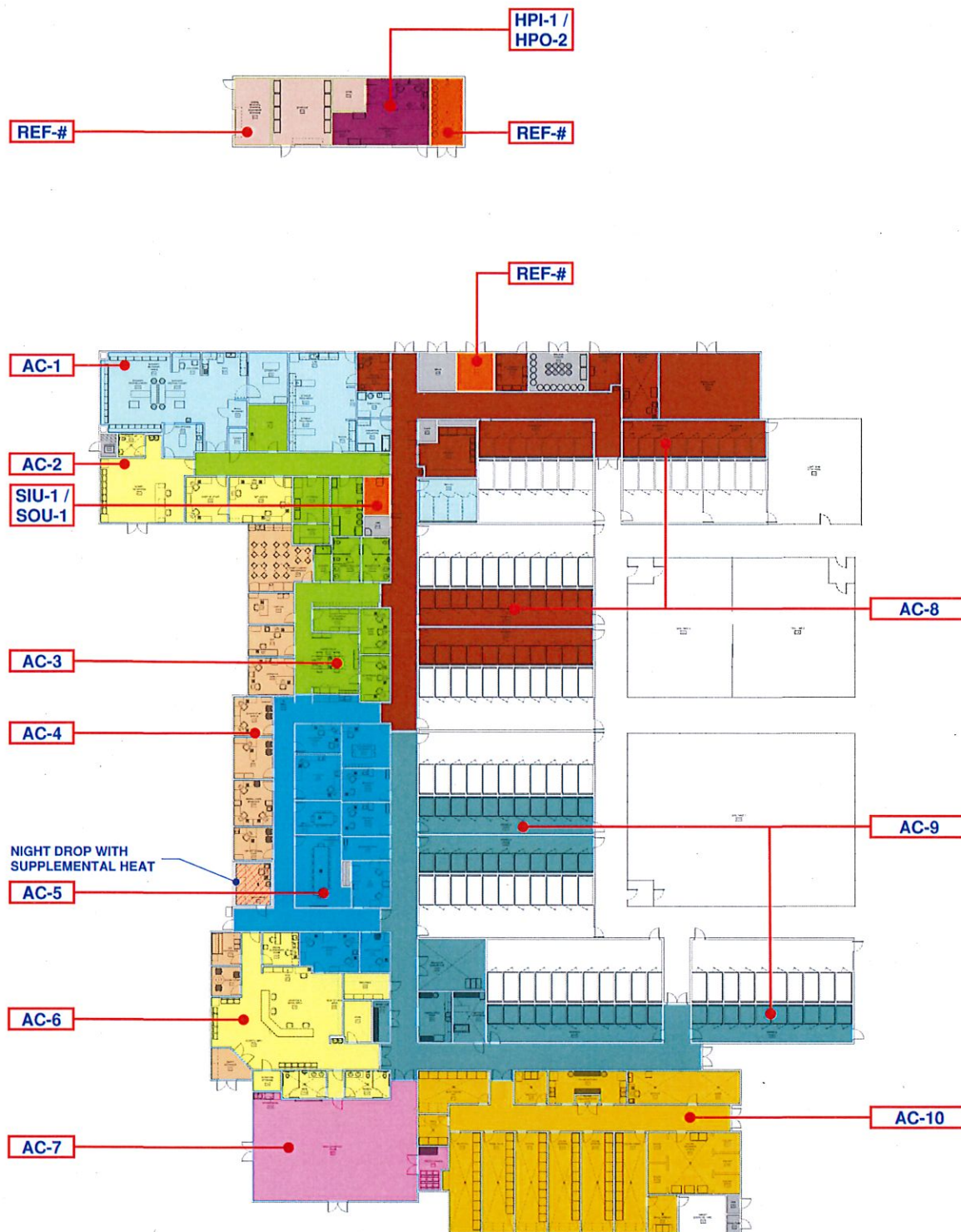
Architect Punch

Please confirm the acceptance of this work and 66 working days; 95 calendar days will be added to the overall project duration and will be addressed in the next schedule update and narrative. This will extend the Project Completion Date from 4/23/19 to a new Project Completion Date of 7/26/19.

End-



07/20/2017



# CONCEPTUAL ZONE PLAN (3 ANIMAL HOUSING ZONES)

SCALE: 1/16" = 1'-0"





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 6**

**Date: 11/30/2017**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Upgrade Trench Grates

8007 Upgrade Trench Grates

\$57,646.71

Scott Gurley

Robert Hennessy

Sam Lin

Assistant Director

4/16/2020

4/16/2020

DocuSigned by:

Scott Gurley

D149DF838EF04D7...

DocuSigned by:

Robert Hennessy

AB3B77D60A0D483...

\$57,646.71

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$57,646.71

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$300,450.69
The Contract Amount prior to this Change Order was	\$19,999,647.69
The Contract will be increased by this Change Order in the amount of	\$57,646.71
The new Contract Amount including this Change Order will be	\$20,057,294.40
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

See Change Request 8007  
(Signature)

By

By

By

Date

Date

Date

11/30/17

See Change Request 8007  
See Change Request 8007





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8007

**Date:** 11/9/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Upgrade Trench Grates

**Reason:** Owner Request

**Initiated by:** San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Replace HDPE trench grates with perforated stainless steel grates (Z886-PS).

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
15-500	Trench Drain Grate <u>Z886-PS</u>				\$53,458.26		\$53,458.26
						Subtotal:	\$53,458.26
			Markup - Subcontractor (5%)		\$53,458.26	5.00 %	\$2,672.91
				BIT	\$56,131.17 ✓	2.70 %	\$1,515.54
						<b>Total:</b>	<b>\$57,646.71</b>

If you have any questions, please contact me at (209)931-3738.

*Robert J. Hennessy* 11/27/17  
**ROBERT J. HENNESSY P.E.**

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

*Daniel Hoff*  
11/30/17

Approved by: *[Signature]*  
Date: 11/29/17

*F&H - Stephen Seibely*  
11/30/17

Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 11/30/2017

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
ANIMAL SHELTER REPLACEMENT (10-16-5466)		Change Order Number: 6 Upgrade Trench Grates					
Change Request No. 8007 Internal: No							
Scope: Replace HDPE trench grates with perforated stainless steel grates (Z886-PS).							
5466.02	44550	FRANK M BOOTH INC	15-500	S		Trench Drain Grate Z886-PS	53,458.26
Change Order 6 total							53,458.26

DocuSign Envelope ID: 6824A9BF-3A5B-43C4-B64D-04F2823F3064





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02**

**Change Order: 2**

**Date: 11/30/2017**

**To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

Upgrade Trench Grates

We are pleased to offer the following specifications and pricing to make the following changes:

Replace HDPE trench grates with perforated stainless steel grates (Z886-PS).

Extra	Cost Code	Cat	Change Request	Description	Amount
	15-500	S	8007	Trench Drain Grate Z886-PS	\$53,458.26

The original Contract Amount was	\$3,238,000.00
Net change by previously authorized Change Orders	\$232,165.30
The Contract Amount prior to this Change Order was	\$3,470,165.30
The Contract will be increased by this Change Order in the amount of	\$53,458.26
The new Contract Amount including this Change Order will be	\$3,523,623.56
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

  
(Signature)

By \_\_\_\_\_  
Date 11/30/17



4220 Douglas Blvd. Granite Bay CA 95746  
TEL (916) 784-0777 FAX (916) 784-0707  
CA License No. 793419

08-Nov-17

F&H Construction  
1115 E Lockeford St  
Lodi, CA 95240

Attention: Daniel Hoff

Reference: San Mateo Animal Shelter  
FMB Job No. 1704

Subject: Change Proposal Request  
FMB C/O # 90-000-03

General Contractor

Attached and below is the narrative and pricing for the above referenced change order.

(Cost of construction including GC's & OH&P)	\$ 51,402.17
(Engineering Lump Sum Fee)	\$ 2,056.09

Please forward written change order at your earliest convenience or call with any questions.

Sincerely,

FRANK M. BOOTH, INC

A handwritten signature in blue ink, appearing to read "Eric Durbin", is written over a horizontal line.

Eric Durbin  
Estimating/Pre-Construction

Attachment:

cc: Linda Booth  
Job File



The following narrative recaps the major scope changes included in this quotation.

**Replace HDPE trench grates with Stainless Steel:** Per county request, base proposed HDPE crates are being replaced with stainless steel. Catch basin to remain as is.



## SCOPE CHANGE COST SUMMARY

<b>Project:</b>	San Mateo Animal Shelter	<b>Date:</b>	11/08/2017
<b>Job #</b>	1704	<b>Prepared By:</b>	Eric Durbin
<b>FMB No.:</b>	90-000-03		
<b>Scope:</b>	Replace HDPE Trench Grates w/ SS		

**Labor:**

Cost of Labor - From Labor Recap Sheets

Markup

**Hours**

0

**Extended**

\$

-

15.00%

\$

-

**Labor Total**

\$

-

**Material & Equipment:**

Direct Material

Sales Tax

Sub-Total Material

Markup

\$

40,508.00

\$

3,746.99

\$

44,254.99

\$

6,638.25

**Total Material & Equipment**

\$

50,893.24

**Other Costs:**

Fabrication, Equip., Rental (Per labor hr., excl. detailing &amp; delivery)

\$83.89

0.00

\$

-

Consumables (Per Field labor \$)

3% \$

-

\$

-

Test, Adjustment, Warranty (Per Field labor \$)

2% \$

-

\$

-

Subsistence \$14/Hr for GF and Foreman Hours unless overridden

\$14.00

0.00

\$

-

Safety Supplies Expense (Per field labor hr.)

\$1.25

0.00

\$

-

Direct Equipment Rental (see recap)

\$

-

Other

\$

-

Sub-Total Other Costs

\$

-

Markup

15.00%

\$

-

**Total Other Costs**

\$

-

**Total FMB Self Performed Work**

\$

50,893.24

**Subcontracted Work:**

Controls

\$

-

Insulation

\$

-

Balance

\$

-

Fire/Acoustical Caulking

\$

-

Water Treatment

\$

-

Rigging

\$

-

Excavation

\$

-

Misc Other Subs

\$

-

Sub-Total Subcontracted Costs

\$

-

Markup

10.00%

\$

-

**Total Subcontracted Costs**

\$

-

**Cost Recap**

Total Construction Cost:

\$

50,893.24

Bond Premium

1%

\$

508.93

Sub-Total Construction Cost

\$

51,402.17

Engineering Fee's for the above

4.0%

\$

2,056.09

Subtotal

\$

53,458.26

OCCIP Deduct

0.0%

\$

-

Total Change Request

\$

53,458.26

The price quoted for the above described Scope Change is subject to the following conditions:

(1) A direction to proceed by the Contractor will entitle us to progress payments for Work covered above.

(2) If this change decreases, extends, or otherwise affects our completion time, our cost of performance will thereby increase.

We reserve all rights to recover these added costs and rely on Contractor to keep us fully informed regarding changes in the completion time.

Valid For 90 Days





## Sheet Metal Productive Work Hours Summary

Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

## Sheet Metal Crew Mix

Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 131.42	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 112.47	\$ -	\$ -
Field Crew		1	2		3	\$ 123.50	\$ -	\$ -

## Shop / Detailing Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A		\$ 131.42		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 119.54		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 79.36		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 135.40		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 131.42		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 131.42		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 79.36		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 79.36		\$ -		\$ -	\$ -
N/A	Subsistence								
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

## Field Dryside Labor Rate Table

Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 135.40		\$ -		\$ -	\$ -
Foreman		N/A		\$ 131.42		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 119.54		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 79.36		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 135.40		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 131.42		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 131.42		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 79.36		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 79.36		\$ -		\$ -	\$ -
N/A	Subsistence								
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -



## DATE 11/8/17

[illegible]

Dryside Takeoff Estimate 1 of 1

Job Name: San Mateo Animal Shelter

Field Local Union: Local 104 Dist 2

Shop Local Union: Local 104 Dist 2

## DRYSIDE WAGE BREAKDOWN WORKSHEET

## ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	0	6	6	0	0	0	12
Months/Per (Shop)	0	6	6	0	0	0	12

## HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)

STRAIGHT TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Field Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Field Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Field Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36
Shop General Foreman	130.19	135.40	135.40	140.81	140.81		\$135.40
Shop Foreman	126.37	131.42	131.42	136.68	136.68		\$131.42
Shop Journeyman	114.94	119.54	119.54	124.32	124.32		\$119.54
Shop Apprentice	76.31	79.36	79.36	82.54	82.54		\$79.36
	76.31	92.82213	92.8221	96.53501	96.535		

OVERTIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

DOUBLE TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00



Piping Productive Work Hours Summary						
Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

Piping Crew Mix								
Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

Shop / Detailing Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

Field Wetside Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

DATE 11/8/17

[illegible]

Piping Takeoff Estimate 1 of 1



Job Name: San Mateo Animal Shelter

Field Local Union: District Council 36 LU 467

Shop Local Union: District Council 36 LU 467

## WETSID E WAGE BREAKDOWN WORKSHEET

## ESTIMATED PROJECT SCHEDULE (SIX MONTH PAY PERIODS)

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Total
Months/Per (Field)	2	6	6	0	0	0	14
Months/Per (Shop)	2	6	6	0	0	0	14

## HOURLY LABOR RATES WITH FRINGES (PER UNION CONTRACT)

STRAIGHT TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Field Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Field Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Field Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30
Shop General Foreman	127.72	132.83	132.83	138.14	138.14		\$132.10
Shop Foreman	120.04	124.84	124.84	129.84	129.84		\$124.16
Shop Journeyman	112.35	116.84	116.84	121.52	121.52		\$116.20
Shop Apprentice	83.44	86.78	86.78	90.25	90.25		\$86.30
	88.06	91.5824	91.5824	95.2457	95.2457	99.05552	

OVERTIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00

DOUBLE TIME

UNION PAY PERIOD	Jan 18	July 18	Jan 19	July 19	Jan 20	July 20	Average
Field General Foreman							\$0.00
Field Foreman							\$0.00
Field Journeyman							\$0.00
Field Apprentice							\$0.00
Shop General Foreman							\$0.00
Shop Foreman							\$0.00
Shop Journeyman							\$0.00
Shop Apprentice							\$0.00



Plumbing Productive Work Hours Summary						
Work Description Category	Productive Hours From Recap Sheet	Added Hours based on Productivity Factors	Total Hours	Hours Performed on Straight Time	Hours Performed on 1.5x	Hours Performed on 2.0x
Detailing/Layout	-	N/A	-	-	-	-
Shop Productive Hours	-	-	-	-	-	-
Field Productive Hours	-	-	-	-	-	-
Subtotal Productive Hours	-	-	-	-	-	-

Plumbing Crew Mix								
Work Description Category	General Foreman	Foreman	Journeyman	Apprentice	Total Crew Size	ST Crew Mix Rate/hr	1.5x Crew Mix Rate	2.0x Crew Mix Rate
Detailing/Layout		1			1	\$ 124.16	\$ -	\$ -
Shop Crew		1	2	1	4	\$ 110.72	\$ -	\$ -
Field Crew		1	2		3	\$ 118.85	\$ -	\$ -

Shop / Detailing Plumbing Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

Field Plumbing Labor Rate Table									
Worker Classification	Worker Description	% of Productive Hrs	Straight Time Hours	Straight Time Rate	1.5x Hours	1.5x Rate	2x Hours	2x Rate	Total Labor \$
General Foreman		N/A		\$ 132.10		\$ -		\$ -	\$ -
Foreman		N/A		\$ 124.16		\$ -		\$ -	\$ -
Journeyman		N/A		\$ 116.20		\$ -		\$ -	\$ -
Apprentice		N/A		\$ 86.30		\$ -		\$ -	\$ -
Subtotal Productive Hours									\$ -
General Foreman	Supervision	10.00%		\$ 132.10		\$ -		\$ -	\$ -
Foreman	Safety	3.00%		\$ 124.16		\$ -		\$ -	\$ -
Foreman	QA/QC	5.00%		\$ 124.16		\$ -		\$ -	\$ -
Apprentice	Cleanup	5.00%		\$ 86.30		\$ -		\$ -	\$ -
Apprentice	Delivery	7.50%		\$ 86.30		\$ -		\$ -	\$ -
Totals		Total ST Hrs		Total 1.5x Hrs		Total 2.0x Hrs			\$ -

[illegible]





## SUBCONTRACTORS ESTIMATE WORKSHEET

Controls				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
Additional AC			\$ 6,500.00	\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

Insulation				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

Balance				
item	location	qty	\$/ea	\$
Reheat Coil			\$90.00	\$ -
Air Outlets			\$40.00	\$ -
Air Handler			\$450.00	\$ -
Add for Return Fan			\$125.00	\$ -
Package Units (5 tons)			\$300.00	\$ -
Exhaust Fans			\$300.00	\$ -
Small Fans			\$100.00	\$ -
Pumps			\$300.00	\$ -
Air Handler Coils			\$100.00	\$ -
Boiler			\$200.00	\$ -
Chiller			\$200.00	\$ -
Cooling Tower			\$300.00	\$ -
Expansion Tank			\$150.00	\$ -
Out of town work/per night		-	\$200.00	\$ -
Mileage		-	\$0.85	\$ -
Sub Total				\$ -
Labor Add for Bay Area Work				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>

Fire/Acoustical Caulking				
item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -
Boiler			\$ 20,000.00	\$ -
Med Gas Alarms			\$ 7,500.00	\$ -
EF's			\$ 1,500.00	\$ -
TF's			\$ 800.00	\$ -
MRI			\$ 5,000.00	\$ -
VRF			\$ 7,500.00	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
			<b>Totals</b>	<b>\$ -</b>





**FRANK M.  
BOOTH, INC.**

## SUBCONTRACTORS ESTIMATE WORKSHEET

## Controls

item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -

## Water Treatment

[illegible]

## Excavation

[illegible]

## Insulation

item	location	qty	\$/ea	\$
AHU's	roof		\$ 18,500.00	\$ -
Zones			\$ 1,650.00	\$ -
R/A Zones			\$ 1,350.00	\$ -
CHW plant			\$ 25,000.00	\$ -

## Rigging

[illegible]

### Misc Other Subs

[illegible]

Phone #

TOTAL RENTAL CHARGES	\$0
----------------------	-----

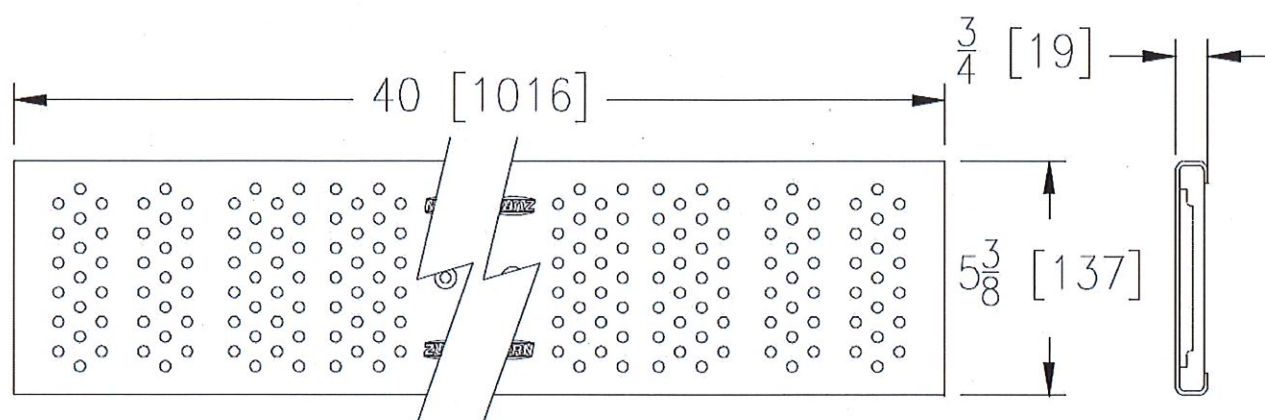


1-877-903-7246

# TRENCH DRAIN SUPPLY

www.trenchdrainsupply.com

Number	Series
64078	Z886-PS A Class Perforated Stainless Steel Grate P6-PS



### Specification

The Zurn P6-PS Fabricated Perforated, Stainless Steel Grate, is 5-3/8 inches wide by 40 inches long, weighing 1.8 lbs per linear foot. The grate has an open area of 5.3 square inches per linear foot, DIN Rating of A, ANSI Rating of Light Duty, ADA Compliant. Supplied by Trench Drain Supply.


**Manufacturer**


### PS - Fabricated Perforated

Material: Type 304 Stainless Steel

DIN Rating: Class A

Weight: 1.8 lbs/ft.

Open Area: 5.3 in<sup>2</sup>/ft.

ANSI Rating: Light Duty

Application: Heel-Proof Pedestrian

Slot Width/Hole Size: 1/4"

ADA: Yes

H-20: No

FAA: No

DISCLAIMER - The customer and the customer's architects, engineers, consultants, and other professionals are completely responsible for the selection installation and maintenance of any product purchased from Trench Drain Supply and/or its manufacturers. TRENCH DRAIN SUPPLY MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE SUITABILITY, DESIGN, MERCHANTABILITY, OR FITNESS OF THE PRODUCT FOR CUSTOMERS APPLICATION. The drawing and information provided remain the property and copyright of the manufacturer listed. The manufacturer reserves the right to modify specification without notice.



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 7**

**Date:** 2/5/2018

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

30% Floor Plan Revisions - Constructon ROM

8009 30% Floor Plan Revisions - Construction ROM

Sam Lin

\$198,618.24

Scott Gurley

Robert Hennessy

Assistant Director

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$198,618.24

4/16/2020

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$198,618.24

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$822,261.73
The Contract Amount prior to this Change Order was	\$20,521,458.73
The Contract will be increased by this Change Order in the amount of	\$198,618.24
The new Contract Amount including this Change Order will be	\$20,720,076.97
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT	FH CONSTRUCTION CONTRACTOR PO BOX 2329 LODI, CA 95241	OWNER
<i>(Signature)</i>	<i>Daniel Hoff</i> (Signature)	SEE CHANGE REQUEST 8009 ATTACHED (Signature)
By	By <i>Daniel Hoff</i>	By
Date	Date <i>2/5/18</i>	Date





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8009

**Date:** 12/14/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** 30% Floor Plan Revisions - Construction ROM

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Revisions to the floor plan due to bridging documents discrepancies in sole regards to square foot and operational program requirements. ROM Costs will be identified in an itemized spreadsheet and billed accordingly in the monthly payment application. The ROM cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the ROM fund will be returned to the owner at the completion of the project by deductive change order.

Delay in design phase has pushed critical demolition, grading and foundation construction activities to periods of potentially higher weather related inefficiencies and impacts. Construction and weather related impacts are unknown. Impacts will be identified and recorded as they occur during construction.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	30% Floor Plan Revisions - ROM					\$198,618.24	\$198,618.24
						Subtotal:	\$198,618.24
						Total:	\$198,618.24

RSH

OK for ROM \$198,618.24, for add'l 832 SF Area above Bridg's documents.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED: 1-9-18  
  
ROBERT J. HENNESSY, P.E.



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Letter of Transmittal

To: Robert Hennessy  
Jacobs

Transmittal #: 61

Date: 1/9/2018

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Subject: Change Request - 8009: 30% Floor Plan Revisions - Construction ROM

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	12/14/17	8009	30% Floor Plan Revisions - Construction ROM

**THESE ARE TRANSMITTED as checked below:**

☐ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

Remarks:

Copy To:

### SHOP DRAWING/SUBMITTAL REVIEW

**X REVIEWED**

REVISE AND RESUBMIT

MAKE CORRECTIONS NOTED  
REJECTED

SUBMITTAL WAS REVIEWED FOR DESIGN CONFORMITY AND GENERAL CONFORMANCE TO CONTRACT DOCUMENTS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH CONTRACT DOCUMENTS.

Signature: Robert J. Hennessy

Robert J. Hennessy PE

Date: 1-9-18

From:

Signature: \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

SCOPE: **LS COST - REVISED FLOOR PLAN ALLOWANCE**  
**SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	DIVISION 1 - GENERAL CONDITIONS					
	SCHEDULE					
	DESIGN	25	DAYS			
	F&H DESIGN EXTENDED OVERHEAD	25	DAYS	\$750.00	18,750	
	LDA PARTNERS	1	LS	\$36,000.00	36,000	
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				54,750	
	BUILDERS RISK INSURANCE					
	LIABILITY INSURANCE				1,647	
	PAYMENT & PERFORMANCE BOND					
	MARKUP - SUBCONTRACTOR (10%)				1,800	
	MARKUP - DIRECT COST (15%)				2,813	
	<b>TOTAL</b>				<b>61,010</b>	

✓ ROM  
← Excluded from this ROM

SCOPE: **ROM COST - REVISED FLOOR PLAN ALLOWANCE**  
**SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	DIVISION 1 - GENERAL CONDITIONS					
	CONSTRUCTION CONTINGENCY	15	DAYS			WORKING DAYS
	F&H CONSTRUCTION EXTENDED OVERHEAD	15	DAYS	\$2,936.80	44,052	WORKING DAYS
01000	ALL DIVISIONS					
	ROM PROPOSAL				198,618	
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE (ROM)				242,670.28	.23 ROM



**California Main Office:**  
 1115 E. Lockeford St.  
 Lodi, CA. 95240  
 (209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
 Jacobs

**Transmittal #:** 61

**Date:** 1/9/2018

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8009: 30% Floor Plan Revisions - Construction ROM

**WE ARE SENDING YOU**

☐ Attached ☐ Under separate cover via the following items:

- ☐ Shop drawings    ☐ Prints    ☐ Plans    ☐ Samples  
☐ Copy of letter    ☐ Change order    ☐ Specifications    ☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	12/14/17	8009	30% Floor Plan Revisions - Construction ROM

**THESE ARE TRANSMITTED as checked below:**

- ☐ For approval    ☐ Approved as submitted    ☐ Resubmit \_\_\_\_ copies for approval  
☐ For your use    ☐ Approved as noted    ☐ Submit \_\_\_\_ copies for distribution  
☐ As requested    ☐ Returned for corrections    ☐ Return \_\_\_\_ corrected prints  
☐ For review and comment    ☐ Other  
☐ FOR BIDS DUE    ☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:**

**Signature:** \_\_\_\_\_





**California Main Office:**  
 1115 E. Lockeford St.  
 Lodi, CA. 95240  
 (209) 931-3738

## Change Request

**To:** Robert Hennessy  
 Jacobs

**Number:** 8009

**Date:** 12/14/17

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** 30% Floor Plan Revisions - Construction ROM

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Revisions to the floor plan due to bridging documents discrepancies in sole regards to square foot and operational program requirements. ROM Costs will be identified in an itemized spreadsheet and billed accordingly in the monthly payment application. The ROM cost is unknown and may exceed the estimated cost, DBE will promptly advise owner upon reaching 75% of maximum amount to increase funds. Remaining budget in the ROM fund will be returned to the owner at the completion of the project by deductive change order.

Delay in design phase has pushed critical demolition, grading and foundation construction activities to periods of potentially higher weather related inefficiencies and impacts. Construction and weather related impacts are unknown. Impacts will be identified and recorded as they occur during construction.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	30% Floor Plan Revisions - ROM					\$198,618.24	\$198,618.24
						Subtotal:	\$198,618.24
						<b>Total:</b>	<b>\$198,618.24</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
 F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
 Date: \_\_\_\_\_

## Daniel Hoff

---

**From:** Robert Hennessy <c\_rhennessy@smcgov.org>  
**Sent:** Tuesday, January 02, 2018 12:02 PM  
**To:** Daniel Hoff  
**Cc:** Sam Lin; Deborah Bazan; Stephen Seibly; Sarah Hoff  
**Subject:** RE: Animal Shelter - 30% Floor Plan Revisions - ROM Cost "CONSTRUCTION"

Hi Daniel,

Per our conversation this date, please resubmit the 30% Floor Plan Revision ROM for the revised amount \$198,618.00 (not including extended General Conditions/rain days) for final approval.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
1402 Maple Street  
Redwood City, CA 94063  
925-997-2956 C  
[www.smcpdu.org](http://www.smcpdu.org)

---

**From:** Daniel Hoff [mailto:dhoff@f-hconst.com]  
**Sent:** Tuesday, December 26, 2017 8:42 AM  
**To:** Robert Hennessy <c\_rhennessy@smcgov.org>  
**Cc:** Sam Lin <slin@smcgov.org>; Deborah Bazan <dbazan@smcgov.org>; Stephen Seibly <sseibly@f-hconst.com>; Sarah Hoff <shoff@f-hconst.com>  
**Subject:** RE: Animal Shelter - 30% Floor Plan Revisions - ROM Cost "CONSTRUCTION"

Bob,

I believe there is a misunderstanding. The ROM or allowance cost was originally requested from Theresa and Sam for the sole purpose of allocating the County's funds for when the project does go out to bid and has an increase in cost due to upsizing the building and site work scope. Whether it is \$242,670.24 or \$198,618.24 doesn't affect F&H since when it goes out the bid the County will be liable for the cost increase due to the number of changes to the original contract scope. If you prefer, we can scrap the 30% ROM Cost change request all together.

Thanks,

**Daniel Hoff** / LEED AP BD+C

(209) 931-3738 **PHONE**  
(209) 269-6327 **MOBILE**

(209) 931-4427 **FAX**

[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



1115 East Lockeford Street, Lodi, CA 95240

**[WWW.F-HCONST.COM](http://WWW.F-HCONST.COM)**



**Please consider the environment before printing this email.**

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---

**From:** Robert Hennessy [[mailto:c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)]  
**Sent:** Friday, December 22, 2017 10:10 AM  
**To:** Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>  
**Subject:** Animal Shelter - 30% Floor Plan Revisions - ROM Cost "CONSTRUCTION"

Hi Daniel,

As a follow-up to our conversation regarding the Construction (ROM) Cost for the 30% Revised Floor Plan Allowance (total ROM cost as submitted \$242,670.24 . see attachment), it was agreed to delete the extended overhead (15 days at \$2,936.80/day or \$44,052.00 DEDUCT) from the Construction (ROM) Cost as presented.

The revised Construction (ROM) Cost is now **\$198,618.24**.

It is understood that the revised ROM Cost is for Construction only and that in the event of rain or other delays, F&H may submit a Change Order Request for extended overhead.

Also, the separate Change Request for the Design Costs . Revised Floor Plans, is currently under review with resolution within the first week of Jan. 2018.

Please revise the Change Request form (Construction ROM in the amount of \$198,618.24) and forward to me for final processing.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
1402 Maple Street

Redwood City, CA 94063

925-997-2956 C

[www.smcpdu.org](http://www.smcpdu.org)



# ANIMAL SHELTER COUNTY OF SAN MATEO

1 Month Duration

1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>MISC. ITEMS</b>							
LAYOUT - FOREMAN ON SITE	24.0	HR	4.00	72.50	96	1,740	1,836
TEMPORARY FENCE - RENT AFTER 12 MO	1,400.0	LF	0.25	0.00	350	0	350
OFFICE EQUIPMENT & SUPPLIES - MO	1.0	MO	375.00	0.00	375	0	375
DRINKING WATER	1.0	MO	120.00	0.00	120	0	120
SAFETY SUPPLIES	1.0	MO	210.00	0.00	210	0	210
TRAILER MONTHLY	1.0	MO	621.00	0.00	621	0	621
STORAGE SHED (2 EACH)	2.0	EA	102.00	0.00	204	0	204
<b>TEMP UTILITIES</b>							
POWER - TIE-IN TO EXISTING							
CORDS & DISTRIBUTION - 30 MIN. / DAY	1.0	MO	100.00	787.50	100	788	888
MONTHLY	1.0	MO	702.00	0.00	702	0	702
TEMP HEAT & AIR CONTROL IN BUILDING	1.0	MO	1,000.00	787.50	1,000	788	1,788
WATER							
HOSE & DISTRIBUTION	1.0	LS	50.00	300.00	50	300	350
SECURITY CAMERA - START							
SECURITY CAMERA - MONTHLY	1.0	MO	650.00	0.00	650	0	650
TELEPHONE							
MONTHLY	1.0	MO	250.00	0.00	250	0	250
MONTHLY CELL PHONE (PM, SUPER, PE)	3.0	MO	118.00	0.00	354	0	354
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 16 HRS / MO	1.0	EA	2,400.00	0.00	2,400	0	2,400
AS-BUILTS PRINTING COSTS	1.0	LS	75.00	0.00	75	0	75
<b>OWNERS ITEMS</b>							
TRIPLE WIDE TRAILER FOR PUBLIC USAGE							
RAMPS AND TEMP ACCESS @ PUBLIC AREA	1.0	MO	105.00	0.00	105	0	105
TRAILER MONTHLY - DOUBLE WIDE	1.0	MO	1,257.00	0.00	1,257	0	1,257
SEPTIC ABOVE GROUND AT TRAILER							
HOLDING TANK RENTAL	1.0	EA	59.40	0.00	59	0	59
PUMP OUT TANKS	1.0	EA	162.00	0.00	162	0	162
PORTABLE TOILET							
PORTABLE TOILET W/ SINK - 2	2.0	EA	108.60	0.00	217	0	217
DUAL HANDWASH STATIONS	1.0	EA	65.40	0.00	65	0	65
PUMP OUT AND SERVICE TOILETS	6.0	EA	43.20	0.00	259	0	259
OWNER EQUIP - STORAGE SHED (IN & OUT COST)	2.0	EA	102.00	0.00	204	0	204
<b>MISC. ITEMS</b>							
PORTABLE TOILETS							
PORTABLE TOILET W/ SINK	3.0	EA	102.60	0.00	308	0	308
DUAL HANDWASH STATIONS	1.0	EA	59.40	0.00	59	0	59
PUMP OUT AND SERVICE TOILETS	12.0	EA	37.80	0.00	454	0	454
BLUEPRINTING	1.0	MO	35.00	0.00	35	0	35
ROAD AREA & MAINTENANCE / SITE CLEANING	1.0	MO	150.00	576.00	150	576	726

SMALL TOOL PURCHASE & RENT	1.0	MO	350.00	0.00	350	0	350
SHIPPING / MAIL	1.0	MO	120.00	0.00	120	0	120
PROGRESS CLEANING - 1 HRS / DAY	1.0	MO	100.00	1,512.00	100	1,512	1,612
DUMPSTERS / RECYCLING / LEED	1.0	EA	825.00	0.00	825	0	825
YARD SERVICE	1.0	EA	275.00	0.00	275	0	275
SUBTOTAL					12,562	5,703	18,265

**SUPERVISION**

PROJECT MANAGER	1.0	MO	0.00	16,608.00	0	16,608	16,608
FIELD - SUPERINTENDENT	1.0	MO	0.00	15,916.00	0	15,916	15,916
FIELD - SITE FOREMAN 80 HRS/MO	1.0	MO	0.00	15,397.00	0	15,397	15,397
PROJECT ENGINEER	1.0	MO	0.00	8,650.00	0	8,650	8,650
SUBTOTAL					0	56,571	56,571

**VEHICLE ALLOWANCE**

PROJECT MANAGER	1.0	MO	600.00	0.00	600	0	600
FIELD - SUPERINTENDENT	1.0	MO	750.00	0.00	750	0	750
FIELD - ASSIST 50% OF TIME	1.0	MO	375.00	0.00	375	0	375
PROJECT ENGINEER	1.0	MO	450.00	0.00	450	0	450
SUBTOTAL					2,175	0	2,175

**SUBSISTENCE / TRAVEL**

PROJECT MANAGER	1.0	MO	0.00	770.00	0	770	770
FIELD - SUPERINTENDENT	1.0	MO	0.00	725.00	0	725	725
SUBTOTAL					0	1,495	1,495

**HOUSING**

HOUSING - SHARED PM & SUPERINTENDENT	1.0	MO	3,500.00	0.00	3,500	0	3,500
BRIDGE TOLLS - 4 PER WEEK	12.0	EA	5.00	0.00	60	0	60
FAST PASS BYPASS - 4 PER WEEK	12.0	EA	3.50	0.00	42	0	42
SUBTOTAL					3,602	0	3,602

**EQUIPMENT RENTAL**

FORKLIFT - BOOM TYPE	1.0	MO	2,420.00	0.00	2,420	0	2,420
MISCELLANEAUS	1.0	MO	300.00	0.00	300	0	300
SUBTOTAL					2,720	0	2,720

**FUEL / OIL / MAINTENANCE**

PROJECT MANAGER	1.0	MO	925.00	0.00	925	0	925
SUPERINTENDENT	1.0	MO	901.00	0.00	901	0	901
PROJECT ENGINEER	1.0	MO	400.00	0.00	400	0	400
FORKLIFT	1.0	MO	500.00	0.00	500	0	500
MISC. EQUIPMENT	1.0	MO	300.00	0.00	300	0	300
MAINTENANCE	2.0	EA	125.00	0.00	250	0	250
SUBTOTAL					3,276	0	3,276
TTL ABOVE					24,335	63,769	88,104
DAILY OVERHEAD COSTS					2,936.8		

# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
101	ENTRY VESTIBULE	64	112	101	-11
102	CLIENT LOBBY	300	838	736	-102
103	COUNTER & WORK AREA	300	301	411	110
104	DOG TETHER AREA	80	55	76	21
105	INITIAL SURRENDER EXAM	90	120	110	-10
106	CLIENT EXAM ROOM	80	96	81	-15
107	OWNER PRESENT EUTHANASIA	80	96	90	-6
109	DONATION STORAGE	154	80	53	-27
110A	PUBLIC RESTROOM MEN	112	58	114	56
110B	PUBLIC RESTROOM WOMEN		58	114	56
204	VETERINARY SERVICES MANAGER	168	180	208	28
206	ANIMAL CONTROL DISPATCH OFFICE	126	131	161	30
207	ANIMAL CONTROL CAPTAIN OFFICE	108	116	134	18
208	ANIMAL CONTROL CORPORALS	126	140	126	-14
209	ANIMAL CONTROL STAFF	126	126	126	0
210	ANIMAL CONTROL LEAD SUPERVISORS	126	140	134	-6
211	ANIMAL CONTROL SQUAD ROOM		341	270	-71
212	ANIMAL CONTROL RECORDS STORAGE	80	80	98	18
213	ANIMAL CONTROL EVIDENCE STORAGE	80	80	116	36
215	PURCHASING COORDINATOR OFFICE	80	88	108	20
217	HUMAN RESOURCES OFFICE	126	135	161	26
221	WILDLIFE HOLDING (318)	64	72	100	28
221	BEHAVIOR STAFF OFFICE	270	135	145	10
221	BEHAVIOR STAFF OFFICE		135	145	10
222	BEHAVIOR PROG STAFF STORAGE	100	107	102	-5
223	BEHAVIOR VOLUNTEER STORAGE	64	31	63	32
224	RECORD STORAGE	160	72	112	40
227	MULTI-PURPOSE ROOM	1600	1650	1628	-22
229	FELINE KITCHEN (403A)	160	160	217	57
232	FELINE BEHAVIOR STORAGE (317)	48	50	18	-32
243	NIGHT DROP (108)	120	122	137	15
244	VICE PRESIDENT OFFICE (202)	80	138	155	17
245	DIRECTOR OF VETERINARY ANIMAL CARE (203)	80	138	121	-17
246	SENIOR MANAGER/PRESIDENT OFFICE (201)	144	165	145	-20

<b>Building Program Report - SF COMPARISON</b>					
		<b>Bridging Docs</b>	<b>12/20 Contract</b>	<b>30%</b>	<b>Variance 12/20 to 30%</b>
<b>Room No.</b>	<b>Room Name</b>	<b>Net SF</b>	<b>Net SF</b>	<b>Net SF</b>	<b>Net SF</b>
247	ANIMAL CARE MANAGER OFFICE (218)	168	137	170	33
248	IT OFFICE (216)	196	200	196	-4
249	SMALL CONFERENCE ROOM (225)	130	147	140	-7
250	LARGE CONFERENCE ROOM (226)	308	341	326	-15
251	VOLUNTEER COORDINATOR OFFICE (214)	126	115	126	11
302	INDOOR KENNELS	2187	4258	4342	84
302O	OUTDOOR KENNELS	3645	7845	7449	-396
305	MEDICAL ISOLATION	144	235	242	7
306	FELINE GENERAL POPULATION CAGES	540	300	302	2
306	FELINE GENERAL POPULATION		300	302	2
307	FELINE/RABBIT CAGES	270	300	302	2
309	URI KITTEN CAGES	300	300	315	15
310	FERAL QUARANTINE	300	240	302	62
311	KITTEN	264	300	302	2
312	PREGNANT/NURSING FELINE	72	72	87	15
313	ADULT FELINE URI	168	203	248	45
314	FELINE BEAVIOR CONDO	192	201	267	66
315	FELINE BEHAVIOR COLONY	144	49	48	-1
315	FELINE BEHAVIOR COLONY		50	47	-3
315	FELINE BEHAVIOR COLONY		51	48	-3
316	FELINE VOLUNTEER SOCIALIZATION	117	59	53	-6
316	FELINE VOLUNTEER SOCIALIZATION		59	53	-6
319	SMALL MAMMAL	100	100	105	5
320	AVIAN	120	120	148	28
321	EXOTICS	120	98	198	100
321	AVIAN EXOTICS KITCHENETTE (320A)		22	18	-4
322	INTAKE/PROCESSING	100	118	118	0
325	RABBIT EXERCISE YARD	168	134	175	41
327	MAIN BUILDING CORRIDOR		3310	3314	4
323	CIRCULATION/CORRIDORS/SF ADJ		2927	2885	-42
401	BATHING/GROOMING	150	150	153	3
402	CANINE KITCHEN (228)	48	14	0	-14
402	CANINE FOOD PREP	150	150	161	11
404	LAUNDRY	264	309	244	-65
405	BEHAVIOR EVALUATION	225	318	327	9
407	EUTHANASIA (SHELTER)	120	120	222	102
408	COOLER VESTIBULE	96	96	110	14
409	WALK-IN COOLER	180	180	208	28
505	MEDICAL GAS STORAGE	48	72	39	-33
507	STAFF LOUNGE / BREAKROOM	324	274	354	80



# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
508	WOMEN STAFF SHOWER/LOCKER		174	0	-174
509	MEN STAFF SHOWER/LOCKER	324	170	55	-115
509	MENS STAFF RESTROOM	112	69	115	46
509	WOMENS STAFF RESTROOM		53	115	62
510	ANIMAL CARE STORAGE	625	629	621	-8
511	MAIN IT/COMPUTER	100	123	90	-33
512	STORAGE (820)		40	372	332
513	CHEMICAL STORAGE (506)	225	227	207	-20
514	MAINTENENCE & SHOP (501)	400	450	464	14
515	COUNTY STORAGE (814)		39	46	7
516	MAINTENENCE STORAGE (807)	100	100	100	0
517	ANIMAL RESCUE & CONTROL EQUIPMENT STORAGE (220)	240	203	231	28
518	STORAGE (610)	150	147	156	9
518	STORAGE		0		0
519	VETERINARIANS OFFICE (619)	120	224	271	47
520	CHEIF OF STAFF OFFICE (618)	126	126	182	56
521	RINGWORM ISOLATION ROOM(615)	100	100	100	0
522	FERAL RECOVERY CLOSET (605)	48	48	48	0
523	PHARMACY COUNTER (622)	28	18	24	6
524	X-RAY (609)	150	150	171	21
524	CLOSET		0	41	41
601	LOBBY/RECEPTION	200	558	571	13
602	PRE-OP EXAM ROOM	90	95	118	23
603	SURGERY PREP/RECOVERY	288	144	143	-1
603	SURGERY PREP/RECOVERY		144	143	-1
604	RECOVERY CAGES/ CIRCULATION	324	368	587	219
606	OPERATORY	165	165	187	22
607	PACK/PREP/SCRUB	120	120	98	-22
608	LAUNDRY	180	175	176	1
611	SECURE STORAGE	48	70	68	-2
612A	3 TABLE TREATMENT	288	144	144	0
612B	3 TABLE TREATMENT		144	144	0
614	ICU CAGES	84	31	24	-7
616	RINGWORM HOLDING/EVALUATION	56	70	76	6
617	LAB COUNTER	112	80	80	0
621	DOCTORS FISHBOWL	63	61	61	0
624	PUBLIC RESTROOM	56	56	56	0
625	STAFF RESTROOM	56	0	0	0
800	SINK		6		-6
801	SINK		6		-6

# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
802	SINK		6		-6
803	POND PUMP		29	22	-7
805	MECHANICAL ROOM (501B)		150	134	-16
806	FIRE		25	23	-2
809	VOLUNTEER PROGRAM		240	196	-44
810	PUMP EQUIP (808)		67	37	-30
810	MAIL		14	11	-3
811	STORAGE		18	106	88
812	FILE		30	30	0
813	STORAGE		92	0	-92
814	(E) AVIARY		0	50	50
815	JANITOR		33	0	-33
816	JANITOR		70	47	-23
817	JANITOR		45	0	-45
821	ELECTRICAL		137	134	-3
875	TABLES AND CHAIRS (227A)		110	108	-2
TOTALS		21758	37213	40948	832

# Exhibit E

## County of San Mateo - Animal Care Shelter Exhibit E -Building Program Spreadsheet

Grossing Factor - Typical: 1.33  
Grossing Factor - Kennels/Runs: 2.5

June 22, 2016

The Narrative document details the requirement of rooms that have special considerations. The room listing in the Narrative is not meant to be a complete listing of all rooms; however, this document is meant to list all of the rooms required within the bridging documents. Room requirements may be indicated on more than one document. The Grossing Factors are guidelines to convey approximate circulation space. Actual Grossing Factors/Circulation space depends upon the final design.

	Qty	Size		Net SF	Factor	Gross	Outdoor Area		Notes
1.0 - Public Receiving									
101 - Entry Vestibule	1	8	x 8	64	1.33	85			
102 - Client Lobby	1	15	x 20	300	1.33	399			
103 - Counter & Work Area	1	15	x 20	300	1.33	399			4 computer stations
104 - Dog Tether Area	1	4	x 20	80	1.33	106			Space for a crate & tying up a couple dogs
105 - Initial Surrender Exam	1	9	x 10	90	1.33	120			w/ sinks (behind counter for staff use)
106 - Client Exam Rooms	1	8	x 10	80	1.33	106			on public side of counter - no sinks
107 - Owner-Present Euthanasia	1	8	x 10	80	1.33	106			Quiet, more remote access from lobby
108 - Night-Drop	1	10	x 12	120	1.33	160			6 total drop box 18" above ground
109 - Donation Storage	1	11	x 14	154	1.33	205			
110 - Public Restrooms	2	7	x 8	112	1.33	149			
				1,380		1,835			
2.0 - Administration/Support Areas									
201 - Senior Manager/President Office	1	12	x 12	144	1.33	192			For 2 people
202 - Vice President Office	1	8	x 10	80	1.33	106			Single Occupancy
203 - Director of Veterinary Animal Care	1	8	x 10	80	1.33	106			Single Occupancy
204 - Veterinary Services Manager	1	12	x 14	168	1.33	223			VS Mgr & Supervisors (3 people)
206 - Animal Control Dispatch Office	1	9	x 14	126	1.33	168			3 Workstations
207 - Animal Control Captain Office	1	9	x 12	108	1.33	144			Single Occupancy
208 - Animal Control Corporals	1	9	x 14	126	1.33	168			3 Workstations
209 - Animal Control Staff	1	9	x 14	126	1.33	168			3 Workstations
210 - Animal Control Lead Supervisors	1	9	x 14	126	1.33	168			
211 - Animal Control Squad Room	1	15	x 24	360	1.33	479			
212 - Animal Control Records Storage	1	8	x 10	80	1.33	106			
213 - Animal Control Evidence Storage	1	8	x 10	80	1.33	106			
214 - Volunteer Coordinator Office	1	9	x 14	126	1.33	168			2 Workstations
215 - Purchasing Coordinator Office	1	8	x 10	80	1.33	106			
216 - IT Office	1	14	x 14	196	1.33	261			For 2 people and equipment
217 - Human Resource Office	1	9	x 14	126	1.33	168			For 2 people
218 - Animal Care Manager Office	1	12	x 14	168	1.33	223			AC Mgr & Leads (4 people)
220 - Animal Rescue & Control Equip Storage	1	12	x 20	240	1.33	319			
221 - Behavior Staff Office	2	9	x 15	270	1.33	359			2 Workstations oversized for working with dogs
222 - Behavior Prog Staff Storage	1	10	x 10	100	1.33	133			
223 - Behavior Volunteer Storage	1	8	x 8	64	1.33	85			
224 - Record Storage	1	8	x 20	160	1.33	213			
225 - Small Conference Room	1	10	x 13	130	1.33	173			Room for 7
226 - Large Conference Room	1	14	x 22	308	1.33	410			Room for 15
227 - Multi-Purpose Room	1	40	x 40	1,600	1.33	2,128			
228 - Canine Kitchenette	1	6	x 8	48	1.33	64			Support for Training/Multi-purp
				5,220		6,943			
3.0 - Domestic Animal Holding									
302 - Dog Kennels - Large	65	4.5	x 6	1,755	2.5	4,388	2,925	s.f.	preference is 10-12 maximum per room, outdoor kennel area should be 4.5' x 10' min
304 - Quarantine (Dangerous & Quarantine)	16	4.5	x 6	432	2.5	1,080	720	s.f.	Village Style Housing, with min.4.5' x 10' outdoor run area each, plus access for direct access from outdoor runs to larger shared yards
305 - Medical Isolation Kennels	4	4.5	x 8	144	2.5	360			Indoor only
306 - Feline General Population Cages	2	27	x 10	540	1.33	718			(2) rows of (9) 36" cages per room (9 x 3'= 27 lf)

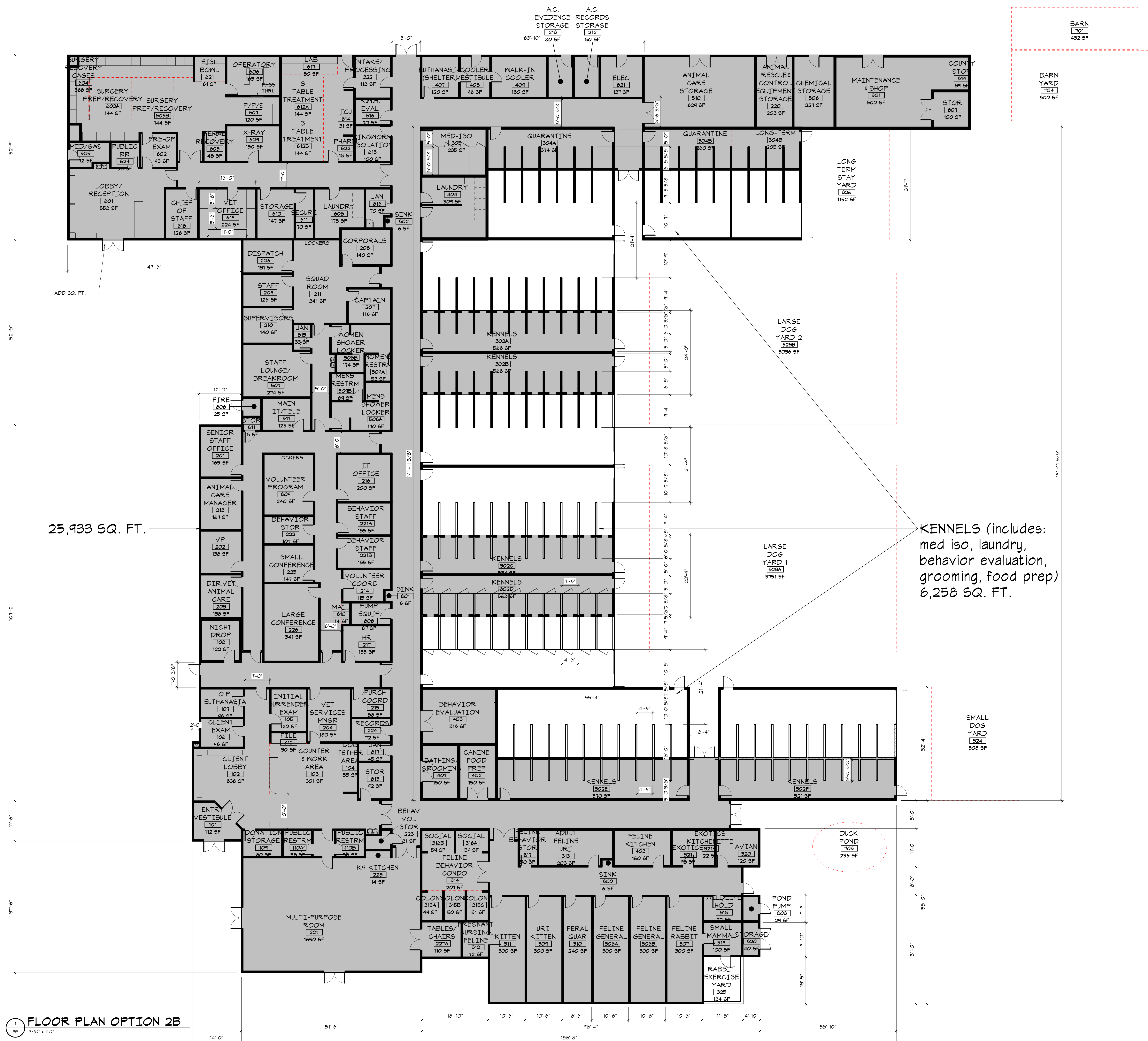
# Exhibit E

	Qty	Size	Net SF	Factor	Gross	Outdoor Area	Notes
307 - Feline/Rabbit Cages	1	27 x 10	270	1.33	359		(2) rows of (9) 36" cages per room (9 x 3'= 27 lf)
309 - URI Kitten Cages	1	30 x 10	300	1.33	399		(2) rows of (10) 36" cages per room (10 x 3'= 30 lf) space for 6' counter
310 - Feral Quarantine	1	30 x 10	300	1.33	399		(2) rows of (10) 36" cages per room (10 x 3'=30 lf)
311 - Kitten	1	33 x 8	264	1.33	351		(2) rows of (10) 36" cages per room (10 x 2'-6"=25 lf)
312 - Pregnant/Nursing Feline	1	9 x 8	72	1.33	96		(2) rows of (3) 36" cages per room (3 x 3'=9 lf)
313 - Adult Feline URI	1	21 x 8	168	1.33	223		(2) rows of (7) 36" cages per room (7 x 3'=21 lf)
314 - Feline Behavior (Condo) Room	1	12 x 16	192	1.33	255		Space for 6 free-standing condos (total incl. condos & colonies)
315 - Feline Behavior (Colony) Room	3	6 x 8	144	1.33	192		Built-in, full height
316 - Feline Volunteer Socialization Room	2	6.5 x 9	117	1.33	156		Cabinet & chairs
317 - Feline Behavior Storage	1	6 x 8	48	1.33	64		
318 - Wildlife Holding	1	8 x 8	64	1.33	85		
319 - Small Mammal	1	10 x 10	100	1.33	133		
320 - Avian	1	10 x 12	120	1.33	160		
321 - Exotics	1	10 x 12	120	1.33	160		Ectotherms
322 - Intake/Processing	1	10 x 10	100	1.33	133		refrig, computer, sink, 8' counter
323 - Large Dog Exercise Yard	1	55 x 85				4,675	One 60 x 90 & (2) 25 x 25 (or 2 larger, one smaller if possible), Mulch surfacing, 10' fencing typical, double gate, small shaded area at each yard
324 - Small Dog Exercise Yard	1	25 x 25				625	
325 - Rabbit Exercise Yard	1	12 x 14				168	Covered Area, concrete surface
			5,250		9,710	9,113	SF
<b>4.0 - Animal Support Spaces</b>							
401 - Bathing/Grooming	1	10 x 15	150	1.33	200		Central Vacuum
402 - Canine Food Prep	1	10 x 15	150	1.33	200		2 compartment scullery sink Hobart under-counter sink
403 - Feline Kitchen	2	8 x 10	160	1.33	213		Under-counter DW each room
404 - Laundry	1	12 x 22	264	1.33	351		(2) washer/extractors (2) dryers
405 - Behavior Evaluation	1	15 x 15	225	1.33	299		
407 - Euthanasia (Shelter)	1	10 x 12	120	1.33	160		
408 - Cooler Vestibule	1	8 x 12	96	1.33	128		Chest (skunk) Freezer & Head Refrigerator
409 - Walk-In Cooler	1	12 x 15	180	1.33	239		
			1,345		1,789		
<b>5.0 - Facility Support Services</b>							
501 - Maintenance & Shop (not incl. stor.)	1	20 x 20	400	1.33	532		400 s.f. would include facility maintenance if by PHS
503 - Maintenance Storage	1	10 x 10	100	1.33	133		
505 - Medical Gas Storage	1	6 x 8	48	1.33	64		10 cylinders
506 - Chemical Storage	1	15 x 15	225	1.33	299		Room for (12) 55 gallon drums
507 - Staff Lounge/Break Room	1	18 x 18	324	1.33	431		Seating for 20 (Like Lantos)
508 - Shower/Locker Room	2	9 x 18	324	1.33	431		
509 - Staff Restrooms	2	7 x 8	112	1.33	149		
510 - Animal Care Storage	1	25 x 25	625	1.33	831		Combined with 308 Storage
511 - Main IT/Computer Room/Telephone Room	1	10 x 10	100	1.33	133		
			2,258		3,003		
<b>6.0 - Clinic (Spay/Neuter &amp; Shelter Medicine - AAHA Certified)</b>							
601 - Lobby/Reception	1	10 x 20	200	1.33	266		Counter space for 2
602 - Pre-Op Exam Room	1	9 x 10	90	1.33	120		
603 - Surgery Prep/Recovery	2	12 x 12	288	1.33	383		2 tables & recovery
604 - Recovery Cages	1	54 x 6	324	1.33	431		34 Total Cages w/ (8) 4' cages (54 lf of 30" cages +42" clear space in front)
605 - Feral Recovery Closet	1	6 x 8	48	1.33	64		
606 - Operatory	1	11 x 15	165	1.33	219		2 tables in single room
607 - Pack/Prep/Scrub	1	10 x 12	120	1.33	160		
608 - Laundry	1	12 x 15	180	1.33	239		
609 - X-Ray	1	10 x 15	150	1.33	200		
610 - Storage	1	15 x 10	150	1.33	200		Now include mobile program supplies
611 - Secure Storage	1	6 x 8	48	1.33	64		Narcotics Drug Storage



## Exhibit E

	Qty		Size	Net SF	Factor	Gross	Outdoor Area	Notes
612 - Three-Table Treatment	2	12	x 12	288	1.33	383		Treatment/Exam (Shelter General Treatment & Dentistry)
614 - ICU Cages	1	7	x 12	84	1.33	112		
615 - Ringworm Isolation Room	1	10	x 10	100	1.33	133		8 Cages mix of sizes
616 - Ringworm Holding/Evaluation	1	7	x 8	56	1.33	74		4 Cages, supplies, deep sink for dipping
617 - Lab Counter	1	7	x 16	112	1.33	149		
618 - Chief of Staff Office	1	9	x 14	126	1.33	168		Shared with Mobile Coordinator position
619 - Veterinarians Office	1	10	x 12	120	1.33	160		5 Cubbies
621 - Doctors Fishbowl	1	7	x 9	63	1.33	84		for 2 techs
622 - Pharmacy Counter	1	7	x 4	28	1.33	37		for 1 tech to sit
624 - Public Restroom	1	7	x 8	56	1.33	74		
625 - Staff Restroom	1	7	x 8	56	1.33	74		
				<b>2,852</b>		<b>3,793</b>		
<b>7.0 - Farm Animal Holding</b>								
701 - Barn	1	12	x 36			432		with covered outside area (all concrete) & space for 4 stainless steel cages for chicken isolation
703 - Duck Pond	1	12	x 20			240		6 x 8 pond in fenced area of 12 x 20
704 - Barnyard	1	20	x 40			800		
						1472	SF	
<b>TOTALS</b>								
<b>Total Indoor</b>				<b>18,305</b>		27,073		
<b>Total Outdoor</b>							10,585	
<b>Total Indoor &amp; Outdoor Area Net</b>				<b>28,890</b>				
<b>Total Indoor &amp; Outdoor Area Gross</b>						37,658		



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STATE OF CALIFORNIA  
02888  
September 2017

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Redwood City, CA 94063  
650.363.4100

Project:  
**ANIMAL SHELTER REPLACEMENT**  
12 Airport Blvd  
San Mateo, CA

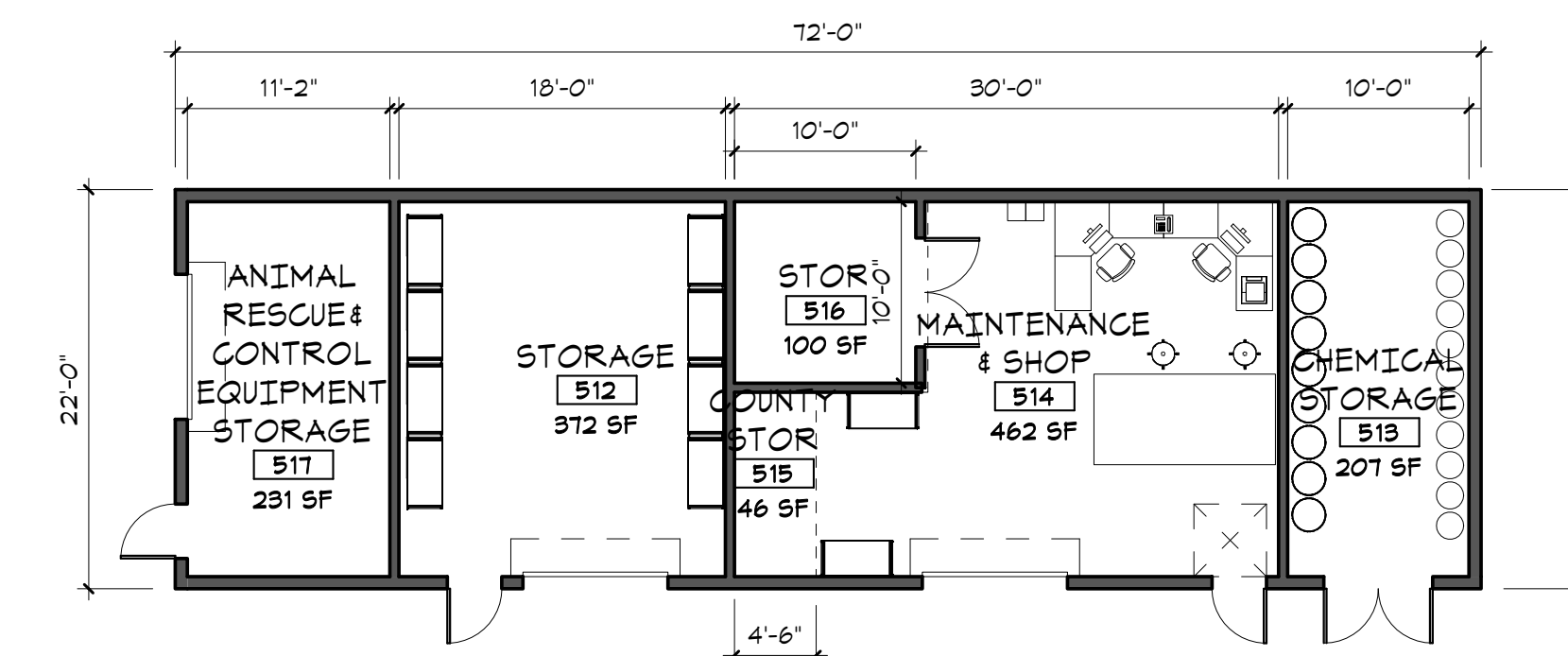
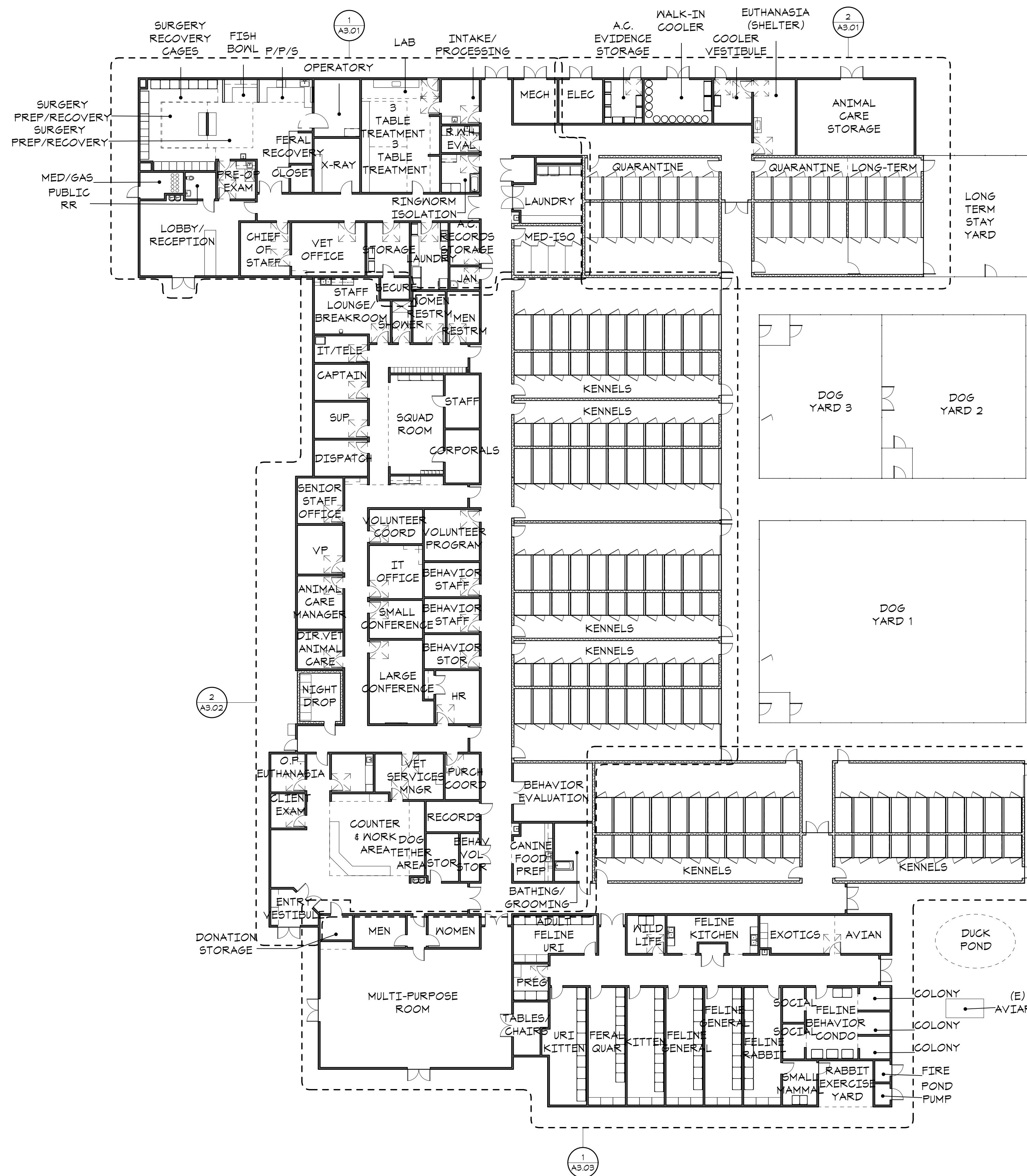
Project No.: 565-05-16  
Drawn By: CN  
Checked By: EW

No. Description Date By

NOT FOR CONSTRUCTION  
OPTION 2B  
12/20/2016

FLOOR PLAN

FP



2 MAINTENANCE SHOP  
A3.00 1" = 10'-0"

1 OVERALL FLOOR PLAN  
A3.00 1/16" = 1'-0"



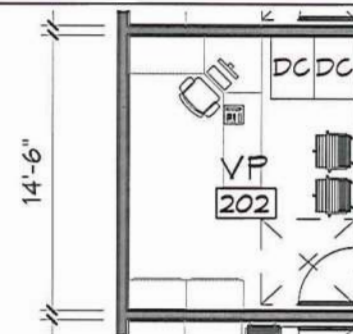
## FURNITURE, FIXTURE &amp; EQUIPMENT DESIGN DEVELOPMENT LIST (PHS)

ROOM NO.	ROOM DESCRIPTION	FFE - Bridging Documents	REQUESTED 04/05/17
202	VP	Phone (1), Computer (1), Printer (1)	L shape desk, 3 chairs, 2 dog crates, 3' book case, 4 drawer vertical files, 2 drawer lateral cabinet, computer, phone, printer

RFP Square Foot  
80 SF



138 SF



174 SF

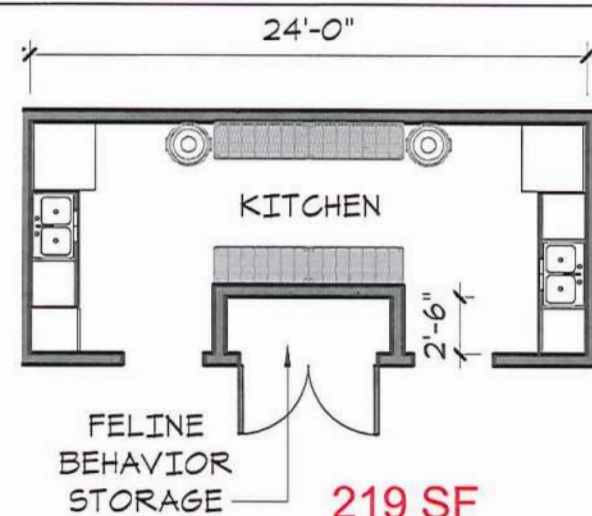
## FURNITURE, FIXTURE &amp; EQUIPMENT DESIGN DEVELOPMENT LIST (PHS)

ROOM NO.	ROOM DESCRIPTION	FFE - Bridging Documents	REQUESTED 04/05/17
403	FELINE KITCHEN	Dishwasher (1), Open Shelving (1), Refrigerator - Full (1)	double sink, food, racks, garbage cans on wheels with dry food, can food, medical food, hobart dishwasher, counterspace, full size frig

RFP Square Foot  
160 SF



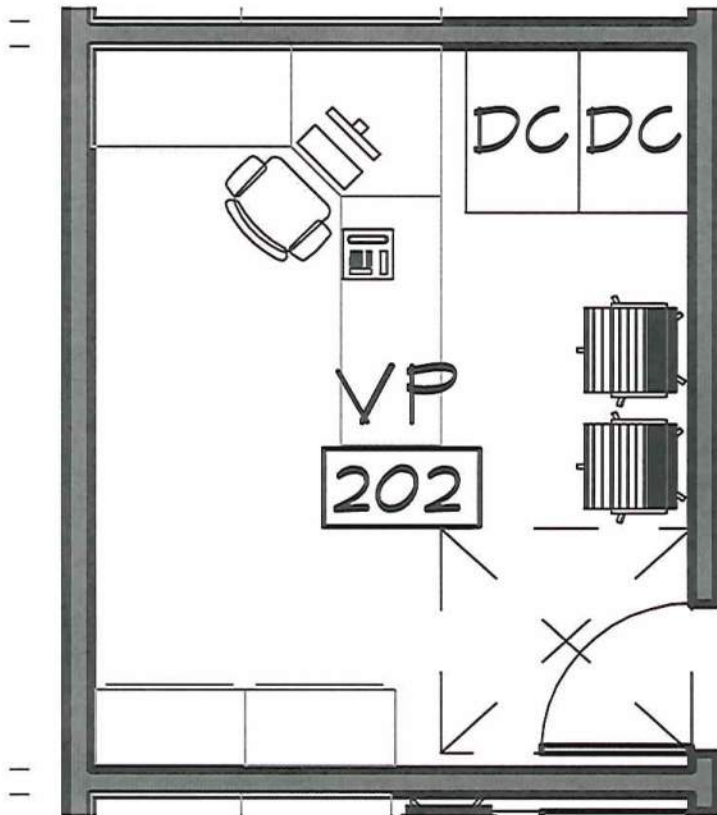
160 SF



219 SF

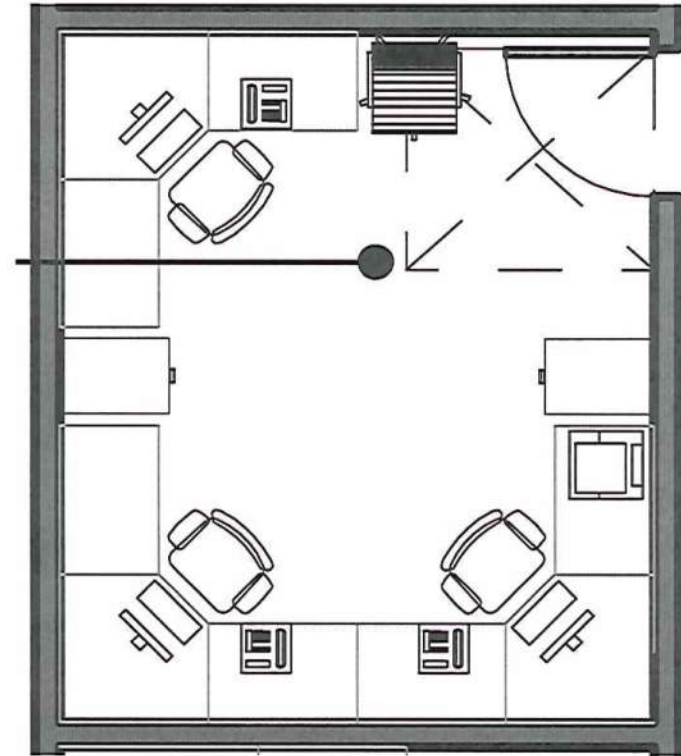


## Standard vs Non-Standard Work Station and Design



RFP Square Foot  
80 SF

Current  
174 SF

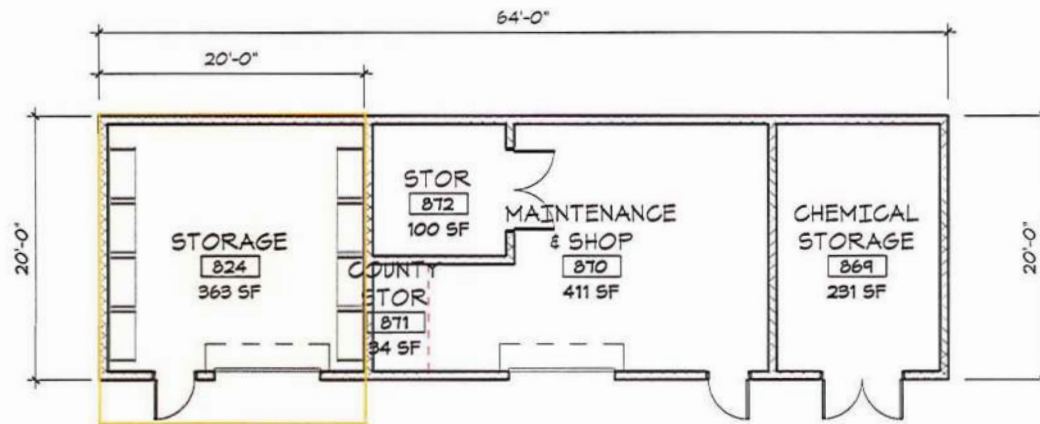


RFP Square Foot  
137 SF

Current  
168 SF

**ADDITIONAL SPACES**

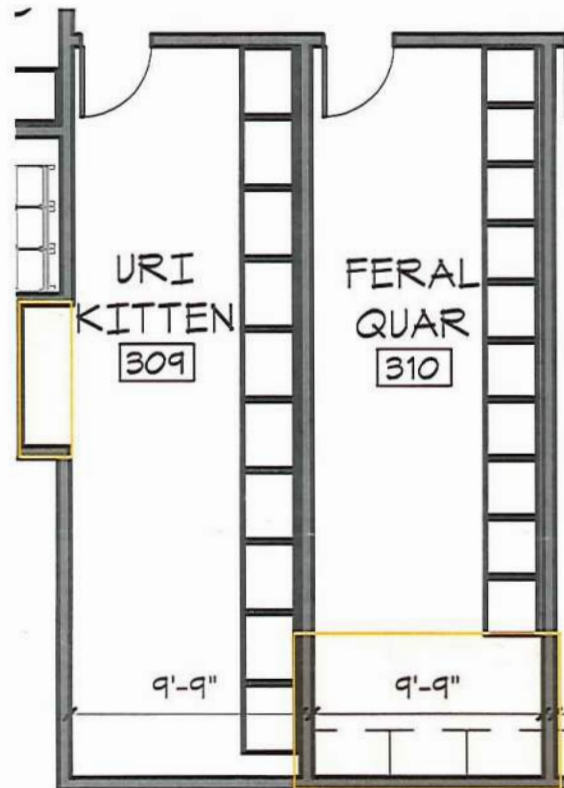
SINK
SINK
SINK
POND PUMP
ELECTRICAL
MECHANICAL
FIRE
STORAGE
PUMP EQUIPMENT
VOLUNTEER PROGRAM
MAIL
STORAGE
FILE
STORAGE
COUNTY STOR
JANITOR
JANITOR
JANITOR
ROOM
STORAGE
ELECTRICAL
FIRE RISER
MECHANICAL
STORAGE
PUBLIC RESTROOM
IT/TELE



2  
A3.00

**MAINTENANCE SHOP**

1" = 10'-0"





**F&H CONSTRUCTION**  
Spaces for life

June 2, 2017

San Mateo County  
1402 Maple Street  
Redwood City, CA 94063

Attention: Theresa Yee, CPC, DBIA

Reference: Project Costs and Design Delays  
San Mateo County Animal Shelter – Project Number P23G6

Dear Theresa:

F&H Construction (F&H) and the project team are concerned with the design progress and the County's ability to absorb the resulting cost and schedule impacts. F&H assumes County shares this concern. The lack of information provided in the Bridging Documents is likely the cause of the issue and F&H is continuing to work with the County and PHS to deal with the changes in requirements and information requested. F&H has continued to make alterations to the design each week leading to the completion of the 30% drawings.

The costs identified based on the 30% drawings and the HVAC changes are as follows:

- |  |                             |
|--|-----------------------------|
| 1. Square Footage Costs (832 square feet)          | \$205,000.00 - \$303,680.00 |
| 2. HVAC / Zoning Changes (convert to DX & 4 zones) | \$470,350.00                |

Please note that the identified costs include the estimated costs and impacts of additional square footage added after 12/20 Contract Drawings. The costs and impact are estimated. The full extent of the costs and impacts will not be finalized until contracts have been fully executed with subcontractors. The additional cost of furniture, fixtures, and equipment (FF&E) and mechanical, plumbing, and electrical costs specific to FF&E will be included in the 60% Variance report.

The abovementioned costs and any additional costs incurred due additional scope and design delays are the responsibility of the County and are not to be funded by construction contingency stated in the contract documents.





## F&H CONSTRUCTION

Spaces for life

### Square Footage Changes and Costs

Attached is a spread sheet for your review that shows the square footage of each room, which includes (1) Bridging Document's Prescribed Square Footages, (2) 12/20 Contract Drawing Square Footages, (3) 30 % Revised Square Footages and (4) Variance from Contract to 30% Drawings.

The changes made in the 30% drawings and deviation from the Bridging and Contract Documents are a result of the following items:

- Additional personnel equipment required for specific rooms;
- Added FF&E and sizing changes;
- Additional required storage areas;
- Floor plan reconfiguration; and
- Program and/or operational discrepancies.

To date, F&H has added eight hundred and thirty-two (832) square feet of building/scope to the project. F&H has made its best effort to identify the changes and costs changes based on the 30% drawings that were requested, and has been reaching out to subcontractors for their assistance in developing these costs. Currently, the Rough Order of Magnitude (ROM) based on the developed plan changes is in the neighborhood of \$205,000 to \$303,650. These added costs include:

- Changes made to the main building;
- Additional underground water, sewer and fire line to the new metal building; and
- Added metal building to house storage, maintenance and chemical storage.

### DESIGN DELAYS

F&H assumed three design coordination meetings would be necessary to complete the 30% SD Phase drawing (DES – 1000), with a scheduled completion date of March 31, 2017. Typically three meetings are not necessary to reach 30% SD as they are provided within the Bridging Documents; however, upon review of the Animal Shelter Replacement Bridging Documents during the proposal phase, F&H realized that some revisions would be necessary to reach 30% SD. While F&H was aware that some changes would be necessary, it did not anticipate that nearly every room in the facility would require significant modifications and that the lack of information contained in the Bridging Document in conjunction with the unforeseen continuing requests for modifications would go well beyond our contract with the County. In the end, it took seven coordination meetings to complete the drawings, with the final submission on May 5, 2017, 25 days beyond the intended completion date. F&H could not have reasonably assumed that seven coordination meetings and an additional 25 days would be necessary.





## F&H CONSTRUCTION

Spaces for life

F&H noted the potential delay early on in the design phase, and the initial request for ten (10) days non-compensatory delay was granted. Because the delay exceeded the ten (10) day request, it has resulted in additional cost and schedule impacts, for which F&H is not responsible. Currently, the full extent of the impact is unknown.

This trend has continued into the 60% DD. The reflected ceiling design and incorporating ZNE criteria serve as good examples. The reflected ceiling design was originally discussed prior to the contract (12/20/16) drawings. It was reviewed and altered on May 17<sup>th</sup>, 2017. On May 31<sup>st</sup>, 2017, the County once again requested modifications to be made to the ceiling types and requirements. Additionally, F&H is awaiting the County's decision on ZNE. Impacts are not included in the original proposal for ZNE. If a decision is not made in a timely manner, additional design and construction costs will continue to incur due to schedule delays.

### HVAC / MAU UNITS

The value engineering (VE) to the HVAC system removed the Hydronic system and the non-animal holding areas became single zone variable units. The contractual zoning plan meets the requirements of the Bridging Documents, Exhibit G. The animal holding areas zoning plan was not a VE consideration. Frank M. Booth designed the HVAC system to use MAU evaporative cooling units which meets the requirements of the Bridging Documents, Exhibit G, with respect to temperature ranges, Relative Humidity (RH), and zoning. The County has directed F&H to proceed with adding two (2) zones to the animal holding area and convert existing evaporative cooling units to DX cooling units. Estimated cost is \$470,350.

In acknowledgment of additional cost, F&H will need formal direction for the HVAC system. This issue has already started to impact the design schedule and will continue to do so with increasing cost consequences if a decision is not made in a timely manner.

In conclusion, F&H is eager to proceed with this project. To do so, F&H needs the County's notice to proceed with the 30% drawings estimated costs and the HVAC modification proposal and would like verification of funding. Currently, the combined ROM based on the 30% drawings and HVAC modifications approximately \$675,350 to \$774,030.



**F&H CONSTRUCTION**

*Spaces for life*

Thank you in advance for your cooperation in these matters and F&H looks forward to our continued professional relationship on this project.

Sincerely,

Daniel Hoff  
Assistant Project Manager

Enclosure

DATE: August 11, 2017

TO: DANIEL HOFF

CC: STEPHEN SEIBLY

FROM: JAMES KELLY

REFERENCE: SAN MATEO ANIMAL SHELTER

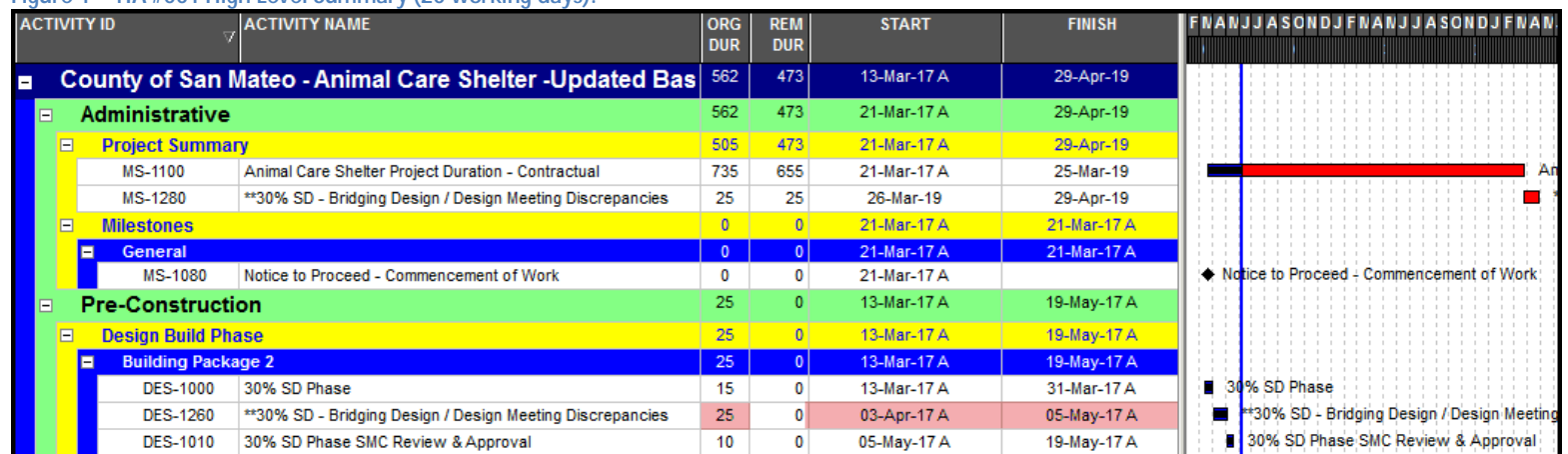
SUBJECT: TIME IMPACT ANALYSIS #001

CPM SCHEDULE: (Total Float -86 working days) The Contract Completion Date is 3/25/19. However, the project is forecasting a current Project Completion Date of 7/26/19. This is a negative variance of 86 working days; 123 calendar days.

**TIA #001 Summary:** The Design Phase has extended beyond the approved Baseline Schedule and is driving the critical path of the schedule by 86 working days. This negative variance is comprised of multiple design issues; 20 of the 86 working days of this overall delay are listed and detailed below:

- 30% SD Bridging Documents – 25 Days (20 Day Impact)

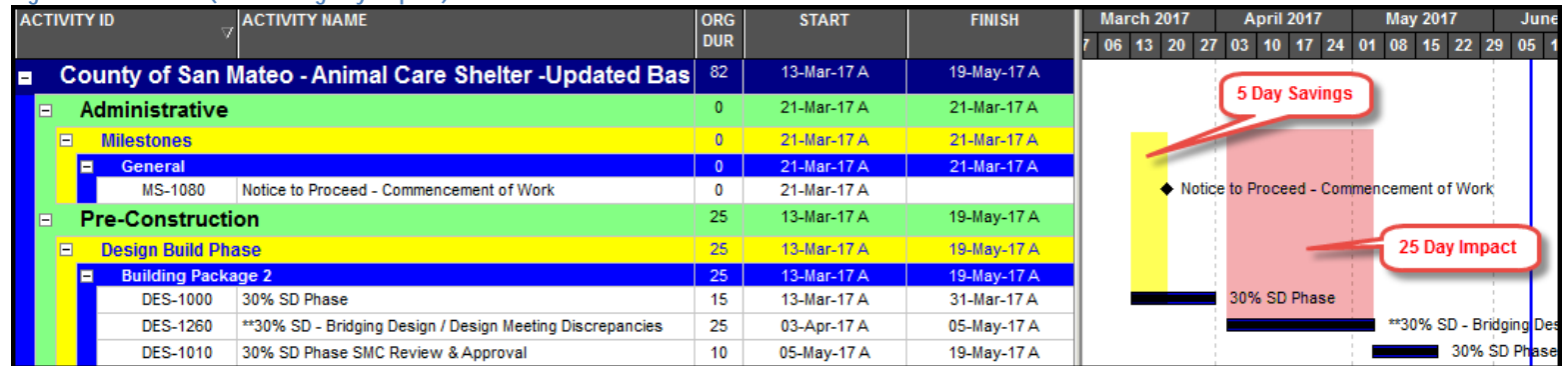
Figure 1 – TIA #001 High Level Summary (20 working days):



## TIA #001 Details:

**30% SD Bridging Design (20 Days):** From the 30% SD Design through being ready to submit for review and approval. The Bridging Design and Design Meeting Discrepancies resulted in 25 working day impact to the project. However, the 30% SD's actually started 5 days prior to notice to proceed reducing the critical impact to 20 working days.

Figure 2 – 30% SD's (20 working day impact):



Please confirm the acceptance of this work and 20 working days; 28 calendar days will be added to the overall project duration and will be addressed in the next schedule update and narrative. This will extend the Project Completion Date from 3/25/19 to a new Project Completion Date of 4/22/17.

End-





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 8**

**Date: 3/16/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

30% Floor Plan Revisions - Design LS

8002 30% Floor Plan Revisions - Design LS

\$60,840.75

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$60,840.75

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$60,840.75

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,020,879.97
The Contract Amount prior to this Change Order was	\$20,720,076.97
The Contract will be increased by this Change Order in the amount of	\$60,840.75
The new Contract Amount including this Change Order will be	\$20,780,917.72
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

*See Change Request 8002*

(Signature)

By

By

*See Change Request 8002*

By

Date

Date

*See Change Request 8002*

Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8002  
Date: 8/2/17  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** 30% Floor Plan Revisions - Design LS

Reason: Design Change

Initiated by: Theresa Yee (San Mateo County)

We are pleased to offer the following specifications and pricing to make the following changes:

Revisions to the floor plan due to discrepancies in the bridging documents in regards to square foot and operational program requirements. Pricing is provided as LS Cost of design and coordination only. The construction costs will be addressed as an ROM cost in a separate Change Request and/or Change Order.

Adjustments for contract time is 20 Working Days for the extended design coordination.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0042	F&H Design Coordination					\$18,750.00	\$18,750.00 ✓
01-0200	LDA Design Coordination				\$36,000.00		\$36,000.00 ✓
						Subtotal:	\$54,750.00 ✓
					Markup - Subcontractor (5%)	\$36,000.00 5.00 %	\$1,800.00 ✓
					Markup - Direct Cost (15%)	\$18,750.00 15.00 %	\$2,812.50 ✓
					BIT	\$54,750.00 2.70 %	\$1,478.25 ✓
						<b>Total:</b>	<b>\$60,840.75</b> <i>RMH</i>

Please note that FH CONSTRUCTION will require an extra 20 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: *[Signature]* 2/14/18  
Date: \_\_\_\_\_

APPROVED: 2-13-2018

*[Signature]*  
ROBERT J. HENNESSY JR.



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

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					BIT	\$54,750.00 2.70 %	\$1,478.25 ✓
						<b>Total:</b>	<b>\$60,840.75</b> RJA

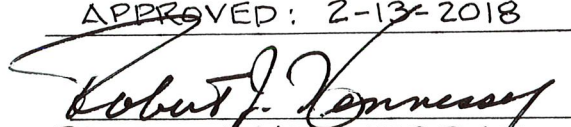
Please note that FH CONSTRUCTION will require an extra 20 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:  2/14/18  
Date: \_\_\_\_\_

APPROVED: 2-13-2018

  
ROBERT J. HENNESSY P.E.



SCOPE: **LS COST - REVISED FLOOR PLAN ALLOWANCE  
SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	<b>DIVISION 1 - GENERAL CONDITIONS</b>					
	SCHEDULE					
	DESIGN	25	DAYS			
	F&H DESIGN EXTENDED OVERHEAD	25	DAYS	\$750.00	18,750	
	LDA PARTNERS	1	LS	\$36,000.00	36,000	
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				54,750	
	BUILDERS RISK INSURANCE					
	LIABILITY INSURANCE					
	PAYMENT & PERFORMANCE BOND					
	MARKUP - SUBCONTRACTOR (10%)				1,800	
	MARKUP - DIRECT COST (15%)				2,813	
	<b>TOTAL</b>				<b>60,841</b>	



# ANIMAL SHELTER COUNTY OF SAN MATEO

1 Month Duration

1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 2 HRS / MO	1.0	EA	300.00	0.00	300	0	300
<b>MISC. ITEMS</b>							
BLUEPRINTING	1.0	MO	700.00	0.00	700	0	700
SHIPPING / MAIL	1.0	MO	120.00	0.00	120	0	120
<b>SUBTOTAL</b>					<b>1,120</b>	<b>0</b>	<b>1,120</b>
<b>SUPERVISION</b>							
PROJECT MANAGER (40 HOURS)	1.0	MO	0.00	5,400.00	0	5,400	5,400
ASSISTANT PROJECT MANAGER (FULL TIME)	1.0	MO	0.00	15,051.00	0	15,051	15,051
<b>SUBTOTAL</b>					<b>0</b>	<b>20,451</b>	<b>20,451</b>
<b>VEHICLE ALLOWANCE</b>							
PROJECT MANAGER (40 HOURS)	1.0	MO	150.00	0.00	150	0	150
ASSISTANT PROJECT MANAGER (FULL TIME)	1.0	MO	500.00	0.00	500	0	500
<b>SUBTOTAL</b>					<b>650</b>	<b>0</b>	<b>650</b>
<b>HOUSING</b>							
BRIDGE TOLLS - 1 PER WEEK	4.0	EA	5.00	0.00	20	0	20
FAST PASS BYPASS - 1 PER WEEK	4.0	EA	3.50	0.00	14	0	14
<b>SUBTOTAL</b>					<b>34</b>	<b>0</b>	<b>34</b>
<b>FUEL / OIL / MAINTENANCE</b>							
PROJECT MANAGER	1.0	MO	50.00	0.00	50	0	50
ASSISTANT PROJECT MANAGER	1.0	MO	200.00	0.00	200	0	200
<b>SUBTOTAL</b>					<b>250</b>	<b>0</b>	<b>250</b>
<b>TTL ABOVE</b>					<b>2,054</b>	<b>20,451</b>	<b>22,505</b>
<b>DESIGN DAILY OVERHEAD COSTS</b>					<b>750.2</b>		



DESIGNERS &amp; ARCHITECTS

10 October 2017

Mr. Daniel Hoff  
 Project Manager  
 F&H Construction  
 1115 East Lockeford Street  
 Lodi, CA 95240

Re: San Mateo Animal Shelter – HVAC Redesign

Dear Daniel:

Listed below are additional hours expended by our team for the project redesign due to the deviation of the 30% design drawings for the San Mateo Animal Shelter.

Change Summary	LDA Partners			
<b>Project:</b>	San Mateo Animal Shelter			
<b>Reference:</b>	30% Program Reconciliation			
Name		Rate	Hours	Cost
Eric Wohle	Principal	\$ 200.00	42	\$ 8,400.00
Carolyn Natividad	Project Architect	\$ 175.00	96	\$ 16,800.00
Ramiro Rivas	Drafting	\$ 135.00	80	\$ 10,800.00
<b>Total</b>				<b>\$ 36,000.00</b>

If you have any questions, please let me know.

Cordially,

Eric W. Wohle, A.I.A., LEED ap  
 Partner

<b>Building Program Report - SF COMPARISON</b>					
		<b>Bridging Docs</b>	<b>12/20 Contract</b>	<b>30%</b>	<b>Variance 12/20 to 30%</b>
<b>Room No.</b>	<b>Room Name</b>	<b>Net SF</b>	<b>Net SF</b>	<b>Net SF</b>	<b>Net SF</b>
101	ENTRY VESTIBULE	64	112	101	-11
102	CLIENT LOBBY	300	838	736	-102
103	COUNTER & WORK AREA	300	301	411	110
104	DOG TETHER AREA	80	55	76	21
105	INITIAL SURRENDER EXAM	90	120	110	-10
106	CLIENT EXAM ROOM	80	96	81	-15
107	OWNER PRESENT EUTHANASIA	80	96	90	-6
109	DONATION STORAGE	154	80	53	-27
110A	PUBLIC RESTROOM MEN	112	58	114	56
110B	PUBLIC RESTROOM WOMEN		58	114	56
204	VETERINARY SERVICES MANAGER	168	180	208	28
206	ANIMAL CONTROL DISPATCH OFFICE	126	131	161	30
207	ANIMAL CONTROL CAPTAIN OFFICE	108	116	134	18
208	ANIMAL CONTROL CORPORALS	126	140	126	-14
209	ANIMAL CONTROL STAFF	126	126	126	0
210	ANIMAL CONTROL LEAD SUPERVISORS	126	140	134	-6
211	ANIMAL CONTROL SQUAD ROOM		341	270	-71
212	ANIMAL CONTROL RECORDS STORAGE	80	80	98	18
213	ANIMAL CONTROL EVIDENCE STORAGE	80	80	116	36
215	PURCHASING COORDINATOR OFFICE	80	88	108	20
217	HUMAN RESOURCES OFFICE	126	135	161	26
221	WILDLIFE HOLDING (318)	64	72	100	28
221	BEHAVIOR STAFF OFFICE	270	135	145	10
221	BEHAVIOR STAFF OFFICE		135	145	10
222	BEHAVIOR PROG STAFF STORAGE	100	107	102	-5
223	BEHAVIOR VOLUNTEER STORAGE	64	31	63	32
224	RECORD STORAGE	160	72	112	40
227	MULTI-PURPOSE ROOM	1600	1650	1628	-22
229	FELINE KITCHEN (403A)	160	160	217	57
232	FELINE BEHAVIOR STORAGE (317)	48	50	18	-32
243	NIGHT DROP (108)	120	122	137	15
244	VICE PRESIDENT OFFICE (202)	80	138	155	17
245	DIRECTOR OF VETERINARY ANIMAL CARE (203)	80	138	121	-17
246	SENIOR MANAGER/PRESIDENT OFFICE (201)	144	165	145	-20

# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
247	ANIMAL CARE MANAGER OFFICE (218)	168	137	170	33
248	IT OFFICE (216)	196	200	196	-4
249	SMALL CONFERENCE ROOM (225)	130	147	140	-7
250	LARGE CONFERENCE ROOM (226)	308	341	326	-15
251	VOLUNTEER COORDINATOR OFFICE (214)	126	115	126	11
302	INDOOR KENNELS	2187	4258	4342	84
302O	OUTDOOR KENNELS	3645	7845	7449	-396
305	MEDICAL ISOLATION	144	235	242	7
306	FELINE GENERAL POPULATION CAGES	540	300	302	2
306	FELINE GENERAL POPULATION		300	302	2
307	FELINE/RABBIT CAGES	270	300	302	2
309	URI KITTEN CAGES	300	300	315	15
310	FERAL QUARANTINE	300	240	302	62
311	KITTEN	264	300	302	2
312	PREGNANT/NURSING FELINE	72	72	87	15
313	ADULT FELINE URI	168	203	248	45
314	FELINE BEAVIOR CONDO	192	201	267	66
315	FELINE BEHAVIOR COLONY	144	49	48	-1
315	FELINE BEHAVIOR COLONY		50	47	-3
315	FELINE BEHAVIOR COLONY		51	48	-3
316	FELINE VOLUNTEER SOCIALIZATION	117	59	53	-6
316	FELINE VOLUNTEER SOCIALIZATION		59	53	-6
319	SMALL MAMMAL	100	100	105	5
320	AVIAN	120	120	148	28
321	EXOTICS	120	98	198	100
321	AVIAN EXOTICS KITCHENETTE (320A)		22	18	-4
322	INTAKE/PROCESSING	100	118	118	0
325	RABBIT EXERCISE YARD	168	134	175	41
327	MAIN BUILDING CORRIDOR		3310	3314	4
323	CIRCULATION/CORRIDORS/SF ADJ		2927	2885	-42
401	BATHING/GROOMING	150	150	153	3
402	CANINE KITCHEN (228)	48	14	0	-14
402	CANINE FOOD PREP	150	150	161	11
404	LAUNDRY	264	309	244	-65
405	BEHAVIOR EVALUATION	225	318	327	9
407	EUTHANASIA (SHELTER)	120	120	222	102
408	COOLER VESTIBULE	96	96	110	14
409	WALK-IN COOLER	180	180	208	28
505	MEDICAL GAS STORAGE	48	72	39	-33
507	STAFF LOUNGE / BREAKROOM	324	274	354	80



# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
508	WOMEN STAFF SHOWER/LOCKER		174	0	-174
509	MEN STAFF SHOWER/LOCKER	324	170	55	-115
509	MENS STAFF RESTROOM	112	69	115	46
509	WOMENS STAFF RESTROOM		53	115	62
510	ANIMAL CARE STORAGE	625	629	621	-8
511	MAIN IT/COMPUTER	100	123	90	-33
512	STORAGE (820)		40	372	332
513	CHEMICAL STORAGE (506)	225	227	207	-20
514	MAINTENENCE & SHOP (501)	400	450	464	14
515	COUNTY STORAGE (814)		39	46	7
516	MAINTENENCE STORAGE (807)	100	100	100	0
517	ANIMAL RESCUE & CONTROL EQUIPMENT STORAGE (220)	240	203	231	28
518	STORAGE (610)	150	147	156	9
518	STORAGE		0		0
519	VETERINARIANS OFFICE (619)	120	224	271	47
520	CHEIF OF STAFF OFFICE (618)	126	126	182	56
521	RINGWORM ISOLATION ROOM(615)	100	100	100	0
522	FERAL RECOVERY CLOSET (605)	48	48	48	0
523	PHARMACY COUNTER (622)	28	18	24	6
524	X-RAY (609)	150	150	171	21
524	CLOSET		0	41	41
601	LOBBY/RECEPTION	200	558	571	13
602	PRE-OP EXAM ROOM	90	95	118	23
603	SURGERY PREP/RECOVERY	288	144	143	-1
603	SURGERY PREP/RECOVERY		144	143	-1
604	RECOVERY CAGES/ CIRCULATION	324	368	587	219
606	OPERATORY	165	165	187	22
607	PACK/PREP/SCRUB	120	120	98	-22
608	LAUNDRY	180	175	176	1
611	SECURE STORAGE	48	70	68	-2
612A	3 TABLE TREATMENT	288	144	144	0
612B	3 TABLE TREATMENT		144	144	0
614	ICU CAGES	84	31	24	-7
616	RINGWORM HOLDING/EVALUATION	56	70	76	6
617	LAB COUNTER	112	80	80	0
621	DOCTORS FISHBOWL	63	61	61	0
624	PUBLIC RESTROOM	56	56	56	0
625	STAFF RESTROOM	56	0	0	0
800	SINK		6		-6
801	SINK		6		-6

# Building Program Report - SF COMPARISON

		Bridging Docs	12/20 Contract	30%	Variance 12/20 to 30%
Room No.	Room Name	Net SF	Net SF	Net SF	Net SF
802	SINK		6		-6
803	POND PUMP		29	22	-7
805	MECHANICAL ROOM (501B)		150	134	-16
806	FIRE		25	23	-2
809	VOLUNTEER PROGRAM		240	196	-44
810	PUMP EQUIP (808)		67	37	-30
810	MAIL		14	11	-3
811	STORAGE		18	106	88
812	FILE		30	30	0
813	STORAGE		92	0	-92
814	(E) AVIARY		0	50	50
815	JANITOR		33	0	-33
816	JANITOR		70	47	-23
817	JANITOR		45	0	-45
821	ELECTRICAL		137	134	-3
875	TABLES AND CHAIRS (227A)		110	108	-2
TOTALS		21758	37213	40948	832

# Exhibit E

## County of San Mateo - Animal Care Shelter Exhibit E -Building Program Spreadsheet

Grossing Factor - Typical: 1.33

June 22, 2016

Grossing Factor - Kennels/Runs: 2.5

The Narrative document details the requirement of rooms that have special considerations. The room listing in the Narrative is not meant to be a complete listing of all rooms; however, this document is meant to list all of the rooms required within the bridging documents. Room requirements may be indicated on more than one document. The Grossing Factors are guidelines to convey approximate circulation space. Actual Grossing Factors/Circulation space depends upon the final design.

	Qty	Size		Net SF	Factor	Gross	Outdoor Area		Notes
1.0 - Public Receiving									
101 - Entry Vestibule	1	8	x 8	64	1.33	85			
102 - Client Lobby	1	15	x 20	300	1.33	399			
103 - Counter & Work Area	1	15	x 20	300	1.33	399			4 computer stations
104 - Dog Tether Area	1	4	x 20	80	1.33	106			Space for a crate & tying up a couple dogs
105 - Initial Surrender Exam	1	9	x 10	90	1.33	120			w/ sinks (behind counter for staff use)
106 - Client Exam Rooms	1	8	x 10	80	1.33	106			on public side of counter - no sinks
107 - Owner-Present Euthanasia	1	8	x 10	80	1.33	106			Quiet, more remote access from lobby
108 - Night-Drop	1	10	x 12	120	1.33	160			6 total drop box 18" above ground
109 - Donation Storage	1	11	x 14	154	1.33	205			
110 - Public Restrooms	2	7	x 8	112	1.33	149			
				1,380		1,835			
2.0 - Administration/Support Areas									
201 - Senior Manager/President Office	1	12	x 12	144	1.33	192			For 2 people
202 - Vice President Office	1	8	x 10	80	1.33	106			Single Occupancy
203 - Director of Veterinary Animal Care	1	8	x 10	80	1.33	106			Single Occupancy
204 - Veterinary Services Manager	1	12	x 14	168	1.33	223			VS Mgr & Supervisors (3 people)
206 - Animal Control Dispatch Office	1	9	x 14	126	1.33	168			3 Workstations
207 - Animal Control Captain Office	1	9	x 12	108	1.33	144			Single Occupancy
208 - Animal Control Corporals	1	9	x 14	126	1.33	168			3 Workstations
209 - Animal Control Staff	1	9	x 14	126	1.33	168			3 Workstations
210 - Animal Control Lead Supervisors	1	9	x 14	126	1.33	168			
211 - Animal Control Squad Room	1	15	x 24	360	1.33	479			
212 - Animal Control Records Storage	1	8	x 10	80	1.33	106			
213 - Animal Control Evidence Storage	1	8	x 10	80	1.33	106			
214 - Volunteer Coordinator Office	1	9	x 14	126	1.33	168			2 Workstations
215 - Purchasing Coordinator Office	1	8	x 10	80	1.33	106			
216 - IT Office	1	14	x 14	196	1.33	261			For 2 people and equipment
217 - Human Resource Office	1	9	x 14	126	1.33	168			For 2 people
218 - Animal Care Manager Office	1	12	x 14	168	1.33	223			AC Mgr & Leads (4 people)
220 - Animal Rescue & Control Equip Storage	1	12	x 20	240	1.33	319			
221 - Behavior Staff Office	2	9	x 15	270	1.33	359			2 Workstations oversized for working with dogs
222 - Behavior Prog Staff Storage	1	10	x 10	100	1.33	133			
223 - Behavior Volunteer Storage	1	8	x 8	64	1.33	85			
224 - Record Storage	1	8	x 20	160	1.33	213			
225 - Small Conference Room	1	10	x 13	130	1.33	173			Room for 7
226 - Large Conference Room	1	14	x 22	308	1.33	410			Room for 15
227 - Multi-Purpose Room	1	40	x 40	1,600	1.33	2,128			
228 - Canine Kitchenette	1	6	x 8	48	1.33	64			Support for Training/Multi-purp
				5,220		6,943			
3.0 - Domestic Animal Holding									
302 - Dog Kennels - Large	65	4.5	x 6	1,755	2.5	4,388	2,925	s.f.	preference is 10-12 maximum per room, outdoor kennel area should be 4.5' x 10' min
304 - Quarantine (Dangerous & Quarantine)	16	4.5	x 6	432	2.5	1,080	720	s.f.	Village Style Housing, with min.4.5' x 10' outdoor run area each, plus access for direct access from outdoor runs to larger shared yards
305 - Medical Isolation Kennels	4	4.5	x 8	144	2.5	360			Indoor only
306 - Feline General Population Cages	2	27	x 10	540	1.33	718			(2) rows of (9) 36" cages per room (9 x 3'= 27 lf)

# Exhibit E

	Qty	Size	Net SF	Factor	Gross	Outdoor Area	Notes
307 - Feline/Rabbit Cages	1	27 x 10	270	1.33	359		(2) rows of (9) 36" cages per room (9 x 3'= 27 lf)
309 - URI Kitten Cages	1	30 x 10	300	1.33	399		(2) rows of (10) 36" cages per room (10 x 3'= 30 lf) space for 6' counter
310 - Feral Quarantine	1	30 x 10	300	1.33	399		(2) rows of (10) 36" cages per room (10 x 3'=30 lf)
311 - Kitten	1	33 x 8	264	1.33	351		(2) rows of (10) 36" cages per room (10 x 2'-6"=25 lf)
312 - Pregnant/Nursing Feline	1	9 x 8	72	1.33	96		(2) rows of (3) 36" cages per room (3 x 3'=9 lf)
313 - Adult Feline URI	1	21 x 8	168	1.33	223		(2) rows of (7) 36" cages per room (7 x 3'=21 lf)
314 - Feline Behavior (Condo) Room	1	12 x 16	192	1.33	255		Space for 6 free-standing condos (total incl. condos & colonies)
315 - Feline Behavior (Colony) Room	3	6 x 8	144	1.33	192		Built-in, full height
316 - Feline Volunteer Socialization Room	2	6.5 x 9	117	1.33	156		Cabinet & chairs
317 - Feline Behavior Storage	1	6 x 8	48	1.33	64		
318 - Wildlife Holding	1	8 x 8	64	1.33	85		
319 - Small Mammal	1	10 x 10	100	1.33	133		
320 - Avian	1	10 x 12	120	1.33	160		
321 - Exotics	1	10 x 12	120	1.33	160		Ectotherms
322 - Intake/Processing	1	10 x 10	100	1.33	133		refrig, computer, sink, 8' counter
323 - Large Dog Exercise Yard	1	55 x 85				4,675	One 60 x 90 & (2) 25 x 25 (or 2 larger, one smaller if possible), Mulch surfacing, 10' fencing typical, double gate, small shaded area at each yard
324 - Small Dog Exercise Yard	1	25 x 25				625	
325 - Rabbit Exercise Yard	1	12 x 14				168	Covered Area, concrete surface
			5,250		9,710	9,113 SF	
<b>4.0 - Animal Support Spaces</b>							
401 - Bathing/Grooming	1	10 x 15	150	1.33	200		Central Vacuum
402 - Canine Food Prep	1	10 x 15	150	1.33	200		2 compartment scullery sink Hobart under-counter sink
403 - Feline Kitchen	2	8 x 10	160	1.33	213		Under-counter DW each room
404 - Laundry	1	12 x 22	264	1.33	351		(2) washer/extractors (2) dryers
405 - Behavior Evaluation	1	15 x 15	225	1.33	299		
407 - Euthanasia (Shelter)	1	10 x 12	120	1.33	160		
408 - Cooler Vestibule	1	8 x 12	96	1.33	128		Chest (skunk) Freezer & Head Refrigerator
409 - Walk-In Cooler	1	12 x 15	180	1.33	239		
			1,345		1,789		
<b>5.0 - Facility Support Services</b>							
501 - Maintenance & Shop (not incl. stor.)	1	20 x 20	400	1.33	532		400 s.f. would include facility maintenance if by PHS
503 - Maintenance Storage	1	10 x 10	100	1.33	133		
505 - Medical Gas Storage	1	6 x 8	48	1.33	64		10 cylinders
506 - Chemical Storage	1	15 x 15	225	1.33	299		Room for (12) 55 gallon drums
507 - Staff Lounge/Break Room	1	18 x 18	324	1.33	431		Seating for 20 (Like Lantos)
508 - Shower/Locker Room	2	9 x 18	324	1.33	431		
509 - Staff Restrooms	2	7 x 8	112	1.33	149		
510 - Animal Care Storage	1	25 x 25	625	1.33	831		Combined with 308 Storage
511 - Main IT/Computer Room/Telephone Room	1	10 x 10	100	1.33	133		
			2,258		3,003		
<b>6.0 - Clinic (Spay/Neuter &amp; Shelter Medicine - AAHA Certified)</b>							
601 - Lobby/Reception	1	10 x 20	200	1.33	266		Counter space for 2
602 - Pre-Op Exam Room	1	9 x 10	90	1.33	120		
603 - Surgery Prep/Recovery	2	12 x 12	288	1.33	383		2 tables & recovery
604 - Recovery Cages	1	54 x 6	324	1.33	431		34 Total Cages w/ (8) 4' cages (54 lf of 30" cages +42" clear space in front)
605 - Feral Recovery Closet	1	6 x 8	48	1.33	64		
606 - Operatory	1	11 x 15	165	1.33	219		2 tables in single room
607 - Pack/Prep/Scrub	1	10 x 12	120	1.33	160		
608 - Laundry	1	12 x 15	180	1.33	239		
609 - X-Ray	1	10 x 15	150	1.33	200		
610 - Storage	1	15 x 10	150	1.33	200		Now include mobile program supplies
611 - Secure Storage	1	6 x 8	48	1.33	64		Narcotics Drug Storage

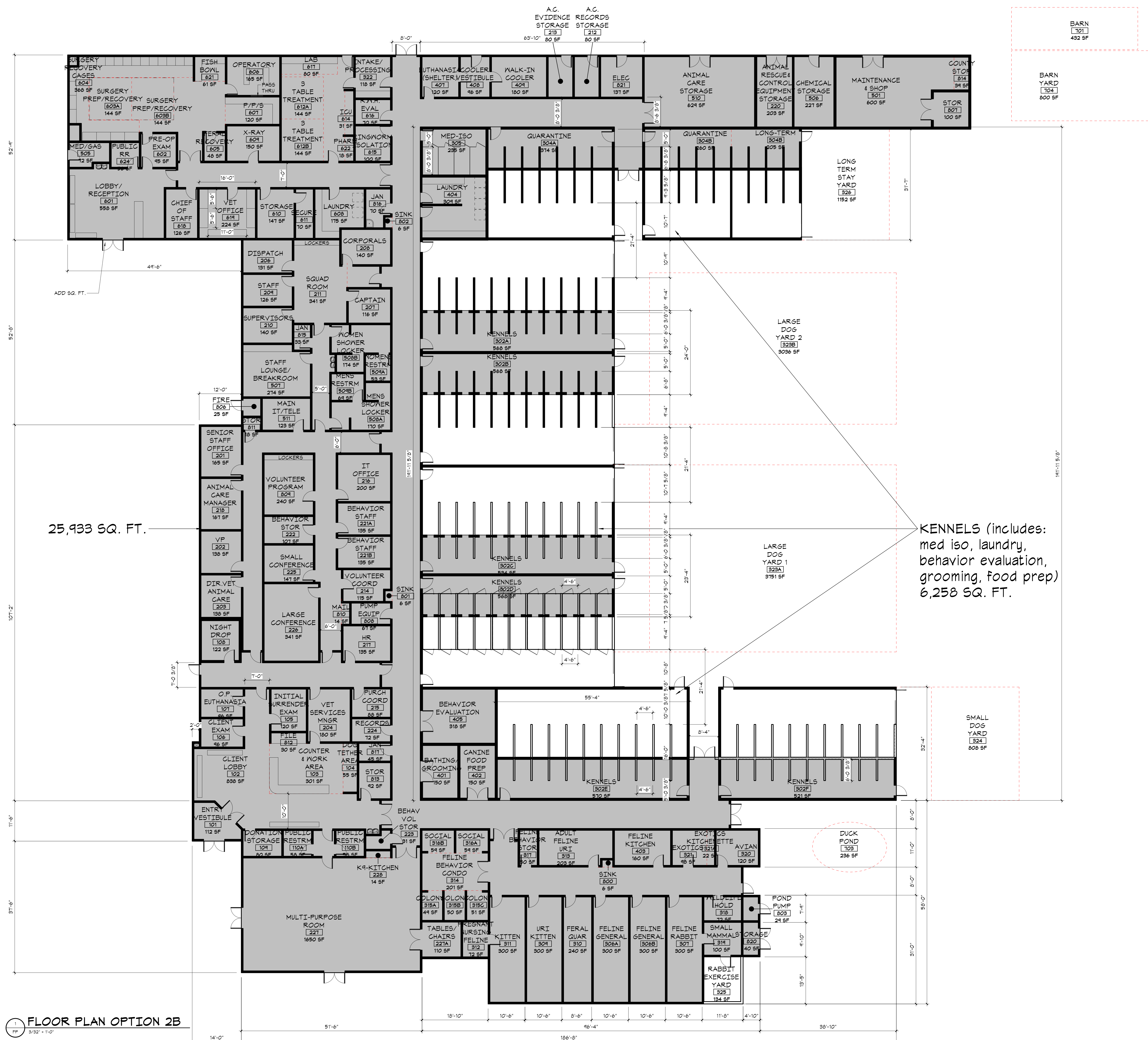
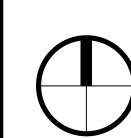


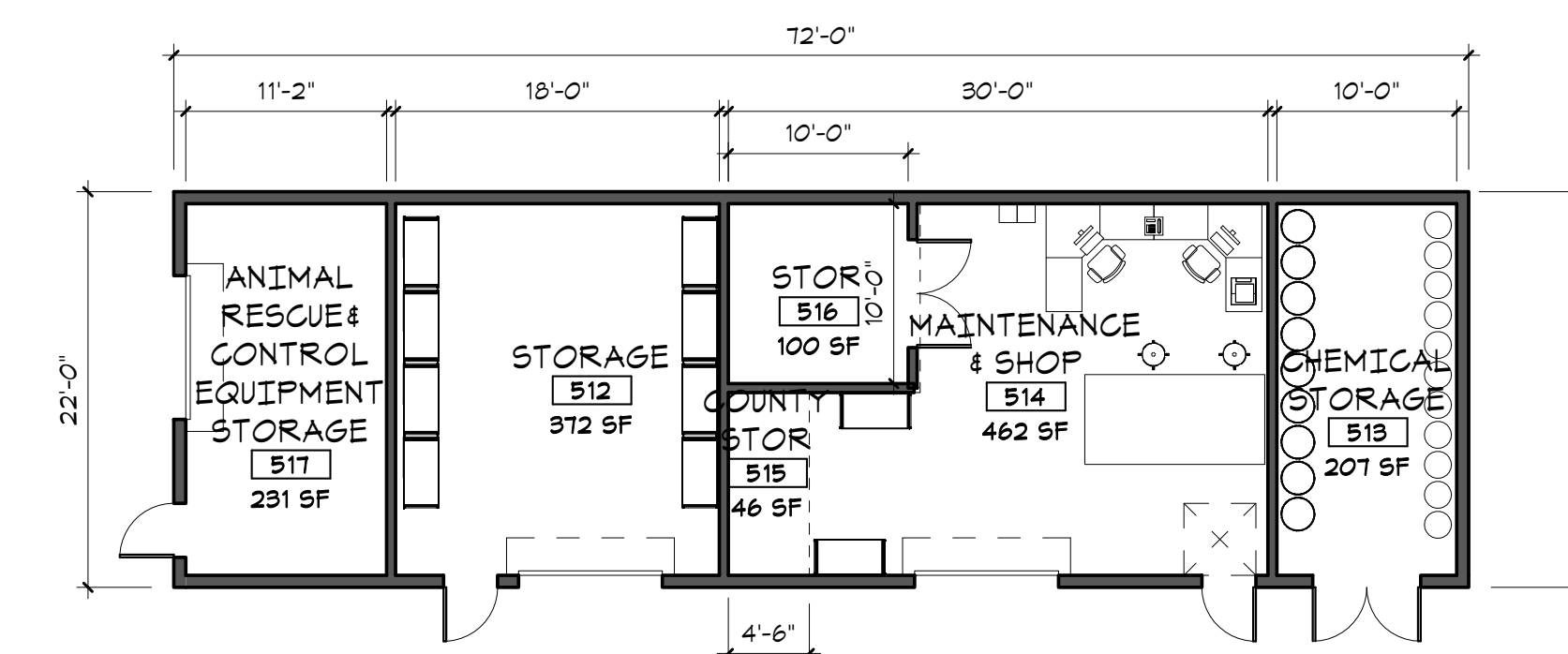
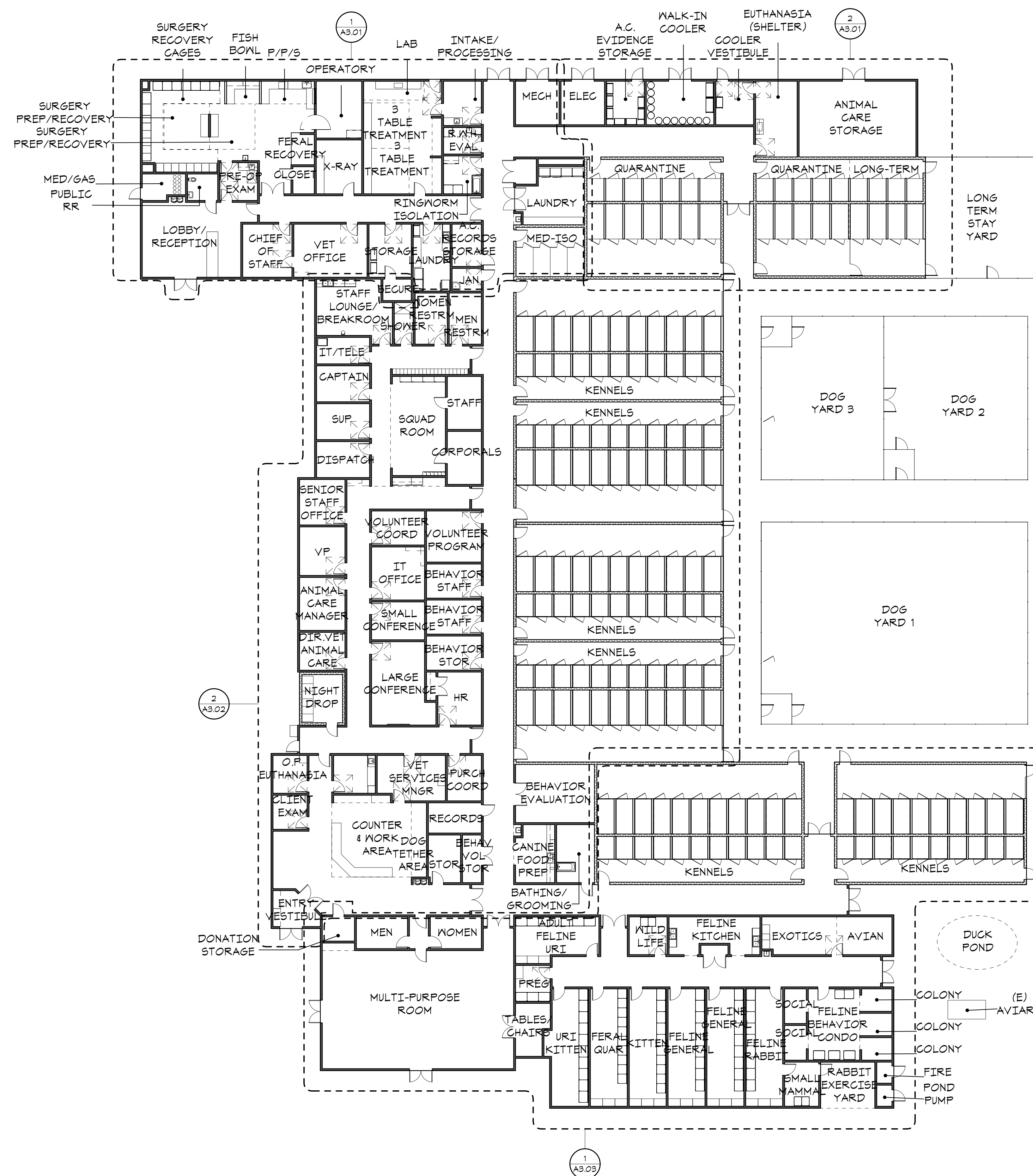
## Exhibit E

	Qty	Size		Net SF	Factor	Gross	Outdoor Area	Notes
612 - Three-Table Treatment	2	12	x 12	288	1.33	383		Treatment/Exam (Shelter General Treatment & Dentistry)
614 - ICU Cages	1	7	x 12	84	1.33	112		
615 - Ringworm Isolation Room	1	10	x 10	100	1.33	133		8 Cages mix of sizes
616 - Ringworm Holding/Evaluation	1	7	x 8	56	1.33	74		4 Cages, supplies, deep sink for dipping
617 - Lab Counter	1	7	x 16	112	1.33	149		
618 - Chief of Staff Office	1	9	x 14	126	1.33	168		Shared with Mobile Coordinator position
619 - Veterinarians Office	1	10	x 12	120	1.33	160		5 Cubbies
621 - Doctors Fishbowl	1	7	x 9	63	1.33	84		for 2 techs
622 - Pharmacy Counter	1	7	x 4	28	1.33	37		for 1 tech to sit
624 - Public Restroom	1	7	x 8	56	1.33	74		
625 - Staff Restroom	1	7	x 8	56	1.33	74		
				<b>2,852</b>		<b>3,793</b>		
<b>7.0 - Farm Animal Holding</b>								
701 - Barn	1	12	x 36			432		with covered outside area (all concrete) & space for 4 stainless steel cages for chicken isolation
703 - Duck Pond	1	12	x 20			240		6 x 8 pond in fenced area of 12 x 20
704 - Barnyard	1	20	x 40			800		
						1472	SF	
<b>TOTALS</b>								
<b>Total Indoor</b>				<b>18,305</b>		27,073		
<b>Total Outdoor</b>							10,585	
<b>Total Indoor &amp; Outdoor Area Net</b>				<b>28,890</b>				
<b>Total Indoor &amp; Outdoor Area Gross</b>						37,658		

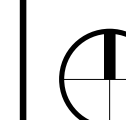
A.C. EVIDENCE STORAGE 213 80 SF

A.C. RECORDS STORAGE 212 80 SF





2 MAINTENANCE SHOP  
A3.00 1" = 10'-0"





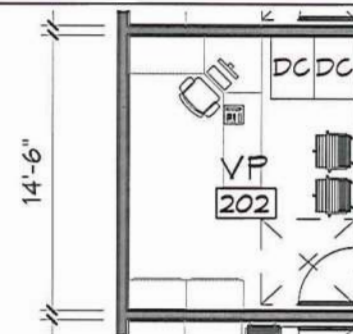
## FURNITURE, FIXTURE &amp; EQUIPMENT DESIGN DEVELOPMENT LIST (PHS)

ROOM NO.	ROOM DESCRIPTION	FFE - Bridging Documents	REQUESTED 04/05/17
202	VP	Phone (1), Computer (1), Printer (1)	L shape desk, 3 chairs, 2 dog crates, 3' book case, 4 drawer vertical files, 2 drawer lateral cabinet, computer, phone, printer

RFP Square Foot  
80 SF



138 SF



174 SF

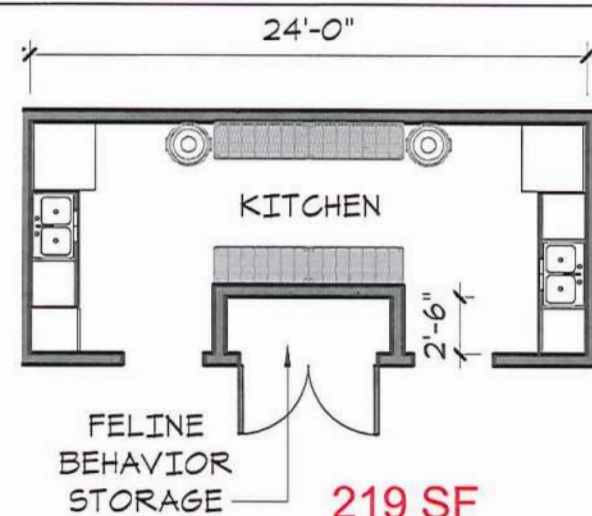
## FURNITURE, FIXTURE &amp; EQUIPMENT DESIGN DEVELOPMENT LIST (PHS)

ROOM NO.	ROOM DESCRIPTION	FFE - Bridging Documents	REQUESTED 04/05/17
403	FELINE KITCHEN	Dishwasher (1), Open Shelving (1), Refrigerator - Full (1)	double sink, food, racks, garbage cans on wheels with dry food, can food, medical food, hobart dishwasher, counterspace, full size frig

RFP Square Foot  
160 SF



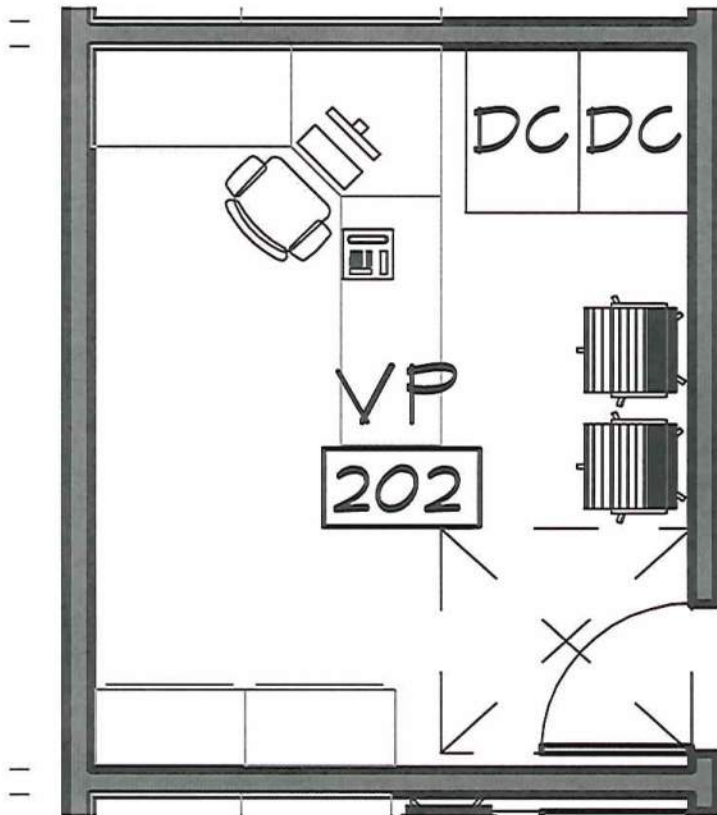
160 SF



219 SF

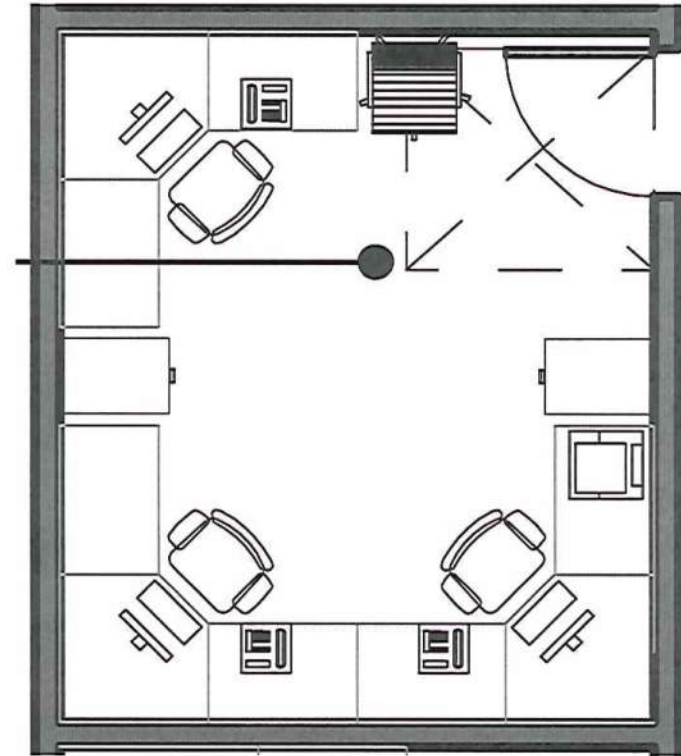


## Standard vs Non-Standard Work Station and Design



RFP Square Foot  
80 SF

Current  
174 SF

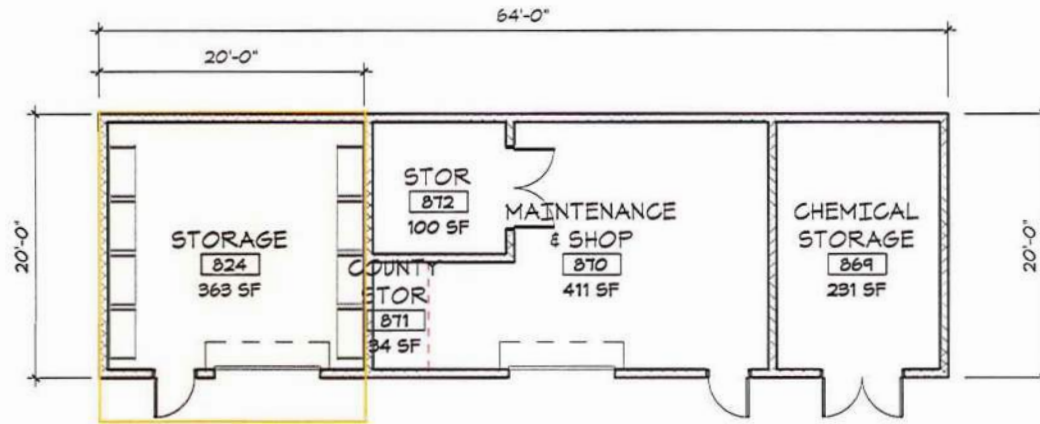


RFP Square Foot  
137 SF

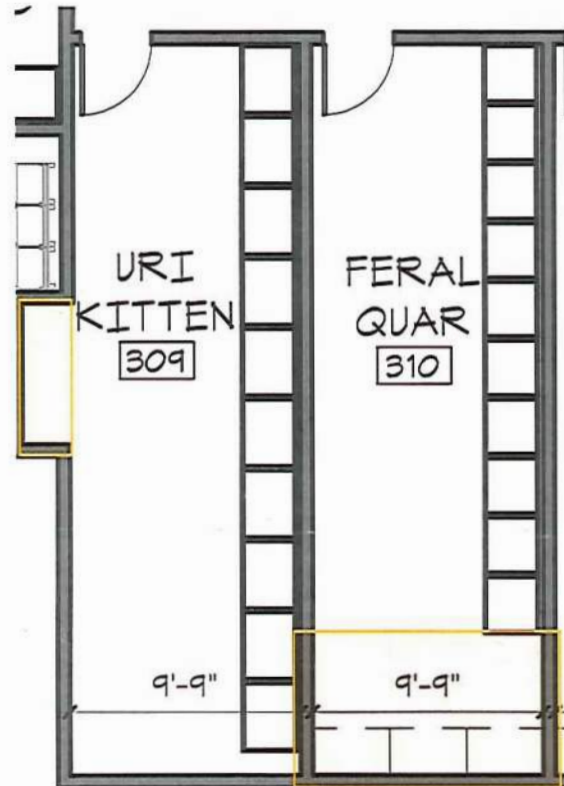
Current  
168 SF

**ADDITIONAL SPACES**

SINK
SINK
SINK
POND PUMP
ELECTRICAL
MECHANICAL
FIRE
STORAGE
PUMP EQUIPMENT
VOLUNTEER PROGRAM
MAIL
STORAGE
FILE
STORAGE
COUNTY STOR
JANITOR
JANITOR
JANITOR
ROOM
STORAGE
ELECTRICAL
FIRE RISER
MECHANICAL
STORAGE
PUBLIC RESTROOM
IT/TELE



2 **MAINTENANCE SHOP**  
 A3.00 1" = 10'-0"





**F&H CONSTRUCTION**

Spaces for life

June 2, 2017

San Mateo County  
1402 Maple Street  
Redwood City, CA 94063

Attention: Theresa Yee, CPC, DBIA

Reference: Project Costs and Design Delays  
San Mateo County Animal Shelter – Project Number P23G6

Dear Theresa:

F&H Construction (F&H) and the project team are concerned with the design progress and the County's ability to absorb the resulting cost and schedule impacts. F&H assumes County shares this concern. The lack of information provided in the Bridging Documents is likely the cause of the issue and F&H is continuing to work with the County and PHS to deal with the changes in requirements and information requested. F&H has continued to make alterations to the design each week leading to the completion of the 30% drawings.

The costs identified based on the 30% drawings and the HVAC changes are as follows:

- |  |                             |
|--|-----------------------------|
| 1. Square Footage Costs (832 square feet)          | \$205,000.00 - \$303,680.00 |
| 2. HVAC / Zoning Changes (convert to DX & 4 zones) | \$470,350.00                |

Please note that the identified costs include the estimated costs and impacts of additional square footage added after 12/20 Contract Drawings. The costs and impact are estimated. The full extent of the costs and impacts will not be finalized until contracts have been fully executed with subcontractors. The additional cost of furniture, fixtures, and equipment (FF&E) and mechanical, plumbing, and electrical costs specific to FF&E will be included in the 60% Variance report.

The abovementioned costs and any additional costs incurred due additional scope and design delays are the responsibility of the County and are not to be funded by construction contingency stated in the contract documents.





## F&H CONSTRUCTION

Spaces for life

### Square Footage Changes and Costs

Attached is a spread sheet for your review that shows the square footage of each room, which includes (1) Bridging Document's Prescribed Square Footages, (2) 12/20 Contract Drawing Square Footages, (3) 30 % Revised Square Footages and (4) Variance from Contract to 30% Drawings.

The changes made in the 30% drawings and deviation from the Bridging and Contract Documents are a result of the following items:

- Additional personnel equipment required for specific rooms;
- Added FF&E and sizing changes;
- Additional required storage areas;
- Floor plan reconfiguration; and
- Program and/or operational discrepancies.

To date, F&H has added eight hundred and thirty-two (832) square feet of building/scope to the project. F&H has made its best effort to identify the changes and costs changes based on the 30% drawings that were requested, and has been reaching out to subcontractors for their assistance in developing these costs. Currently, the Rough Order of Magnitude (ROM) based on the developed plan changes is in the neighborhood of \$205,000 to \$303,650. These added costs include:

- Changes made to the main building;
- Additional underground water, sewer and fire line to the new metal building; and
- Added metal building to house storage, maintenance and chemical storage.

### DESIGN DELAYS

F&H assumed three design coordination meetings would be necessary to complete the 30% SD Phase drawing (DES – 1000), with a scheduled completion date of March 31, 2017. Typically three meetings are not necessary to reach 30% SD as they are provided within the Bridging Documents; however, upon review of the Animal Shelter Replacement Bridging Documents during the proposal phase, F&H realized that some revisions would be necessary to reach 30% SD. While F&H was aware that some changes would be necessary, it did not anticipate that nearly every room in the facility would require significant modifications and that the lack of information contained in the Bridging Document in conjunction with the unforeseen continuing requests for modifications would go well beyond our contract with the County. In the end, it took seven coordination meetings to complete the drawings, with the final submission on May 5, 2017, 25 days beyond the intended completion date. F&H could not have reasonably assumed that seven coordination meetings and an additional 25 days would be necessary.



## F&H CONSTRUCTION

Spaces for life

F&H noted the potential delay early on in the design phase, and the initial request for ten (10) days non-compensatory delay was granted. Because the delay exceeded the ten (10) day request, it has resulted in additional cost and schedule impacts, for which F&H is not responsible. Currently, the full extent of the impact is unknown.

This trend has continued into the 60% DD. The reflected ceiling design and incorporating ZNE criteria serve as good examples. The reflected ceiling design was originally discussed prior to the contract (12/20/16) drawings. It was reviewed and altered on May 17<sup>th</sup>, 2017. On May 31<sup>st</sup>, 2017, the County once again requested modifications to be made to the ceiling types and requirements. Additionally, F&H is awaiting the County's decision on ZNE. Impacts are not included in the original proposal for ZNE. If a decision is not made in a timely manner, additional design and construction costs will continue to incur due to schedule delays.

### HVAC / MAU UNITS

The value engineering (VE) to the HVAC system removed the Hydronic system and the non-animal holding areas became single zone variable units. The contractual zoning plan meets the requirements of the Bridging Documents, Exhibit G. The animal holding areas zoning plan was not a VE consideration. Frank M. Booth designed the HVAC system to use MAU evaporative cooling units which meets the requirements of the Bridging Documents, Exhibit G, with respect to temperature ranges, Relative Humidity (RH), and zoning. The County has directed F&H to proceed with adding two (2) zones to the animal holding area and convert existing evaporative cooling units to DX cooling units. Estimated cost is \$470,350.

In acknowledgment of additional cost, F&H will need formal direction for the HVAC system. This issue has already started to impact the design schedule and will continue to do so with increasing cost consequences if a decision is not made in a timely manner.

In conclusion, F&H is eager to proceed with this project. To do so, F&H needs the County's notice to proceed with the 30% drawings estimated costs and the HVAC modification proposal and would like verification of funding. Currently, the combined ROM based on the 30% drawings and HVAC modifications approximately \$675,350 to \$774,030.





**F&H CONSTRUCTION**

*Spaces for life*

Thank you in advance for your cooperation in these matters and F&H looks forward to our continued professional relationship on this project.

Sincerely,

Daniel Hoff  
Assistant Project Manager

Enclosure

DATE: August 11, 2017

TO: DANIEL HOFF

CC: STEPHEN SEIBLY

FROM: JAMES KELLY

REFERENCE: SAN MATEO ANIMAL SHELTER

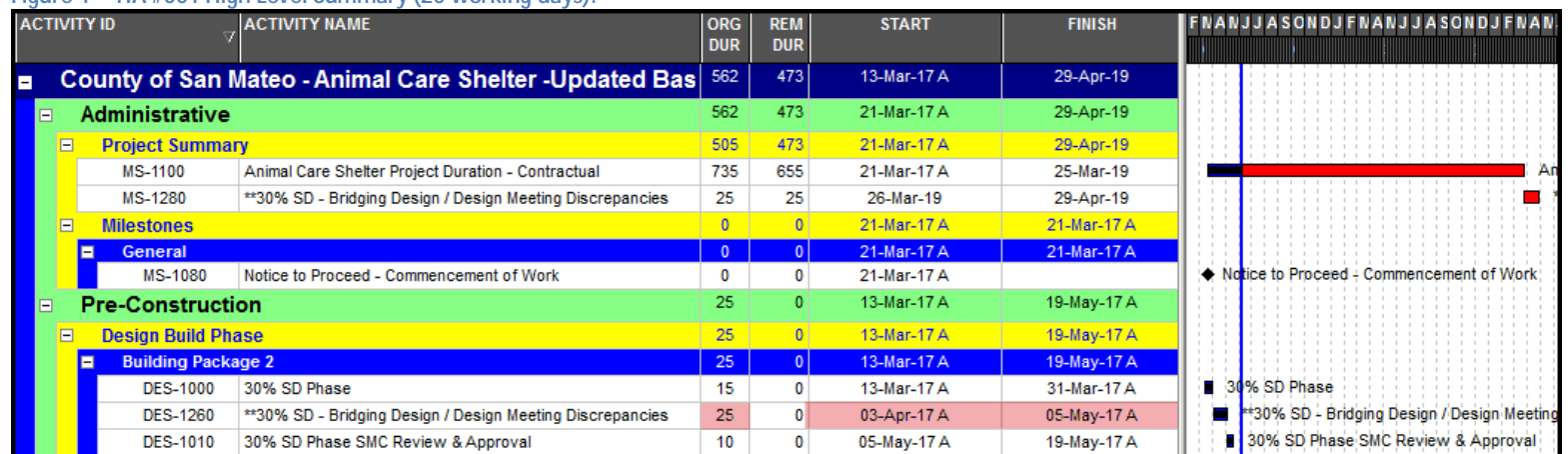
SUBJECT: TIME IMPACT ANALYSIS #001

CPM SCHEDULE: (Total Float -86 working days) The Contract Completion Date is 3/25/19. However, the project is forecasting a current Project Completion Date of 7/26/19. This is a negative variance of 86 working days; 123 calendar days.

**TIA #001 Summary:** The Design Phase has extended beyond the approved Baseline Schedule and is driving the critical path of the schedule by 86 working days. This negative variance is comprised of multiple design issues; 20 of the 86 working days of this overall delay are listed and detailed below:

- 30% SD Bridging Documents – 25 Days (20 Day Impact)

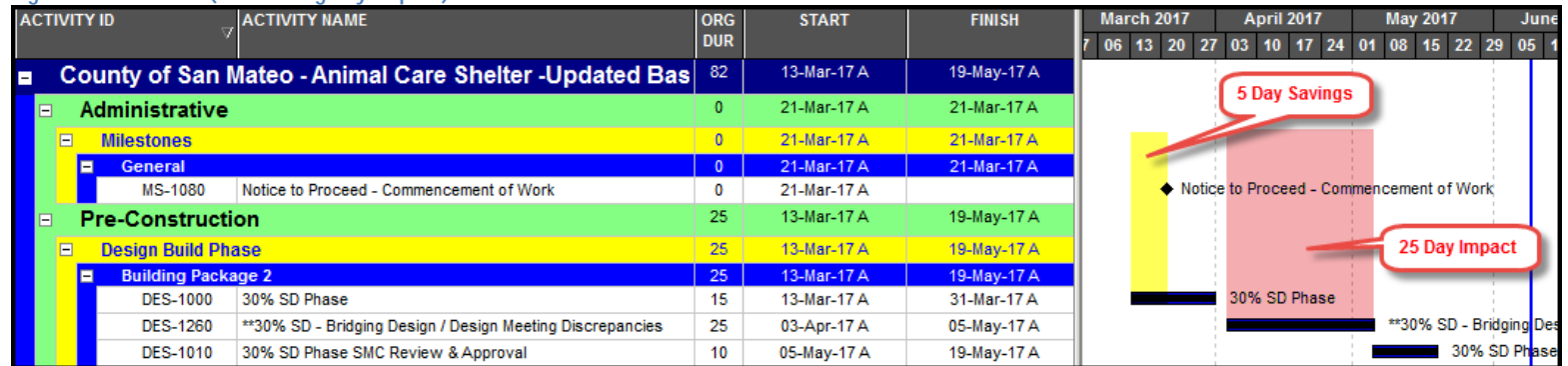
Figure 1 – TIA #001 High Level Summary (20 working days):



## TIA #001 Details:

**30% SD Bridging Design (20 Days):** From the 30% SD Design through being ready to submit for review and approval. The Bridging Design and Design Meeting Discrepancies resulted in 25 working day impact to the project. However, the 30% SD's actually started 5 days prior to notice to proceed reducing the critical impact to 20 working days.

Figure 2 – 30% SD's (20 working day impact):



Please confirm the acceptance of this work and 20 working days; 28 calendar days will be added to the overall project duration and will be addressed in the next schedule update and narrative. This will extend the Project Completion Date from 3/25/19 to a new Project Completion Date of 4/22/17.

End-



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 9**

**Date: 4/13/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

COR 8010 - Unforeseen Condition - Gas Pipe Exploration

8010 COR 8010 - Unforeseen Condition - Gas Pipe Exploration

\$220,542.38

Scott Gurley

Robert Hennessy

Sam Lin

Assistant Director

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$220,542.38

4/16/2020

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$220,542.38

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,081,720.72
The Contract Amount prior to this Change Order was	\$20,780,917.72
The Contract will be increased by this Change Order in the amount of	\$220,542.38
The new Contract Amount including this Change Order will be	\$21,001,460.10
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

COUNTY OF SAN MATEO  
OWNER

(Signature)

(Signature)

See Change Request 8010

(Signature)

By

By

See Change Request 8010

Date

Date

By

See Change Request 8010

Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8010

Date: 2/16/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

Description: COR 8010 - Unforeseen Condition - Gas Pipe Exploration

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

← Unforeseen

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the extra work performed investigating the underground / above ground natural gas piping system due to the unforeseen condition of the pipe not being routed as shown in the bridging documents.

Baseline Temp Gas Scope 11.1.2017  
Potholing/Exploration : 12.6.2017 and 1.30.2018  
Subtronics Corp Locating Services 12.14.2017  
United Rental FX-30 Ditch Witch: 12.6.2017  
MBS 2.15.2018

See attached documents for full backup

If there are subsequent plan revisions or PG&E caused delays, there may be additional costs

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
02-0999 Labor (Operator)	\$1,397.76					\$1,397.76
02-0999 FX-30 Ditch Witch			\$884.42			\$884.42
02-0999 Subtronic Corp				\$1,117.50		\$1,117.50
02-0999 BASELINE Gas Scope					\$(10,409.09)	\$(10,409.09)
02-0999 MSB - Gas Underground				\$126,985.23		\$126,985.23
02-0999 FMBooth Roof Pipe				\$84,000.00		\$84,000.00
02-0999 PG&E Delay (if applicable)						TBD
				Subtotal:		\$203,975.82
			BIT	\$203,975.82	2.70 %	\$5,507.35
			15% Mark-up (Material and Labor)	\$3,399.68	15.00 %	\$509.95
			5% Mark-Up on Sub Work	\$210,985.23	5.00 %	\$10,549.26
				Total:		\$220,542.38

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: *[Signature]*  
Date: 4/11/2018

APPROVED: APRIL 11, 2018

*[Signature]*  
ROBERT J. HENNESSY JR.



## Gas Piping System Narrative

Below is a time line capturing the Natural Gas Piping Unforeseen Condition issue. While performing a site investigation on 12.1.2017, the existing gas line was determined to be in a different location than indicated on the plans from the bridging documents. The underground piping was immediately recognized to not be up to current construction standards and codes. 12.6.2017 F&H Was onsite potholing the 3" customer gas pipe from the meter, and it led away from the building instead of into the building as the Bridging Docs indicated. Also discovered was PVC pipe carrying gas through a concrete slab, this posed an immediate safety risk and a barricade was built to protect the pipe. Underground utility locating experts, Subtronic Corp was mobilized to the site on 12.14.2017. No underground pipe could be located, due to no tracer wire and pipe being non-metallic, see Subtronic Report and F&H photos/marked up plan sheet for details. The application process with PG&E was started right away on 12.21.2018, in hopes to minimize any delay to the project.

12.1.2017: Unforeseen/unsafe condition found and reported.

12.6.2017: F&H Potholes 3" customer gas pipe around front of building

12.14.2017: Subtronic onsite and unable to locate any of the underground gas piping

12.21.2017: F&H sent Subtronic report along with marked up plan sheet to PDU compiling all gas exploration details to date.

12.21.2018: Started process with PG&E to engineer the temp and permanent gas service to the new facility

1.3.2018: Received natural gas loads based on previous Investigated existing equipment

1.4.2018: Met with Miles Hancock, Bob Hennessey and Fire Marshal onsite. Suggested PG&E meter location was changed to the South East corner of site due to safety concerns with traffic so close to meter at the driveway. Sent this ne information as an updated site plan to PG&E

1.5.2018: Emergency Conference call, discussed possible evacuation of building, ultimately F&H directed to come up with the quickest plan of action to abandon all underground piping.

1.9.2018: Plan of action emailed to PDU Team

1.10.2018: In OAC Meeting No. 11, it was stated the gas pipe install is per code as of the date of installation. When F&H questioned the PVC pipe through the slab, the statement was modified to everything was to code except the one pipe through the slab.

1.17.2018: Sent Leann Whelan with PG&E the new gas load information, site plan and medium pressure gas application. The medium pressure application is necessary to reduce costs, since pipe size was reduced from 8" to 2".

2.13.2018: Again, followed up with PG&E, only update is that this application is in queue with engineering

2.14.2018: Received estimates for gas line work from FMB and MSB. Currently analyzing scopes, prices and baseline figures

Current Status: Compiling pricing from multiple subs into change order for approval

## Brendan Corbett

---

**From:** Daniel Hoff  
**Sent:** Friday, December 01, 2017 4:49 PM  
**To:** Robert Hennessy; Sam Lin; Deborah Bazan  
**Cc:** Brendan Corbett; Tim O'Brien; Stephen Seibly; Charles Ferrell; Sarah Hoff  
**Subject:** SMCAS Unforeseen Condition - Gas Main  
**Attachments:** SMAS Gas Main.pdf; Phase 1 Demo.pdf

**Categories:** San Mateo

Bob,

On 12/01/17 while investigating site utilities, F&H discovered that the routing of the gas line does not conform to information provided within the bridging documents and the gas line into the existing building, post PG&E meter, does not conform to standard plumbing design, specifically it appears to be constructed of PVC pipe material. These conditions were not indicated in the contract documents and were not considered in our bid. Additional investigation is required to identify the gas line location and routing, and F&H believes that the material and installation method of the gas line creates a potentially hazardous condition.

This letter is to notify you of the existence of a differing and potentially hazardous site condition. At this point, F&H will not further disturb the condition, and we request that you examine the condition and instruct us on how to proceed.

At this time, the impact on the project is unknown but when sufficient information has been collected to make that assessment, F&H will submit a request for additional compensation relating to the increased costs for this problem and related delay.

We assure you that we will do our best to minimize those costs and the necessary delay. If we can be of assistance in expediting the resolution of the problem, please let us know.

Your cooperation in this matter is appreciated.

Sincerely,

**Daniel Hoff** / *LEED AP BD+C*

(209) 931-3738 **PHONE**

(209) 269-6327 **MOBILE**

(209) 931-4427 **FAX**

[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



1115 East Lockeford Street, Lodi, CA 95240

[WWW.F-HCONST.COM](http://WWW.F-HCONST.COM)



**EXTRA WORK ORDER**

F & H CONSTRUCTION  
 1115 E. Lockeford St., 95240  
 P.O. Box 2329  
 Lodi, CA 95241

Job SAN MATEO ANIMAL SHELTER [5466] Date of Order 12-6-17  
 Sub-Contractors F3H [SELF PERFORMED] Date Work Started 12-6-17  
 Who Ordered ROBERT HENNESSY [SMC GOV] Date Work Completed 12-6-17

**Instructions**

DISPATCH EQUIPMENT (VAC-TRUCK) AND  
 PERSONNEL (F3H) TO PERFORM EXPLORATORY  
 POT-HOLING OF EXISTING SITE GAS LINE,

**Description of Work**

LAYOUT SELECTED POT-HOLING LOCATIONS  
 OF EXISTING GAS LINE TO BE EXPLORED  
 WITH RENTED VAC-TRUCK EQUIPMENT.

**Material**

N/A

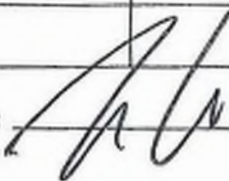
**Equipment**

FX-30 DITCH-WITCH TRAILER UNIT [4884<sup>42</sup>]  
 (UNITED RENTALS - INVOICE #152739257-001)

Labor	Hours	Wage Rate	Cost Extension
OPERATOR Carpenter ROGER WILLIAMS	8.0	87 <sup>36</sup>	698 <sup>88</sup>
Laborer			
Cement Mason			
Other			

Authorized by:

Superintendent:





**EXTRA WORK ORDER**

F & H CONSTRUCTION  
 1115 E. Lockeford St., 95240  
 P.O. Box 2329  
 Lodi, CA 95241

Job PENINSULA ANIMAL SHELTER Date of Order 1-30-18  
 Sub-Contractors F3H CONSTRUCTION Date Work Started 1-30-18  
 Who Ordered \_\_\_\_\_ Date Work Completed 1-30-18

**Instructions**

ON-SITE INVESTIGATION OF EXISTING GAS SERVICE  
 INFRASTRUCTURE AND PREP WORK FOR  
 JOINT TRENCH ROUTING. TEMP/PERM GAS  
 SERVICE.

**Description of Work**

LOCATED P.O.C. OF EXISTING GAS SERVICE LINE  
 (PG&E) AND ESTIMATED LOCATION OF NEW GAS  
 MAINS RT. PLANNED AND PLOTTED BEST ROUTING OPTION  
 FOR UPCOMING ~~SCAFFOLD~~ GAS LINE INSTALLATION

**Material****Equipment**

Labor	Hours	Wage Rate	Cost Extension
Carpenter (OPERATOR - ROGER WILLIAMS)	8.0	87 <sup>36</sup>	\$698 <sup>88</sup>
Laborer			
Cement Mason			
Other			

Authorized by: \_\_\_\_\_ Superintendent: 





**F H CONSTRUCTION BILLING RATES 2017-2018****Operating Engineer**

Roger Williams

**Valley/Bay**

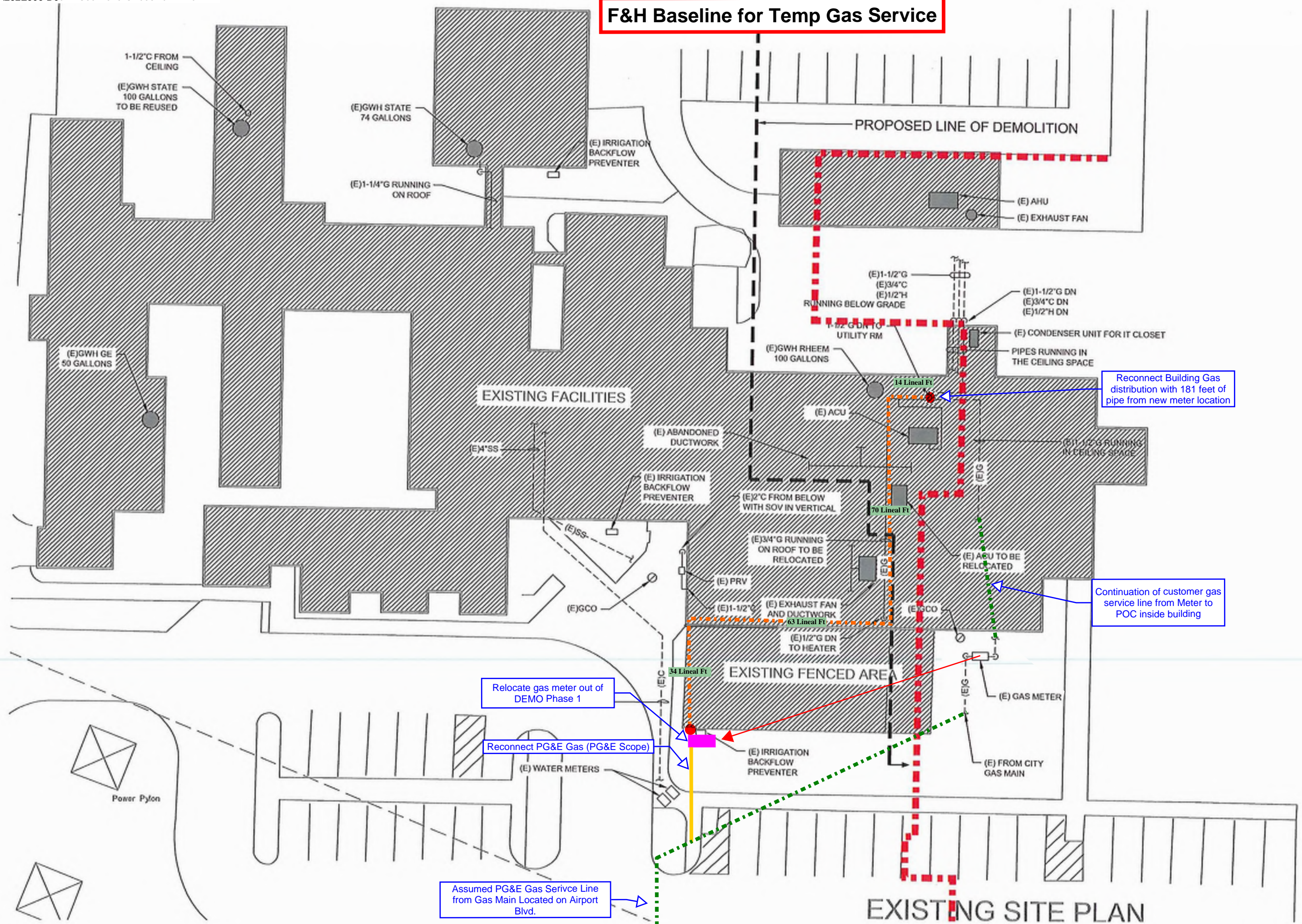
Journeyman Group 3 P\$1 Area 1

		S.T.	O.T.	D.T.
Base		42.66	63.99	85.32
Vacation		3.35	3.35	3.35
Supplemental Dues		1.16	1.16	1.16
		47.17	68.50	89.83
S.U.I.	6.20%	2.92	4.25	5.57
S.S. & Medicare	7.65%	3.61	5.24	6.87
FUTA	0.80%	0.38	0.55	0.72
Workers Comp. (6220)	6.05%	2.85	4.14	5.43
Health & Welfare		11.34	11.34	11.34
Pensioned H & W / Retiree		2.44	2.44	2.44
Pension		10.78	10.78	10.78
Affirmative Action Training		0.92	0.92	0.92
Annuity		0.40	0.40	0.40
Contract Administration		0.39	0.39	0.39
<b>Subtotal</b>		83.20	108.95	134.69
Contractor's Liability	5%	4.16	5.45	6.73
		<b>87.36</b>	<b>114.40</b>	<b>141.43</b>

Effective June 26, 2017Entered into Timberline:                     jme









F&H Baseline for Temp Gas Service

GENERAL COST ESTIMATE

SAN MATEO COUNTY ANIMAL SHELTER REPLACEMENT ESTIMATE NO.: 1  
SAN MATEO , CA ESTIMATOR: BRENDAN  
DATE: 20-Feb-18

Temporary Facilities - PG&E Gas Service Relocation

LABOR RATE	\$92.50	PLUMBER

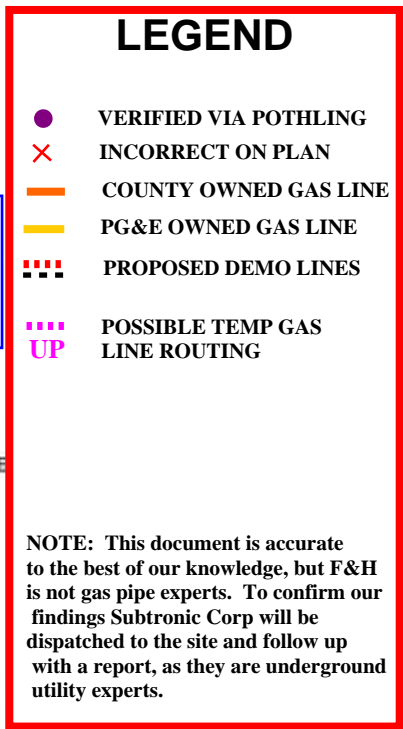
DESCRIPTION	QUANTITY	UNIT	MATER. UNIT COST	EQUIP. UNIT COST	LABOR UNIT COST	LBR PRO. / HOUR	MATERIAL COST	EQUIP. COST	OWN/OP COST	LABOR HRS	LABOR COST	TOTAL COST	LABOR UNIT COST
Temp Facilities - PG&E Gas Service Relocation													
Relocate (E) Gas Meter to Location Noted (PG&E)	1.00	LS	0.00	0.00	0.00	0.00	0.00	0.00	By Owner	0.00	0.00	0.00	0.00
Re-Route (E) On-Site Gas Main and Tie-In to Relocated Meter Set (PG&E)	1.00	LS	0.00	0.00	0.00	0.00	0.00	0.00	By Owner	0.00	0.00	0.00	0.00
Route New Steel Gas Line from New Meter Set to Roof-Top Terminations	181.00	LF	8.00	3.00	0.00	5.50	1,448.00	543.00	0.00	32.91	3,044.09	5,035.09	0.18
Make Final Connections and Start New Install	8.00	EA	65.00	0.00	12.00	0.25	520.00	0.00	96.00	32.00	2,960.00	3,576.00	4.00
Pressure and Leak Testing	1.00	LS	165.00	0.00	8.00	0.10	165.00	0.00	8.00	10.00	925.00	1,098.00	10.00
Crew Truck and Small Tools & Supplies	1.00	LS	700.00	0.00	0.00	0.00	700.00	0.00	0.00	0.00	0.00	700.00	0.00
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
							0.00	0.00	0.00	0.00	0.00	0.00	
MISC. ITEMS							0.00	0.00	0.00	0.00	0.00	0.00	
	0.00	HRS					0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!
	0.00	HRS					0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!
	0.00	EA					0.00	0.00	0.00	0.00	0.00	0.00	#DIV/0!
							2.833	543	104	75	\$ 6,929.09	\$10,409.09	



3/4" - Yellow SCH40 PVC at ~ 0' 3" BG (elbows are (E) IRRIGATION

PROPOSED LINE OF DEMOLITION

**LEGEND**





Equipment used for potholing



Photo 01

12 06 2017



See Photo 06

See Photo 05

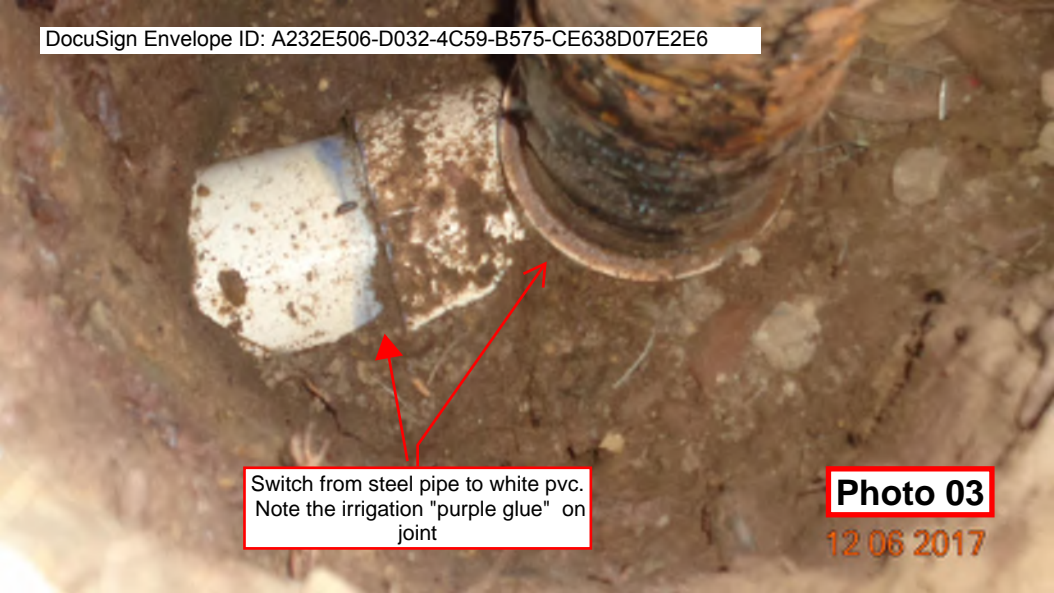
See Photo 04

See Photo 03

12 06 2017

**Photo 02**





Switch from steel pipe to white pvc.  
Note the irrigation "purple glue" on  
joint

**Photo 03**

12 06 2017



3" white PVC.

**Photo 04**

12 06 2017

A photograph of a hole in the ground, likely a borehole or test pit. The soil is reddish-brown and appears moist. A red arrow points from a text box in the bottom left to a small, light-colored object (identified as 3" white PVC) located near the center of the hole. The object is partially submerged in the dark, wet soil.

3" white PVC.

**Photo 05**

12 08 2017



3" white PVC. Still  
continuing. Further  
Potholing required

**Photo 06**

12.06.2017 14:17



Exposed Schedule  
40 PVC pipe

**Photo 07**

11 15 2017





Clearly a threaded  
bushing. PVC is not  
being used as a sleeve.  
PVC is carrying gas

**Photo 08**

12 07 2017



From 2" PVC on Photos 07 and 08. Pipe T's off to water heater then continues to roof to feed rooftop units.

12 07 2017

**Photo 09**



1-1/2" steel pipe.  
Subtronic to locate and  
mark this pipe (if possible)

**Photo 10**

12 07 2017





**Photo 11**

12.07.2017 10:00



See Photo 14

See Photo 13

12.07.2017

**Photo 12**



yellow gas pipe

white irrigation  
90 degree pipe  
fitting

yellow gas pipe

**Photo 13**

12 07 2017

Steel pipe to Water Heater  
and Roof top units

gray PVC pipe  
(schedule 80?)

yellow gas pipe

**Photo 14**

12 07 2017



# subtronic corp

NULCA - NASSCO - APWA - AWWA - Members



5031 Blum Road, Ste. 2  
Martinez, California 94553  
Telephone (925) 228-8771  
Fax No. (925) 228-8737  
[www.subtronic.com](http://www.subtronic.com)  
[subtronic@subtronic.com](mailto:subtronic@subtronic.com)

**Subject:** Location of Gas Lines

**Client:** F & H Construction

**Locator:** Gary Travers

**Location:** Peninsula Humane Society

**Date:** 12/14/2017

**Time:** 7:30 am - 10:30 am

**Contact:** Tim O'Brien

**Scope:** Location of four gas lines: one 2" PVC gas main and three gas risers: One 2" and two 1 1/2".

**Additional Scope:** Attempt to find abandoned PGE line in two areas.

**Equipment:** Radio Detection Pipe and Cable Locator 8000  
Fisher Magnetometer Model TW-6  
GSSI Ground Penetrating Radar Model 3000

**Investigation:** All three gas risers did not give a traceable signal. The indications given by the Model 8000 transmitter (14-18V/5mA) suggested no circuit continuity. Different grounding locations and frequencies were tried. An ohms check between the boiler room gas riser and the hot water gas riser showed no continuity. An attempt to locate the 2" PVC gas main in front of the facility with ground penetrating radar failed to detect the path of the gas main.

Tim requested additional scope to the original estimate: attempt to find abandoned PGE electrical lines in two areas. No lines were found in the north-most driveway using all listed equipment. In the main driveway through the parking lot near the front door the marked water line was verified using ground penetrating radar and an irrigation line was found using same. No additional lines were found using all listed equipment.

**Images:** Image 1: 1 1/2" gas line from slab on North side of facility.

Image 2: 1 1/2" gas line from slab on West side of facility.

Image 3: 2" white schedule 40 PVC













## Emergency Meeting/Conference Call Requested

**Brendan Corbett**

---

**From:** Robert Hennessy <c\_rhennessy@smcgov.org>  
**Sent:** Friday, January 05, 2018 8:30 AM  
**To:** Daniel Hoff; Stephen Seibly; Charles Ferrell  
**Cc:** Tim O'Brien; Brendan Corbett; Deborah Bazan; Sam Lin  
**Subject:** FW: Animal Shelter Replacement - 12 Airport Blvd.

**Importance:** High

**Categories:** San Mateo

Hi Daniel & Team,

Due to the urgency regarding the issues at the Animal Shelter, a special meeting has been scheduled for **10:30 AM TODAY** at the PDU Redwood City Office, 1402 Maple St..

If you are unable to attend in person, we will setup a telephone conference call.

Also, I would like to discuss the latest issue regarding the additional retention basin!

Please contact me ASAP, in order to prepare for this important meeting.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
1402 Maple Street  
Redwood City, CA 94063  
925-997-2956 C  
[www.smcpdu.org](http://www.smcpdu.org)

---

**From:** Robert Hennessy  
**Sent:** Friday, January 05, 2018 8:22 AM  
**To:** Miles Hancock <mhancock@smcgov.org>  
**Cc:** Deborah Bazan <dbazan@smcgov.org>; Sam Lin <slin@smcgov.org>  
**Subject:** RE: Animal Shelter Replacement - 12 Airport Blvd.

Hi Miles,

Yes, meeting confirmed with Debbie. Also in attendance will be the General Contractor, F & H Construction.

We will meet at the PDU Field Office 1402 Maple Street at 10:30 AM today, Jan. 5<sup>th</sup>.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
1402 Maple Street  
Redwood City, CA 94063  
925-997-2956 C  
[www.smcpcdu.org](http://www.smcpcdu.org)

---

**From:** Miles Hancock  
**Sent:** Friday, January 05, 2018 7:41 AM  
**To:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>  
**Cc:** Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>  
**Subject:** RE: Animal Shelter Replacement - 12 Airport Blvd.

Good morning,

I'm available to meet at 10:30 this morning if that works.

Miles

---

**From:** Robert Hennessy  
**Sent:** Thursday, January 04, 2018 5:08 PM  
**To:** Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>  
**Cc:** Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>  
**Subject:** FW: Animal Shelter Replacement - 12 Airport Blvd.

Hi Miles,

I just spoke with Debbie and she would like to meet tomorrow, Jan. 5<sup>th</sup> if at all possible.

If tomorrow works, please let us know what time will work best with your schedule.

I apologize for the short notice, but there is considerable concern regarding the existing utilities, gas, electrical and other Building Code deficiencies at the facility and their potential impact on safety, costs, liability and the project delivery schedule.

Let me know if tomorrow works for you.

Thank you,

Bob

## Emergency Conference Call

**Brendan Corbett**

---

**To:** Robert Hennessy; Miles Hancock; Daniel Hoff; Tim O'Brien; Deborah Bazan; Sam Lin  
**Subject:** RE: Animal Shelter - Existing Gas Service

-----Original Appointment-----

**From:** Robert Hennessy [mailto:[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)]

**Sent:** Wednesday, January 03, 2018 2:24 PM

**To:** Robert Hennessy; Miles Hancock; Daniel Hoff; Tim O'Brien; Brendan Corbett; Deborah Bazan; Sam Lin

**Subject:** Animal Shelter - Existing Gas Service

**When:** Thursday, January 04, 2018 1:00 PM-2:00 PM (UTC-08:00) Pacific Time (US & Canada).

**Where:** 12 Airport Blvd. San Mateo

The meeting will be held at the Animal Shelter site to review the current status of the existing gas line.

Should you have any questions, please contact me at 925-997-2956.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
1402 Maple Street  
Redwood City, CA 94063  
925-997-2956 C  
[www.smcpdu.org](http://www.smcpdu.org)

## Post Emergency Conference Call Emails

**Brendan Corbett**

---

**From:** Daniel Hoff  
**Sent:** Tuesday, January 09, 2018 3:17 PM  
**To:** Miles Hancock; Robert Hennessy  
**Cc:** Sam Lin; Deborah Bazan; Tim O'Brien; Brendan Corbett; Stephen Seibly  
**Subject:** RE: Animal Shelter - Existing Gas Service  
**Attachments:** Temp Gas P100.pdf; SMAS Temp NG - Existing Building.pdf; SMAS Current NG - New Building.pdf; PGE Temp Service Map (REV 3 1.8.2018).pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** San Mateo

Team,

Attached are the following documents:

1. Temporary Gas Piping for Existing Facility – Plan Check Drawing
2. NG Load for Existing Building
3. NG Load New Building
4. PGE and Site Utilities Service Map (Gas) Revision 3

Representative from FMB will be available via conference call during our meeting tomorrow. If there are any questions prior to our meeting, please feel free to contact me anytime.

Thanks,

**Daniel Hoff** / *LEED AP BD+C*

(209) 931-3738 **PHONE**

(209) 269-6327 **MOBILE**

(209) 931-4427 **FAX**

[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



1115 East Lockeford Street, Lodi, CA 95240

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---

**From:** Miles Hancock [mailto:[mhancock@smcgov.org](mailto:mhancock@smcgov.org)]  
**Sent:** Tuesday, January 09, 2018 11:49 AM  
**To:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>  
**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter - Existing Gas Service

Hi Bob,

I'm waiting for the planner that deals with drainage to get into the office in order to discuss the retention basin criteria. I will try to have some information on it for tomorrow's meeting.

Regards,

Miles

---

**From:** Robert Hennessy  
**Sent:** Tuesday, January 09, 2018 11:36 AM  
**To:** Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>  
**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter - Existing Gas Service

Hi Miles,

OK, see you tomorrow at 11:00 AM.

Also, were you able to look into the issue regarding an added retention basin as requested by DPW?

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

**Project Development Unit**  
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Redwood City, CA 94063  
925-997-2956 C  
[www.smcpcdu.org](http://www.smcpcdu.org)

---

**From:** Miles Hancock  
**Sent:** Tuesday, January 09, 2018 11:02 AM  
**To:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>  
**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter - Existing Gas Service

Hi Bob,

I can meet at 11 tomorrow.

Regards,

Miles

---

**From:** Robert Hennessy

**Sent:** Tuesday, January 09, 2018 10:41 AM

**To:** Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>

**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter - Existing Gas Service

Hi Miles,

I just spoke with Daniel (F&H Construction) and they will have the proposed gas service layout (by Frank Booth) and planned installation schedule ready to review by tomorrow.

Would you be available to meet with the Team tomorrow, Wed. Jan. 10th at 11:00 AM at the PDU Office? Please let me know and I will coordinate with the Team.

Thank you,

Bob

**Robert J. Hennessy PE**

Senior Project Manager

(Independent Contractor)

[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

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---

**From:** Miles Hancock

**Sent:** Monday, January 08, 2018 2:55 PM

**To:** Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>

**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter - Existing Gas Service

Good afternoon,

I can meet tomorrow afternoon at 1:30 if that works. I also have Wednesday available. Did anyone let F&H know that we aren't in such an urgent scenario as we thought?

Regards,

Miles

---

**From:** Deborah Bazan  
**Sent:** Monday, January 08, 2018 1:56 PM  
**To:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>; Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>  
**Cc:** Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter - Existing Gas Service

Thank you. Please schedule for a time that works for you and team and if I can attend I will, but I don't want you limited by my availability.

Debbie

---

**From:** Robert Hennessy  
**Sent:** Monday, January 08, 2018 1:25 PM  
**To:** Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>  
**Cc:** Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** Animal Shelter - Existing Gas Service

Hi Miles,

I spoke with Daniel (F&H Construction) today and they have been in contact with Frank Booth regarding the proposed plan to deal with the existing gas service at the Animal Shelter. They expect to receive the final plan from Frank Booth later today and will schedule a meeting, perhaps as soon as tomorrow. To plan ahead, are you available tomorrow and if so, what time would work best for you? Please advise.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

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[www.smcpcdu.org](http://www.smcpcdu.org)

---

**From:** Robert Hennessy  
**Sent:** Friday, January 05, 2018 2:37 PM  
**To:** Miles Hancock <[mhancock@smcgov.org](mailto:mhancock@smcgov.org)>  
**Cc:** Deborah Bazan <[dbazan@smcgov.org](mailto:dbazan@smcgov.org)>; Sam Lin <[slin@smcgov.org](mailto:slin@smcgov.org)>  
**Subject:** FW: SMCAS Site Photos, 1974 and 1982.pdf

Hi Miles,

The GC & Team did further research and determined from aerial photos that a large expansion to the Animal Shelter took place between 1974 and 1982.

Their findings also discovered that the plans for the addition were dated 1980.

Hope this additional information is of help.

Thank you,

Bob

**Robert J. Hennessy PE**  
Senior Project Manager  
(Independent Contractor)  
[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)

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---

**From:** Daniel Hoff [<mailto:dhoff@f-hconst.com>]  
**Sent:** Friday, January 05, 2018 2:16 PM  
**To:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:c_rhennessy@smcgov.org)>  
**Cc:** Tim O'Brien <[tobrien@f-hconst.com](mailto:tobrien@f-hconst.com)>; Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>; Stephen Seibly <[sseibly@f-hconst.com](mailto:sseibly@f-hconst.com)>  
**Subject:** SMCAS Site Photos, 1974 and 1982.pdf

Hey Bob,

Just as a reference attached are two photos that show a large expansion done between 1974 and 1982.

Thanks,

**Daniel Hoff** / *LEED AP BD+C*

(209) 931-3738 **PHONE**  
(209) 269-6327 **MOBILE**  
(209) 931-4427 **FAX**  
[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)



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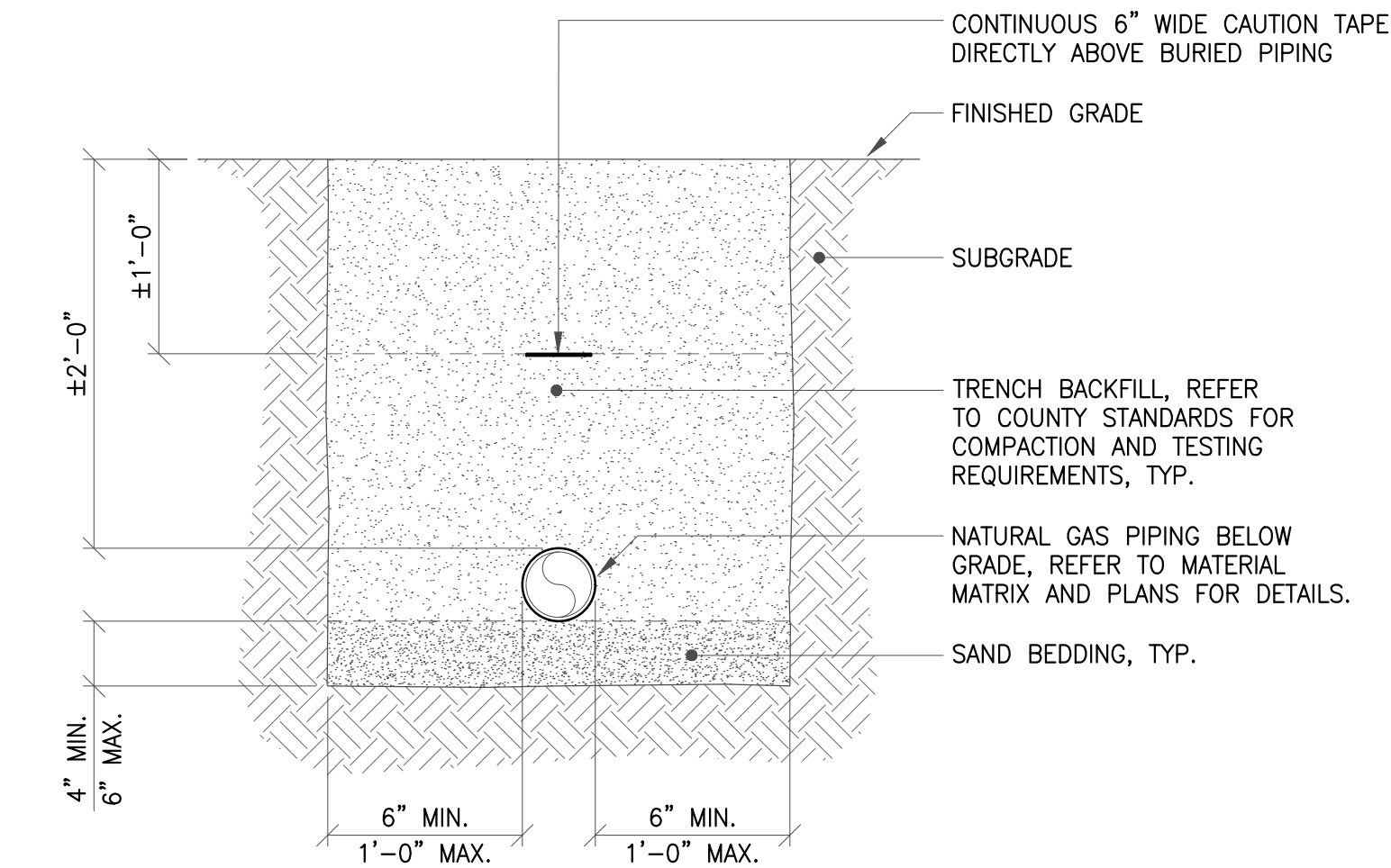




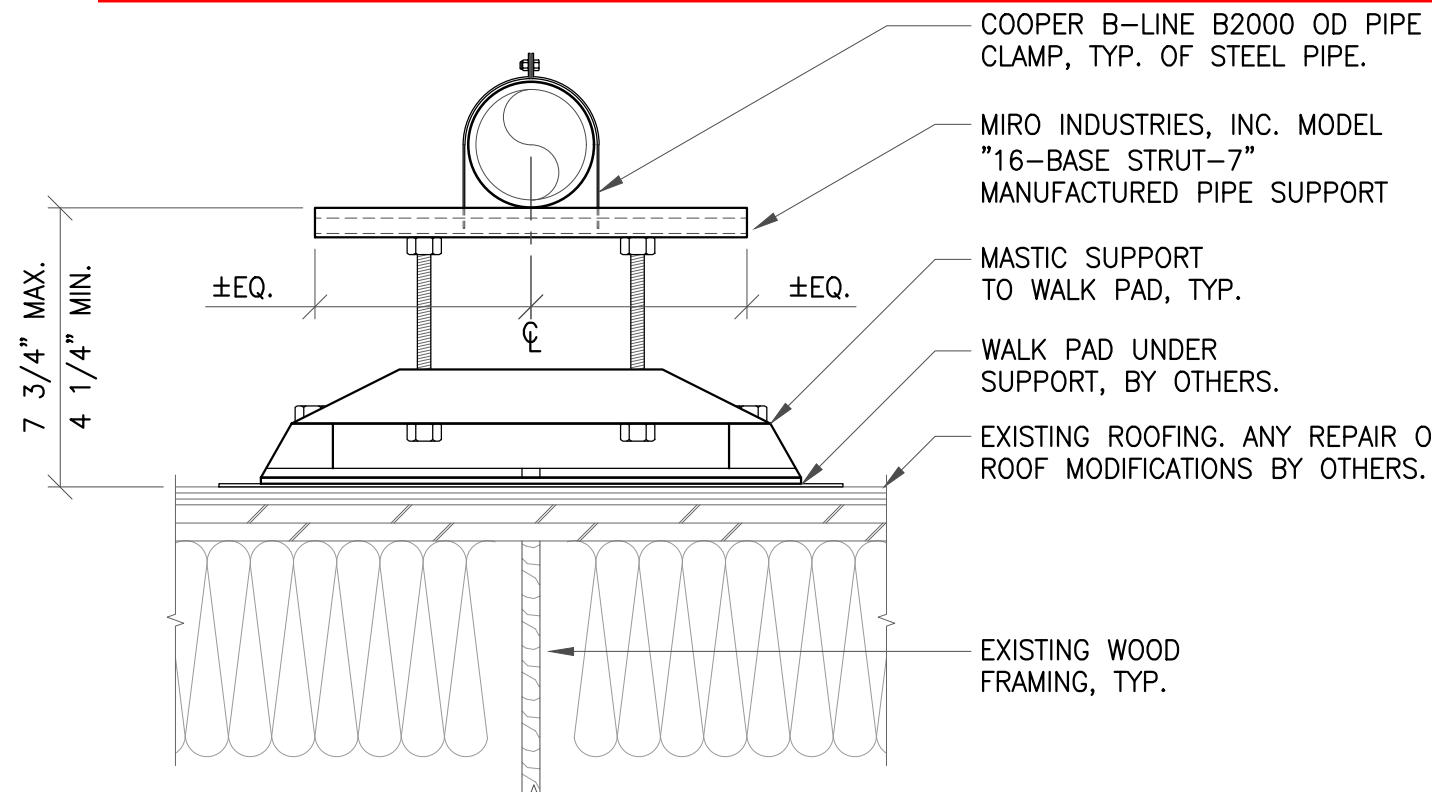




Developed per 1.4.2018 Emergency Conference Call, has since been modified for cost savings



**A PIPE TRENCH DETAIL**  
TYPICAL OF NATURAL GAS PIPING BELOW GRADE NOT TO SCALE



**B PIPE SUPPORT DETAIL**  
TYPICAL OF ROOF TOP PIPING NOT TO SCALE

**NOTES:**

1. MAXIMUM LOAD PER SUPPORT NOT TO EXCEED 200 LBS.
2. MAXIMUM SUPPORT SPACING SHALL NOT EXCEED 6 FEET ON CENTER FOR PIPE SIZES 1" AND UNDER, 10 FEET ON CENTER MAXIMUM SUPPORT SPACING FOR PIPE SIZES ABOVE 1".
3. CENTER PIPING ON SUPPORT TO EVENLY DISTRIBUTE WEIGHT.
4. COOPER B-LINE DURA-BLOCK ROOF SUPPORT OR EQUAL ACCEPTABLE.

### SHEET NOTES:

1. EXISTING PG&E MAIN, PRV AND METER. NOT IN PLUMBING SCOPE OF WORK.
2. 4" POINT OF CONNECTION TO EXISTING METER FOR LOW PRESSURE GAS DISTRIBUTION PIPING AT 7"WC. PURGE EXISTING LOW PRESSURE GAS MAIN, REMOVE PORTION OF EXISTING PIPING FOR NEW INSTALLATION AND ABANDON THE REMAINDER IN PLACE.
3. NEW PIPE TRENCH, ROUTE NEW GAS PIPING TO AVOID EXISTING OBSTRUCTIONS. ACCEPTABLE TO ROUTE UNDERGROUND STRAIGHT TO PIPE RISE TO ROOF AND ROUTE AS SHOWN.
4. VERIFY POINT OF CONNECTION PIPE SIZE, REDUCE AS NECESSARY. IF EXISTING PIPE SIZE IS LARGER THAN SIZE LISTED, USE THE LARGER OF THE TWO BACK TO THE MAIN.

### GENERAL NOTES:

1. ITEM NUMBERS SHOWN CORRESPOND TO THE ITEM NUMBER AND DESCRIPTION LISTED IN THE NATURAL GAS SIZING SCHEDULE.
2. EQUIPMENT SHOWN BOLD AND SHADED INDICATE EQUIPMENT SERVED BY NATURAL GAS LOCATED ON THE ROOF.
3. EQUIPMENT SHOWN WITH A DASHED LINE INDICATE EQUIPMENT SERVED BY NATURAL GAS LOCATED BELOW THE ROOF.

### PLUMBING SCOPE

- PLUMBING SCOPE:**
- REPLACE EXISTING NATURAL GAS PIPING MAINS TO THE EXISTING ANIMAL SERVICE FACILITY WITH NEW ROOF TOP PIPING WHILE THE NEW FACILITY IS IN CONSTRUCTION.
- PROCEDURE FOR CONSTRUCTION:**
1. FIELD VERIFY INFORMATION CONTAINED WITHIN THESE PLANS BEFORE BEGINNING CONSTRUCTION.
  2. COORDINATE ANY MECHANICAL OR PLUMBING EQUIPMENT SHUTDOWNS WITH THE FACILITY MANAGER BEFORE COMMENCING ANY CONSTRUCTION.
  3. WHERE EXISTING PIPING CONTAINING GAS IS TO BE REMOVED, THE PIPING SHALL BE DISCONNECTED FROM SOURCES OF GAS AND THOROUGHLY PURGED WITH AIR, WATER, OR INERT GAS BEFORE CUTTING OR WELDING IS PERFORMED.

### GENERAL NOTES

1. ALL NEW WORK SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA BUILDING ADMINISTRATIVE, 2016 CALIFORNIA REFERENCE STANDARDS CODE, 2016 GREEN BUILDING STANDARDS CODE (CALgreen) WITH AMENDMENTS, 2016 CALIFORNIA ENERGY CODE, 2016 FIRE CODE WITH LOCAL AMENDMENTS AND APPLICABLE NFPA STANDARDS, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA ELECTRICAL CODE, AMERICAN WITH DISABILITIES ACT (ADA), SPECIFICATIONS, LOCAL ORDINANCES, AND INDUSTRY STANDARDS.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH IAPMO INSTALLATION STANDARDS.
3. REFER TO THE GEOTECHNICAL REPORT FOR SPECIFIC TRENCHING, BACKFILL, COMPACTION, AND PIPE PROTECTION FOR UNDERGROUND PLUMBING SYSTEMS.
4. COORDINATE LOCATIONS OF ALL ROOF OPENINGS WITH STRUCTURAL AND ARCHITECTURAL PLANS PRIOR TO INSTALLATION IF APPLICABLE.
5. PURGE OUTDOOR NATURAL GAS SYSTEM PER CALIFORNIA PLUMBING CODE SECTIONS 1213.6.1.1 THROUGH 1213.6.1.4.
6. INFORMATION CONTAINED WITHIN THESE PLANS IS BASED ON FIELD SITE VISIT DATA. NO AS BUILT DATA AVAILABLE FOR VERIFICATION. VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES TO THE MECHANICAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

### PLUMBING PIPE MATERIAL MATRIX

ID	SYSTEM	PIPE SIZE	MATERIAL	JOINT TYPE	INSULATION
LPG	NATURAL GAS (LOW PRESSURE)	1/2"-2"	STANDARD WEIGHT BLACK ERW THREADED AND COUPLED ASTM A53, GRADE A	150 MALLEABLE IRON, SCREWED, BANDED FITTINGS	N/A
LPG	NATURAL GAS (LOW PRESSURE)	2-1/2"-4"	STANDARD WEIGHT BLACK ERW ENDS BEVELED FOR WELDING ASTM A53, GRADE A	STANDARD WEIGHT BUTT WELDING, ASTM A234 AND ANSI B16.9 OR 3000 LB. SOCKET WELD FITTINGS.	N/A
LPG	NATURAL GAS (LOW PRESSURE, BELOW GRADE)	2-1/2"-4"	EPOXY COATED SCH. 40 BLACK ERW ENDS BEVELED FOR WELDING ASTM A53, GRADE A	STANDARD WEIGHT BUTT WELDING, ASTM A234 AND ANSI B16.9 OR 3000 LB. SOCKET WELD FITTINGS.	N/A

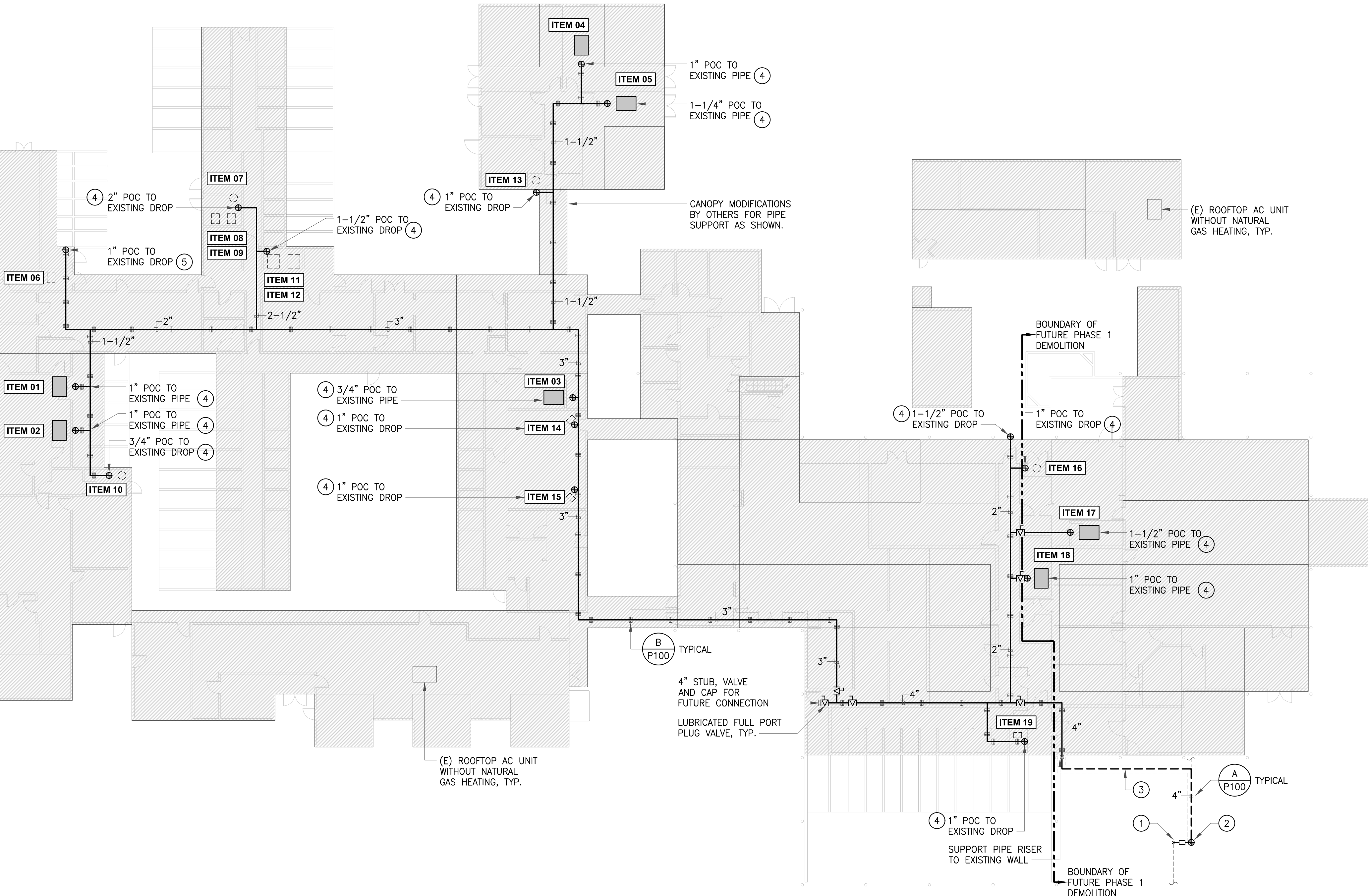
- SCHEDULE NOTES:**
1. OUTDOOR PIPING SHALL BE PAINTED FOR CORROSION PROTECTION, BY OTHERS.
  2. ENCASE BELOW GRADE STEEL FITTINGS AND BARE STEEL PIPING IN 8-MIL POLYETHYLENE PER AWWA C-105.

### CPC NATURAL GAS SIZING

BASIC INFORMATION:				
GAS DEMANDS AND ASSOCIATED DEVELOPED LENGTHS:				
ITEM NO.	APPLIANCE:	BTUH INPUT:	CFH:	DEVELOPED LENGTH FROM METER:
01	AC UNIT	80,000	80.0	445'-0"
02	AC UNIT	80,000	80.0	455'-0"
03	AC UNIT	40,000	40.0	285'-0"
04	AC UNIT	60,000	60.0	385'-0"
05	AC UNIT	95,000	95.0	380'-0"
06**	FURNACE	80,000	80.0	465'-0"
07	WATER HEATER	199,000	199.0	435'-0"
08**	FURNACE	80,000	80.0	440'-0"
09**	FURNACE	100,000	100.0	445'-0"
10	WATER HEATER	40,000	40.0	480'-0" FURTHEST FROM METER
11	DRYER	120,000	120.0	325'-0"
12	DRYER	120,000	120.0	330'-0"
13	WATER HEATER	75,100	75.1	365'-0"
14**	GAS HEATER	60,000	60.0	325'-0"
15**	GAS HEATER	60,000	60.0	310'-0"
16	WATER HEATER	76,000	76.0	180'-0"
17	FURNACE	250,000	250.0	160'-0"
18	AC UNIT	45,000	45.0	135'-0"
19	WATER HEATER	45,000	45.0	100'-0"
SUBTOTAL:		1,325,100	1,325.1	
SUBTOTAL:**		380,000	380.0	
ALLOWANCE (±18%):		309,900	309.9	
TOTALS:		2,015,000	2,015.0	

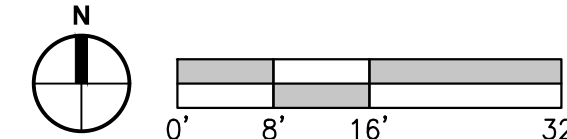
LOW PRESSURE GAS PIPE SIZING FROM GAS PRESSURE REGULATOR									
CPC CHAPTER 12 TABLE 1216.2(1) GAS PRESSURE 7.0" WC DEVELOPED LENGTH 500'-0"									
PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"
CFH ALLOWED	21	43	82	168	251	484	771	1,360	2,780

- SCHEDULE NOTES:**
- \*\* ITEM NUMBERS WITH THE DOUBLE ASTERISK SUFFIX DID NOT HAVE SUFFICIENT ACCESS TO ACQUIRE THE EXISTING NAME PLATE DATA. CAPACITIES LISTED ARE ESTIMATES BASED ON PHYSICAL EQUIPMENT SIZE, EXISTING EQUIPMENT MAKE/MODEL SIZE OPTIONS, AND BUILDING TYPE.
1. FOR SIZING PURPOSES CUBIC FEET PER HOUR EQUALS 1,000 BRITISH THERMAL UNITS PER HOUR (CFH = MBH).
2. ABOVE TABLES BASED ON CHAPTER 12 OF THE CALIFORNIA PLUMBING CODE FOR SCHEDULE 40 METALLIC PIPING.
3. STANDARD WEIGHT AND SCHEDULE 40 PIPING WALL THICKNESS AND DIMENSIONAL DATA ARE THE SAME FOR PIPE SIZES 1/2" THROUGH 10".
4. ALLOWANCE FACTOR LISTED ABOVE IS A SAFETY FACTOR APPLIED DUE TO MULTIPLE RENOVATIONS WITHOUT AVAILABLE AS BUILT INFORMATION.
5. EQUIPMENT INPUT CAPACITIES ARE DIRECTLY OFF NAMEPLATE DATA WHEN AVAILABLE.



**1 EXISTING FACILITY TEMPORARY NATURAL GAS PIPING PLAN**

SCALE: 1/16" = 1'-0"



F&H CONSTRUCTION  
Spaces for life

General Contractor:  
**F&H Construction**  
General Contractors  
1115 East Lockeford Street  
Lodi, CA 95240  
209.931.3738  
www.f-hconst.com



QUALITY PERFORMANCE. BUILDING RELATIONSHIPS.  
Mechanical Engineers:  
**Frank M. Booth, Inc.**  
Mech/Plumb Design Build  
4225 Douglas Blvd.  
Granite Bay, CA 95746  
916.784.0777  
www.frankbooth.com



Client:

**COUNTY OF SAN MATEO**  
**Dept of Public Works**  
555 County Center - Fifth Floor  
Redwood City, CA 94063  
650.363.4100

Project:

**ANIMAL SHELTER TEMPORARY NATURAL GAS PIPING**  
12 Airport Blvd  
San Mateo, CA

Project No.: FMB No. 1704

Drawn By: JM

Checked By: DP

No. Description Date By

01/09/2018  
FOR PLAN CHECK

TEMPORARY NATURAL GAS  
PIPING PLAN AND NOTES

**P100**



## Extra Underground Gas Piping



12893 Alcosta Blvd., Suite K  
San Ramon, CA 94583  
P: 925.307.6224  
License #990872

February 15, 2018

Dan Whaley  
Engineer/Estimator  
MBS Engineering  
[dan@MBS.Engineering](mailto:dan@MBS.Engineering)

**TO:** Daniel Hoff  
F&H Construction, Inc  
1115 East Lockeford Street  
Lodi, CA 95240

**RE: San Mateo Animal Shelter  
Underground Natural Gas Line Installation**

---

MBS Engineering, Inc. (MBS) has reviewed the drawings sent by F&H Construction regarding the new installation of underground natural gas lines for the San Mateo Animal Shelter. We are pleased to provide the following proposal:

### **SCOPE OF WORK:**

Installation of new, underground natural gas line for the San Mateo Animal Shelter. MBS Engineering will provide safety procedures and materials as detailed below, cutting and removal of asphalt and concrete, vacuum excavation to create new gas line trench, and furnishing and installing of new 2" & 1.25" underground medium-density polyethylene gas pipelines as specified for temporary service line to existing animal shelter and permanent gas service for new facility. MDPE Poly pipe will be Performance Pipe brand rated for underground use for natural gas. MBS will also install 2" seismic gas shut-off valve, manual shut-off valves specified, backfill trench with new sand and soil, and replace all concrete, asphalt and grass to match existing.



12893 Alcosta Blvd., Suite K  
San Ramon, CA 94583  
Office: (925) 907-6224  
Fax: (925) 365-1618  
License: #990872  
CA Small Business Certification 2003043

**DESCRIPTION OF JOB SERVICES:**

**Utility Locating**

- a. No utility locating service provided in this quote. It is assumed existing underground utilities will be marked accurately in order not to disturb during excavation.

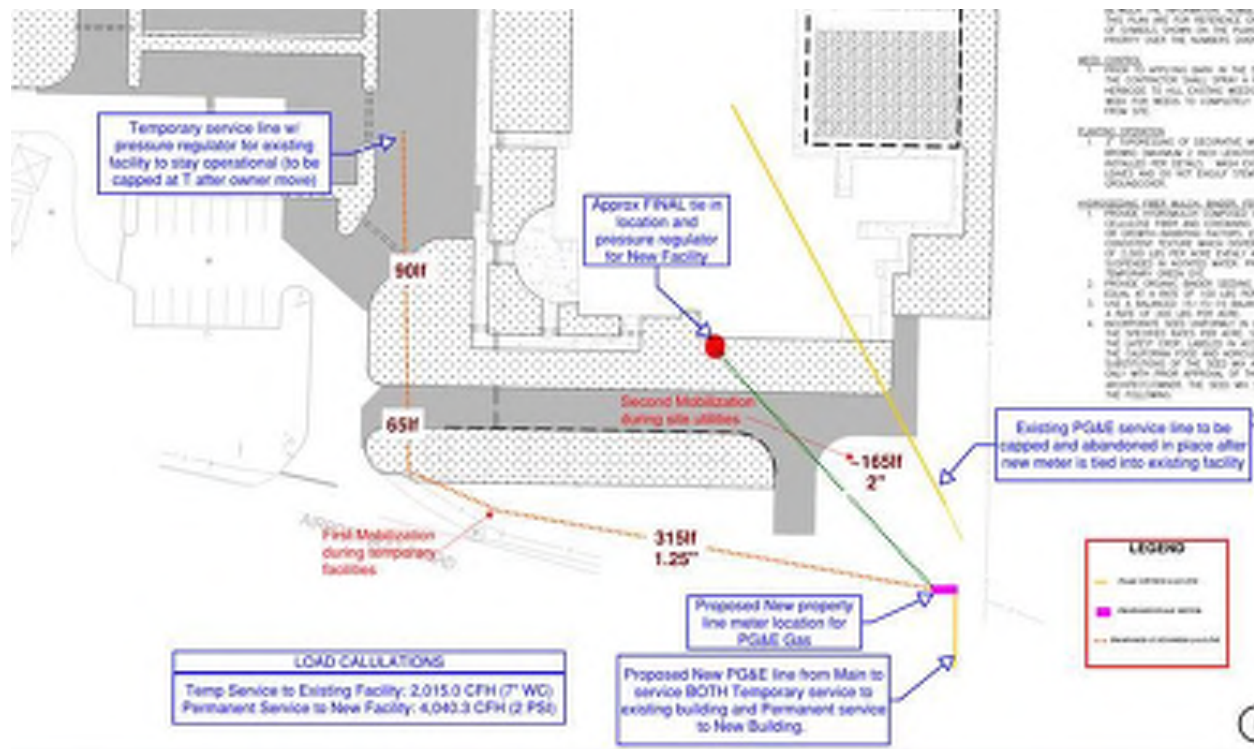
**Safety**

- a. MBS to provide a safety barrier around all trenches and construction sites.
- b. Safety barrier will include the use of a set of layered cones, delineators, and safety barriers. Cones will be used on the outside of the gas line trench with delineators inside of these cones running the length of the trench. Caution tape will be strung on delineators down the length of the trench.
- c. Plywood will be used to cover open trenches daily. Any open trenches that are not being worked on will be covered with plywood and have safety barriers on each side of the plywood.
- d. Traffic will be blocked from entering areas where open gas trench crosses road.
- e. Equipment Required: Safety Delineators, Caution Tape, Safety Cones, Safety Barriers and Plywood

**Demolition**

- a. MBS to provide excavation services for new gas line trench.
- b. Trench depth to be 34" and cover the approximately 635 LF of new underground gas pipeline.
- c. MBS is proposing new gas line to follow path as detailed below on Page 3.
- d. Demolition includes the removal of asphalt along the route of the new gas pipeline. This includes approximately 180 square feet of asphalt removal and disposal.
- e. Excavation estimated to be completed in a total of (4) working days. Asphalt and concrete removal to be completed in (1.5) working days.
- f. Equipment Required: Concrete/Asphalt Saw, Mini Excavator (10,000-11,499 lbs), Skid Steer Loader (1700-1899 lbs), 10-14 Yard Dump Truck, Digging Tools, Hand Tools, MBS F-550 & F-350 Series Utility Trucks, 90 lbs. pneumatic Jack Hammer and asphalt/concrete cutter tools, 185 CFM 49 HP Air Compressor, Trailblazer 325 Welder/Generator.





### Seismic Shut-Off Valve Installation

- MBS to furnish and install 2" Flanged Seismic Shut-Off Valve, downstream of PG&E Gas Meter. Complete with (2) Cut and welds, (2) 150lb flange kits, and (2) gasket and bolt kits.
- PG&E Certified Pipe Welders
- Design outlet side of the gas system to allow for the installation of a Seismic Valve.
- Insure work does not interfere with Gas Utility Meter.
- Pipe Cutting, pipe welding, pipe threading and bolting flange kits to gas system.
- Inspect all components of meter set for gas leaks.
- Equipment Required: MBS F-550 Series Utility Truck, Hand Tools, Trailblazer 325 Welder/Generator, Welding Tools
- Seismic shut-off valve installation estimated to be completed in 0.25 working days.

### **Underground Pipe Installation – Temporary Gas Line to Existing Facility (1.25")**

- a. MBS to furnish and install approximately 470 LF of new, underground MDPE natural gas piping.
- b. Installation of (1) 1.25" Plug Valve (manual shut-off valve), including all 1.25" mechanical, galvanized fittings to tie into utility gas meter set.
- c. Installation (1) 1.25" Anodeless Poly to Steel transition riser using (1) electrofusion weld.
- d. Installation of 315 LF of 1.25" underground MDPE gas piping for first mobilization, complete with (2) electrofusion welds.
- e. Installation of remaining 155 LF of 1.25" underground MDPE gas piping complete with (2) electrofusion welds.
- f. Installation of (1) Anodeless Poly to Steel transition riser using (1) electrofusion weld.
- g. Installation of (1) 1.25" Plug Valve (manual shut-off valve), attached to transition riser. Includes all 1.25" mechanical fittings needed to make connection.
- h. Connection to existing gas regulator at existing facility. All mechanical, galvanized fittings required to make connection (includes bell reducers to match 1.5" regulator size).
- i. All MDPE electrofusion welds performed by PG&E PGE21-08 certified pipe welders to utility procedures.
- j. Tracer wire to be furnished and installed on all new gas lines.
- k. New 1.25" gas line and all components to be completed in a total of (2) working days.
- g. Equipment Required: MBS F-350 series and F-550 series Utility Truck, IntegriFuse Electrofusion Processor, Hand Tools, Trailblazer 325 Welder/Generator, 185 CFM 49 HP Air Compressor

### **Underground Pipe Installation – Permanent Gas Line to New Facility (2")**

- a. MBS to furnish and install approximately 165 LF of new, underground MDPE natural gas piping.
- b. Installation of (1) 2" Plug Valve (manual shut-off valve), including all 2" mechanical, galvanized fittings to tie into utility gas meter set.
- c. Installation (1) 2" Anodeless Poly to Steel transition riser using (1) electrofusion weld.
- d. Installation of 165 LF of 2" underground MDPE gas piping for second mobilization, complete with (2) electrofusion welds.
- e. Installation of (1) Anodeless Poly to Steel transition riser using (1) electrofusion weld.
- f. Installation of (1) 2" Plug Valve (manual shut-off valve), attached to transition riser. Includes all 2" mechanical fittings needed to make connection.

- g. Connection to new building POC. All mechanical, galvanized fittings required to make connection.
- h. All MDPE electrofusion welds performed by PG&E PGE21-08 certified pipe welders to utility procedures.
- i. Tracer wire to be furnished and installed on all new gas lines.
- j. New 2" gas line and all components to be completed in a total of (2) working days.
- k. Equipment Required: MBS F-350 series and F-550 series Utility Truck, IntegriFuse Electrofusion Processor, Hand Tools, Trailblazer 325 Welder/Generator, 185 CFM 49 HP Air Compressor

#### **Pressure and Leak Testing**

- a. Newly installed gas line to be pressure tested to 60# for 4 hours. Line will be pressurized using air compressor.
- b. During pressure test all fittings, couplings, pipeline and points of connection will be tested for leaks.
- c. Equipment Required: MBS F-350 series and F-550 series Utility Trucks, Hand Tools, Trailblazer 325 Welder/Generator, 185 CFM 49 HP Air Compressor, and Pressure Manifold and Gauge

#### **Backfill**

- a. MBS to backfill gas trench using new sand and soil.
- b. Sand to cover and fill all voids and provide cover 12" of cover above gas line.
- c. Buried Gas Line Tape (670 LF) to be installed on top of newly placed sand.
- d. Native soil to be used to fill remaining trench void. Soil will be tampered to 90% compaction.
- e. Approximately 180 square feet of new asphalt replacement to match existing.
- f. Grass replacement for all areas trenched with new grass to match existing.
- g. Remove safety barriers and plywood trench covers.
- h. Backfill estimated to be completed in a total of (4) working days.
- i. Equipment Required: MBS F-350 series and F-550 series Utility Trucks, 185 CFM 49 HP Air Compressor, Hand Tools, 30 lbs. Pneumatic Backfill Tamper, Trailblazer 325 Welder/Generator

**ASSUMPTIONS, CLARIFICATIONS, AND EXCLUSIONS:**

- a. Drawings are excluded.
- b. Permits, fees, and bonds are excluded.
- c. Replacing corroded, rusted or damaged pipe is excluded.
- d. Work to be performed during regular working hours (7:00 A.M. to 4:00 P.M.) Overtime and night working hours are excluded and will be billed at an additional cost if necessary.
- e. Mobilization and de-mobilization charges built in to account for piping being installed in sections.
- f. The natural gas systems will be shut down and the gas appliances must be turned off.
- g. It will be each site's responsibility to relight gas appliances.
- h. MBS is not responsible for any leaks upstream or downstream of our work.
- i. MBS is not responsible for any gas appliance(s) that will not relight after shutdown.

**APPLICABLE LAW:**

This contract shall be governed by the laws of Fresno County, The State of California, and any applicable Federal Law.

**INSURANCE:**

A current insurance certificate for MBS will be on file with California State University, Fresno and will be listed as additional insured.



**MBS PRODUCT AND SERVICE QUOTE:**

<b>Service Location</b>	San Mateo Animal Shelter	<b>Contact</b>	Daniel Hoff
<b>Address</b>	12 Airport Blvd	<b>Title</b>	
<b>City/State/Zip</b>	San Mateo, CA 94401	<b>Number</b>	(209) 269-6327
<b>Access Number</b>	(209)269-6327	<b>Email</b>	dhoff@f-hconst.com
	<b>DESCRIPTION</b>		<b>COST</b>
	<b>Safety</b>	<b>Sub-Total</b>	<b>\$ 7,487.50</b>
	<b>Demolition – Saw-Cutting and Removal of Asphalt</b>	<b>Sub-Total</b>	<b>\$ 8,973.00</b>
	<b>Demolition – Excavation of Gas Trench</b>	<b>Sub-Total</b>	<b>\$ 39,332.50</b>
	<b>Seismic Shut-Off Valve Installation</b>	<b>Sub-Total</b>	<b>\$ 2,387.00</b>
	<b>Underground Pipe Installation – Temporary Gas Line to Existing Facility (1.25")</b>	<b>Sub-Total</b>	<b>\$ 20,596.50</b>
	<b>Underground Pipe Installation – Permanent Gas Line to New Facility (2")</b>	<b>Sub-Total</b>	<b>\$ 11,089.23</b>
	<b>Pressure and Leak Testing</b>	<b>Sub-Total</b>	<b>\$ 7,912.00</b>
	<b>Backfill - Sand, Soil, Compaction, Asphalt/Grass Replacement</b>	<b>Sub-Total</b>	<b>\$ 29,207.50</b>
<b>Payment Terms: 50% due upon 50% completion with remaining payment due within 5 days of completion.</b>		<b>TOTAL</b>	<b>\$ 126,985.23</b>

**AUTHORIZATION:**

Please sign below that you agree to the terms of service provided in this quote.

**Signature:** \_\_\_\_\_

**Print Name:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**P.O. Number:** \_\_\_\_\_

***This offer expires 30 days from date on proposal***

***Thank you for this opportunity.***



**12893 Alcosta Blvd., Suite K**

**San Ramon, CA 94583**

**Office: (925) 907-6224**

**Fax: (925) 365-1618**

**License: #990872**

**CA Small Business Certification 2003043**



FMB Schematic for Roof Piping  
\$84,000 total



F&H CONSTRUCTION  
Spaces for life

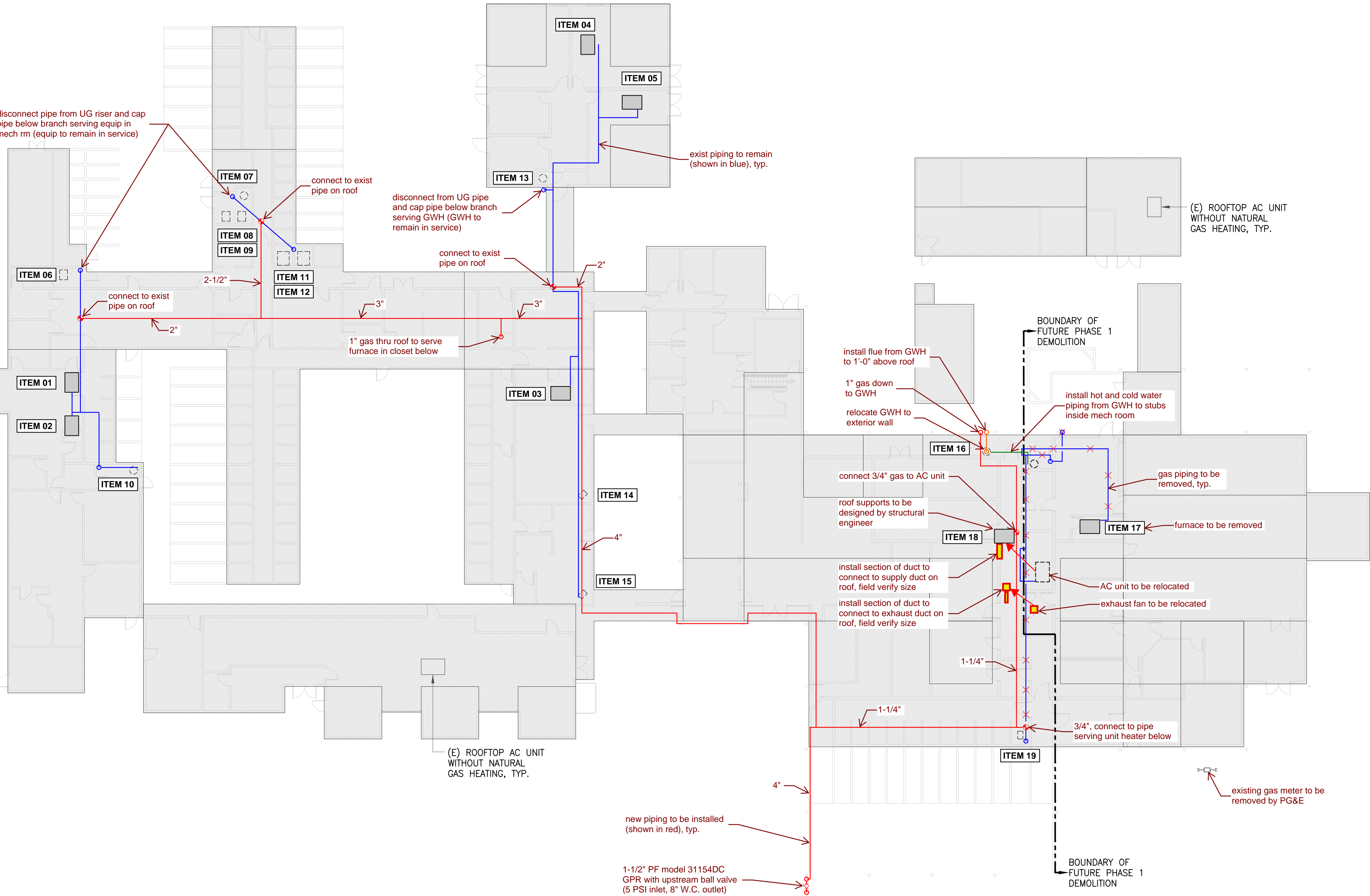
General Contractor:  
F&H Construction  
General Contractors  
1115 East Lockeford Street  
Lodi, CA 95240  
209.931.3738  
www.f-hconst.com



Mechanical Engineers:  
Frank M. Booth, Inc.  
Mech/Plumb Design Build  
4220 Douglas Blvd.  
Granite Bay, CA 95746  
916.784.0777  
www.frankbooth.com

Client:  
COUNTY OF SAN MATEO  
Dept of Public Works  
  
555 County Center - Fifth Floor  
Redwood City, CA 94063  
650.363.4100

Project:  
ANIMAL SHELTER TEMPORARY  
NATURAL GAS PIPING  
12 Airport Blvd  
San Mateo, CA



CPC NATURAL GAS SIZING

BASIC INFORMATION:				
GAS DEMANDS AND ASSOCIATED DEVELOPED LENGTHS:				
ITEM NO.	APPLIANCE:	BTUH INPUT:	CFH:	DEVELOPED LENGTH FROM METER:
01	AC UNIT	80,000	80.0	445'-0"
02	AC UNIT	80,000	80.0	455'-0"
03	AC UNIT	40,000	40.0	285'-0"
04	AC UNIT	60,000	60.0	385'-0"
05	AC UNIT	95,000	95.0	380'-0"
06**	FURNACE	80,000	80.0	465'-0"
07	WATER HEATER	199,000	199.0	435'-0"
08**	FURNACE	80,000	80.0	440'-0"
09**	FURNACE	100,000	100.0	445'-0"
10	WATER HEATER	40,000	40.0	480'-0" FURTHEST FROM METER
11	DRYER	120,000	120.0	325'-0"
12	DRYER	120,000	120.0	330'-0"
13	WATER HEATER	75,100	75.1	365'-0"
14**	GAS HEATER	60,000	60.0	325'-0"
15**	GAS HEATER	60,000	60.0	310'-0"
16	WATER HEATER	76,000	76.0	180'-0"
17	FURNACE	250,000	250.0	160'-0" ← furnace being removed
18	AC UNIT	45,000	45.0	135'-0"
19	WATER HEATER	45,000	45.0	100'-0"

LOW PRESSURE GAS PIPE SIZING FROM GAS PRESSURE REGULATOR									
CPC CHAPTER 12 TABLE 1216.2(1) GAS PRESSURE 7.0" W.C. DEVELOPED LENGTH 500'-0"									
PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"
CFH ALLOWED	21	43	82	168	251	484	771	1,360	2,780

SCHEDULE NOTES:  
\*\* ITEM NUMBERS WITH THE DOUBLE ASTERISK SUFFIX DID NOT HAVE SUFFICIENT ACCESS TO ACQUIRE THE EXISTING NAME PLATE DATA. CAPACITIES LISTED ARE ESTIMATES BASED ON PHYSICAL EQUIPMENT SIZE, EXISTING EQUIPMENT MAKE/MODEL SIZE OPTIONS, AND BUILDING TYPE.  
1. FOR SIZING PURPOSES CUBIC FEET PER HOUR EQUALS 1,000 BRITISH THERMAL UNITS PER HOUR (CFH = MBH).  
2. ABOVE TABLES BASED ON CHAPTER 12 OF THE CALIFORNIA PLUMBING CODE FOR SCHEDULE 40 METALLIC PIPING.

Project No.: FMB No. 1704  
Drawn By:  
Checked By:

No. Description Date By

01/09/2018  
FOR PLAN CHECK

TEMPORARY NATURAL GAS  
PIPING PLAN





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 10**

**Date: 4/23/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Unforeseen Condition - Storm Drain System and Dog Yard Contamination

8011 COR 8011 - Unforeseen Condition - Storm Drain System and Dog Yard Contamination \$44,729.87

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$44,729.87

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

Assistant Director

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,020,879.97
The Contract Amount prior to this Change Order was	\$20,720,076.97
The Contract will be increased by this Change Order in the amount of	\$44,729.87
The new Contract Amount including this Change Order will be	\$20,764,806.84
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

See Change Request 8011  
(Signature)

By

By

See Change Request 8011  
By

Date

Date

See Change Request 8011  
Date





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8011

**Date:** 2/16/18

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** COR 8011 - Unforeseen Condition - Storm Drain System and Dog Yard Contamination

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the extra work performed investigating the underground Storm Drain piping system due to the unforeseen condition of the pipe from the Catch Basin being collapsed. All existing Storm Drain lines to remain and be part of the final SD system were requested to be investigated. Also included are the foreseen delay and associated costs up until the resubmittal of the storm drain plans on 2.7.2018 and the Dog Yard Animal Waste Contamination delaying the resubmittal of package I till 3.27.2018. This delay impacted the Critical Path of the Schedule 88 days. See attached timelines for details.

If there are subsequent plan review comments these delays and costs may change.

Subtronic Storm Drain System Inspection with report and videos of onsite piping was delivered electronically and in physical copies

See attached signed estimate and invoice for full backup

Also included is the estimate to perform the work required to bring the 12" and 24" storm drain pipes which were discovered to be collapsed during Subtronic Corps SD investigation.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
02-0999	Storm Drain Investigation				\$2,875.00		\$2,875.00 ✓
02-0999	Replace Damaged Pipe (12" and 24")					\$34,229.06	\$34,229.06 ✓
02-0999	LDA Partners				\$5,750.00		\$5,750.00 ✓
02-0999	Delay (88 Days - see spreadsheet ) Contingency				<del>SEE NOTE (1)</del>	<del>-\$304,182.00</del>	<del>-\$304,182.00</del> (1)
01-0950	Delay (88 Days - see spreadsheet ) Contingency					<del>-\$304,182.00</del>	<del>-\$304,182.00</del> (1)
						Subtotal:	\$42,854.06 ✓
					Markup - Subcontractor (5%)	\$5,750.00 5.00 %	\$287.50 ✓
					Markup - Direct (15%)	\$2,875.00 15.00 %	\$431.25 ✓
					BIT	\$42,854.06 2.70 %	\$1,157.06 ✓
						Total:	\$44,729.87 ✓
<b>APPROVED TOTAL: \$ 44,729.87</b>							

OK Sam - 4/16/18

NOTE: *[Signature]* 4-16-18

(1) SUBMIT SEPARATELY *[Signature]*

APPROVED: 4-16-18

*[Signature]*

ROBERT D. HENNESSY P.E.



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

*Change Request*

**To:** Robert Hennessy  
Jacobs

**Number:** 8011

**Date:** 2/16/18

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

If you have any questions, please contact me at .

Submitted by:

Approved by: \_\_\_\_\_

Date: \_\_\_\_\_



**California Main Office:**  
 1115 E. Lockeford St.  
 Lodi, CA. 95240  
 (209) 931-3738

## Change Request

**To:** Robert Hennessy  
 Jacobs

**Number:** 8011  
**Date:** 2/16/18  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** COR 8011 - Unforeseen Condition - Storm Drain System and Dog Yard Contamination

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the extra work performed investigating the underground Storm Drain piping system due to the unforeseen condition of the pipe from the Catch Basin being collapsed. All existing Storm Drain lines to remain and be part of the final SD system were requested to be investigated. Also included are the foreseen delay and associated costs up until the resubmittal of the storm drain plans on 2.7.2018 and the Dog Yard Animal Waste Contamination delaying the resubmittal of package I till 3.27.2018. This delay impacted the Critical Path of the Schedule 88 days. See attached timelines for details.

If there are subsequent plan review comments these delays and costs may change.  
 Subtronic Storm Drain System Inspection with report and videos of onsite piping was delivered electronically and in physical copies

See attached signed estimate and invoice for full backup

Also included is the estimate to perform the work required to bring the 12" and 24" storm drain pipes which were discovered to be collapsed during Subtronic Corps SD investigation.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
02-0999	Storm Drain Investigation				\$2,875.00		\$2,875.00
02-0999	Replace Damaged Pipe (12" and 24")					\$34,229.06	\$34,229.06
02-0999	LDA Partners				\$5,750.00		\$5,750.00
02-0999	Delay (88 Days - see spreadsheet ) Contingency					\$304,182.00	\$304,182.00
01-0950	Delay (88 Days - see spreadsheet ) Contingency					\$(304,182.00)	\$(304,182.00)
						Subtotal:	\$42,854.06
				Markup - Subcontractor (5%)	\$5,750.00	5.00 %	\$287.50
				Markup - Direct (15%)	\$2,875.00	15.00 %	\$431.25
				BIT	\$42,854.06	2.70 %	\$1,157.06
						<b>Total:</b>	<b>\$44,729.87</b>



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## *Change Request*

**To:** Robert Hennessy  
Jacobs

**Number:** 8011

**Date:** 2/16/18

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

If you have any questions, please contact me at .

Submitted by:

Approved by: \_\_\_\_\_

Date: \_\_\_\_\_





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.03 DB**

**Change Order: 4**

**Date: 4/23/2018**

**To Contractor:**

LDA PARTNERS  
222 CENTRAL COURT

STOCKTON, CA 95204

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

SD System and Dog Yard Contamination

Provide 100 Year Storm Study

Extra	Cost Code	Cat	Change Request	Description	Amount
	02-0999	S	8011	LDA Partners	\$5,750.00

The original Contract Amount was	\$885,000.00
Net change by previously authorized Change Orders	\$61,933.00
The Contract Amount prior to this Change Order was	\$946,933.00
The Contract will be increased by this Change Order in the amount of	\$5,750.00
The new Contract Amount including this Change Order will be	\$952,683.00
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

Daniel Hoff

By

4/23/18

Date

Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 4/23/2018

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
ANIMAL SHELTER REPLACEMENT (10-16-5466)		Change Order Number: 10 Unforeseen Condition - Storm Drain System and Dog Yard C					
Change Request No. 8011 Internal: No							
Scope:		This COR covers the extra work performed investigating the underground Storm Drain piping system due to the unforeseen condition of the pipe from the Catch Basin being collapsed. All existing Storm Drain lines to remain and be part of the final SD system were requested to be investigated. Also included are the foreseen delay and associated costs up until the resubmittal of the storm drain plans on 2.7.2018 and the Dog Yard Animal Waste Contamination delaying the resubmittal of package I till 3.2 7.2018. This delay impacted the Critical Path of the Schedule 88 days. See attached timelines for details.					
		If there are subsequent plan review comments these delays and costs may change.					
		Subtronic Storm Drain System Inspection with report and videos of onsite piping was delivered electronically and in physical copies.					
		See attached signed estimate and invoice for full backup					
		Also included is the estimate to perform the work required to bring the 12" and 24" storm drain pipes which were discovered to be collapsed during Subtronic Corps SD investigation.					
5466.03 DB	57695	LDA PARTNERS	02-0999	S		LDA Partners	5,750.00
Change Order 10 total							5,750.00



DESIGNERS &amp; ARCHITECTS

15 April 2018

Mr. Daniel Hoff  
 Project Manager  
 F&H Construction  
 1115 East Lockeford Street  
 Lodi, CA 95240

Re: San Mateo Animal Shelter – Storm Water Study

Dear Daniel:

Listed below are additional services related to the Storm Water Drainage study as requested by the County, for the San Mateo Animal Shelter.

Change Summary	LDA Partners			
<b>Project:</b>	San Mateo Animal Shelter			
<b>Reference:</b>	StormWater Drainage Study			
Name		Rate	Hours	Cost
LDA				
Eric Wohle	Prinicpal	\$ 200.00	1	\$ 200.00 ✓
Carolyn Natividad	Project Architect	\$ 175.00	3	\$ 525.00 ✓
Ramiro Rivas	Drafting	\$ 135.00	0	\$ -
				\$ 725.00 ✓
O'Dell Enq.				
Lump Sum				\$ 5,025.00 ✓
<b>Total</b>				<b>\$ 5,750.00</b> ✓

If you have any questions, please let me know.

Cordially,

Eric W. Wohle, A.I.A., LEED ap  
 Partner

GENERAL COST ESTIMATE

PROJECT: SAN MATEO COUNTY ANIMAL SHELTER REPLACEMENT

LOCATION: SAN MATEO , CA

ARCHITECT: LDA

WORK: DAMAGED STORM DRAIN REPLACEMENT ESTIMATE

ESTIMATE NO.: 1

ESTIMATOR: B. CORBETT

DATE: 23-Feb-18

LABOR RATE	\$79.00	CARPENTER
	\$87.36	OPRG ENG

ITEM NO.	ITEM	DESCRIPTION	QUANTITY	UNIT	MATER. UNIT COST	EQUIP. UNIT COST	LABOR UNIT COST	LBR PRO. / HOUR	MATERIAL COST	EQUIP. COST	OWN/OP COST	LABOR HRS	LABOR COST	TOTAL COST	LABOR UNIT COST	TOTAL UNIT COST
		Replace Collapsed SD Pipe														
1		12" SDR 35 Storm Drain (V ditch to Catch Basin)	60.00	LF	20.00				1,200.00	0.00	0.00	0.00	0.00	1,200.00	0.00	20.00
2		24" SDR 35 Storm Drain (Catch Basin to Creek)	110.00	EA	65.00				7,150.00	0.00	0.00	0.00	0.00	7,150.00	0.00	65.00
3		Connect to Existing Concrete Catch Basin	1.00	EA	1,200.00				1,200.00	0.00	0.00	0.00	0.00	1,200.00	0.00	1,200.00
4		Inspection and Testing	1.00	EA			400.00		0.00	0.00	400.00	0.00	0.00	400.00	0.00	400.00
5		Surveying and As-Builts	1.00	EA			1,000.00		0.00	0.00	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00
6		Bedding Sand	1.00	EA	1,300.00				1,300.00	0.00	0.00	0.00	0.00	1,300.00	0.00	1,300.00
7		SWPPP and Dewatering	1.00	EA	800.00	900.00			800.00	900.00	0.00	0.00	0.00	1,700.00		1,700.00
									0.00	0.00	0.00	0.00	0.00	0.00		
									0.00	0.00	0.00	0.00	0.00	0.00		
									0.00	0.00	0.00	0.00	0.00	0.00		
									0.00	0.00	0.00	0.00	0.00	0.00		
									0.00	0.00	0.00	0.00	0.00	0.00		
									0.00	0.00	0.00	0.00	0.00	0.00		
		MISC. ITEMS							0.00	0.00	0.00	0.00	0.00	0.00		
8		OPERATOR FOREMAN (Roger)	40.00	HRS			87.36		0.00	0.00	0.00	40.00	3,494.40	3,494.40	1.00	87.36
9		LABORER JM	80.00	HRS			79.00		0.00	0.00	0.00	80.00	6,320.00	6,320.00	1.00	79.00
10		Excavator, Bob Cat ect.	5.00	Days		1,200.00			0.00	6,000.00	0.00	0.00	0.00	6,000.00	0.00	1,200.00
									11,650	6,900	1,400	120	\$ 9,814.40	\$ 29,764.40		
													15% MARKUP	\$ 4,464.66		
													TOTAL	\$ 34,229.06		



**Subtronic Corporation**

5031 Blum Rd, #2  
Martinez, CA 94553

**Estimate**Estimate # **26399**Date of Estimate **2/1/2018****ALSO LOCATED IN GARDEN GROVE CA****BILL TO:**

F & H Construction  
1115 E Lockeford Street  
Lodi, CA 95240  
(209)327-9222  
Attn: Tim Obrien

ESTIMATE TO: P.O. #:

SURVEYOR	JOB DATE	DAY	TIME	TERMS	
MV				Credit Card	
DESCRIPTION			QTY	COST	TOTAL
Color TV Inspection, 1st hour on site			1	1,050.00	1,050.00
Color TV Inspection, subsequent hours			7	350.00	2,450.00
COMPENSATION: For work performed as described above including equipment, personnel and travel costs (port to port) for the sum of:					
DVD and Report Generation			1	250.00	250.00

This estimate is good for 60 days.

**Insurance Coverage:**

General Liability: \$2,000,000 per occurrence

\$ 4,000,000 aggregate

Excess/Umbrella Liability: \$5,000,000

Worker's Comp: \$1,000,000 Employer's Liability

Professional Liability: \$1,000,000 per claim

\$2,000,000 annl aggr.

Automobile: \$1,000,000 Combined Single Limit

Signature

Date

TOTAL

**\$3,750.00**

This quotation is subject to our Specification and Standard Conditions of Contract

CA License # 940232

Page 3

*Robert J. Jennings* 2-2-18

# Subtronic Corporation

5031 Blum Rd, #2  
Martinez, CA 94553

Bill To:  
F & H Construction  
1115 E Lockeford Street  
Lodi, CA 95240  
(209)327-9222  
Attn: Tim Obrien

Invoice # 26345  
Date 2/16/2018  
Project 26399 - San Mateo  
Surveyor RR&LT  
Terms Credit Card  
Due Date 2/16/2018  
PO/JOB...

Date	Description	Unit	Rate	Amount
	PROJECT LOCATION: Peninsula Animal Shelter - 12 Airport Blvd., San Mateo, CA			
	AREA OF INSPECTION: The area of inspection is defined by information and drawings received January 30, 2018 regarding CCTV inspection of approximately 1200 LF of various diameter storm drain pipes.			
	COMPENSATION: For work performed as described above including equipment, personnel and travel costs for the sum of:			
2/8/2018	Color TV Inspection, 1st hour on site	1	1,050.00	1,050.00
	Color TV Inspection, subsequent hours	4.5	350.00	1,575.00
	DVD and Report Generation	1	250.00	250.00
	DVD and Report sent to Tim O'Brien 2/16/2018			
<b>Total</b>				<b>\$2,875.00</b>

FINAL  
RSH

WE THANK YOU FOR USING OUR SERVICES

Tax ID Code 77-0020672

A late fee of 10% per year will apply if payment is not received within 30 days.

Balance Due \$2,875.00



**SCOPE: STORM DRAIN SYSTEM AND DOG YARD CONTAMINATION  
SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	<b>DIVISION 1 - GENERAL CONDITIONS</b>					
	SCHEDULE					
	CRITICAL PATH DELAY	88	DAYS			
	F&H DESIGN EXTENDED OVERHEAD	88	DAYS	\$2,936.80	258,438.40	
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				258,438.40	
	BUILDERS RISK INSURANCE					
	LIABILITY INSURANCE					
	PAYMENT & PERFORMANCE BOND					
	MARKUP - SUBCONTRACTOR (10%)				0.00	
	MARKUP - DIRECT COST (15%)				38,765.76	
	<b>TOTAL</b>				<b>304,182.00</b>	

# ANIMAL SHELTER

## COUNTY OF SAN MATEO

1 Month Duration

1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>MISC. ITEMS</b>							
LAYOUT - FOREMAN ON SITE	24.0	HR	4.00	72.50	96	1,740	1,836
TEMPORARY FENCE - RENT AFTER 12 MO	1,400.0	LF	0.25	0.00	350	0	350
OFFICE EQUIPMENT & SUPPLIES - MO	1.0	MO	375.00	0.00	375	0	375
DRINKING WATER	1.0	MO	120.00	0.00	120	0	120
SAFETY SUPPLIES	1.0	MO	210.00	0.00	210	0	210
TRAILER MONTHLY	1.0	MO	621.00	0.00	621	0	621
STORAGE SHED (2 EACH)	2.0	EA	102.00	0.00	204	0	204
<b>TEMP UTILITIES</b>							
POWER - TIE-IN TO EXISTING							
CORDS & DISTRIBUTION - 30 MIN. / DAY	1.0	MO	100.00	787.50	100	788	888
MONTHLY	1.0	MO	702.00	0.00	702	0	702
TEMP HEAT & AIR CONTROL IN BUILDING	1.0	MO	1,000.00	787.50	1,000	788	1,788
WATER							
HOSE & DISTRIBUTION	1.0	LS	50.00	300.00	50	300	350
SECURITY CAMERA - START							
SECURITY CAMERA - MONTHLY	1.0	MO	650.00	0.00	650	0	650
TELEPHONE							
MONTHLY	1.0	MO	250.00	0.00	250	0	250
MONTHLY CELL PHONE (PM, SUPER, PE)	3.0	MO	118.00	0.00	354	0	354
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 16 HRS / MO	1.0	EA	2,400.00	0.00	2,400	0	2,400
AS-BUILTS PRINTING COSTS	1.0	LS	75.00	0.00	75	0	75
<b>OWNERS ITEMS</b>							
TRIPLE WIDE TRAILER FOR PUBLIC USAGE							
RAMPS AND TEMP ACCESS @ PUBLIC AREA	1.0	MO	105.00	0.00	105	0	105
TRAILER MONTHLY - DOUBLE WIDE	1.0	MO	1,257.00	0.00	1,257	0	1,257
SEPTIC ABOVE GROUND AT TRAILER							
HOLDING TANK RENTAL	1.0	EA	59.40	0.00	59	0	59
PUMP OUT TANKS	1.0	EA	162.00	0.00	162	0	162
PORTABLE TOILET							
PORTABLE TOILET W/ SINK - 2	2.0	EA	108.60	0.00	217	0	217
DUAL HANDWASH STATIONS	1.0	EA	65.40	0.00	65	0	65
PUMP OUT AND SERVICE TOILETS	6.0	EA	43.20	0.00	259	0	259
OWNER EQUIP - STORAGE SHED (IN & OUT COST)	2.0	EA	102.00	0.00	204	0	204
<b>MISC. ITEMS</b>							
PORTABLE TOILETS							
PORTABLE TOILET W/ SINK	3.0	EA	102.60	0.00	308	0	308
DUAL HANDWASH STATIONS	1.0	EA	59.40	0.00	59	0	59
PUMP OUT AND SERVICE TOILETS	12.0	EA	37.80	0.00	454	0	454
BLUEPRINTING	1.0	MO	35.00	0.00	35	0	35
ROAD AREA & MAINTENANCE / SITE CLEANING	1.0	MO	150.00	576.00	150	576	726
SMALL TOOL PURCHASE & RENT	1.0	MO	350.00	0.00	350	0	350
SHIPPING / MAIL	1.0	MO	120.00	0.00	120	0	120
PROGRESS CLEANING - 1 HRS / DAY	1.0	MO	100.00	1,512.00	100	1,512	1,612



DUMPSTERS / RECYCLING / LEED	1.0	EA	825.00	0.00	825	0	825
YARD SERVICE	1.0	EA	275.00	0.00	275	0	275
				<b>SUBTOTAL</b>	<b>12,562</b>	<b>5,703</b>	<b>18,265</b>

**SUPERVISION**

PROJECT MANAGER	1.0	MO	0.00	16,608.00	0	16,608	16,608
FIELD - SUPERINTENDENT	1.0	MO	0.00	15,916.00	0	15,916	15,916
FIELD - SITE FOREMAN 80 HRS/MO	1.0	MO	0.00	15,397.00	0	15,397	15,397
PROJECT ENGINEER	1.0	MO	0.00	8,650.00	0	8,650	8,650
				<b>SUBTOTAL</b>	<b>0</b>	<b>56,571</b>	<b>56,571</b>

**VEHICLE ALLOWANCE**

PROJECT MANAGER	1.0	MO	600.00	0.00	600	0	600
FIELD - SUPERINTENDENT	1.0	MO	750.00	0.00	750	0	750
FIELD - ASSIST 50% OF TIME	1.0	MO	375.00	0.00	375	0	375
PROJECT ENGINEER	1.0	MO	450.00	0.00	450	0	450
				<b>SUBTOTAL</b>	<b>2,175</b>	<b>0</b>	<b>2,175</b>

**SUBSISTENCE / TRAVEL**

PROJECT MANAGER	1.0	MO	0.00	770.00	0	770	770
FIELD - SUPERINTENDENT	1.0	MO	0.00	725.00	0	725	725
				<b>SUBTOTAL</b>	<b>0</b>	<b>1,495</b>	<b>1,495</b>

**HOUSING**

HOUSING - SHARED PM & SUPERINTENDENT	1.0	MO	3,500.00	0.00	3,500	0	3,500
BRIDGE TOLLS - 4 PER WEEK	12.0	EA	5.00	0.00	60	0	60
FAST PASS BYPASS - 4 PER WEEK	12.0	EA	3.50	0.00	42	0	42
				<b>SUBTOTAL</b>	<b>3,602</b>	<b>0</b>	<b>3,602</b>

**EQUIPMENT RENTAL**

FORKLIFT - BOOM TYPE	1.0	MO	2,420.00	0.00	2,420	0	2,420
MISCELLANEAOUS	1.0	MO	300.00	0.00	300	0	300
				<b>SUBTOTAL</b>	<b>2,720</b>	<b>0</b>	<b>2,720</b>

**FUEL / OIL / MAINTENANCE**

PROJECT MANAGER	1.0	MO	925.00	0.00	925	0	925
SUPERINTENDENT	1.0	MO	901.00	0.00	901	0	901
PROJECT ENGINEER	1.0	MO	400.00	0.00	400	0	400
FORKLIFT	1.0	MO	500.00	0.00	500	0	500
MISC. EQUIPMENT	1.0	MO	300.00	0.00	300	0	300
MAINTENANCE	2.0	EA	125.00	0.00	250	0	250
				<b>SUBTOTAL</b>	<b>3,276</b>	<b>0</b>	<b>3,276</b>
				<b>TTL ABOVE</b>	<b>24,335</b>	<b>63,769</b>	<b>88,104</b>
				<b>DAILY OVERHEAD COSTS</b>		<b>2,936.8</b>	

**DATE:** April 4, 2018

**TO:** DANIEL HOFF

**CC:** STEPHEN SEIBLY

**FROM:** JAMES KELLY

**REFERENCE:** SAN MATEO ANIMAL SHELTER

**SUBJECT:** TIME IMPACT ANALYSIS #004

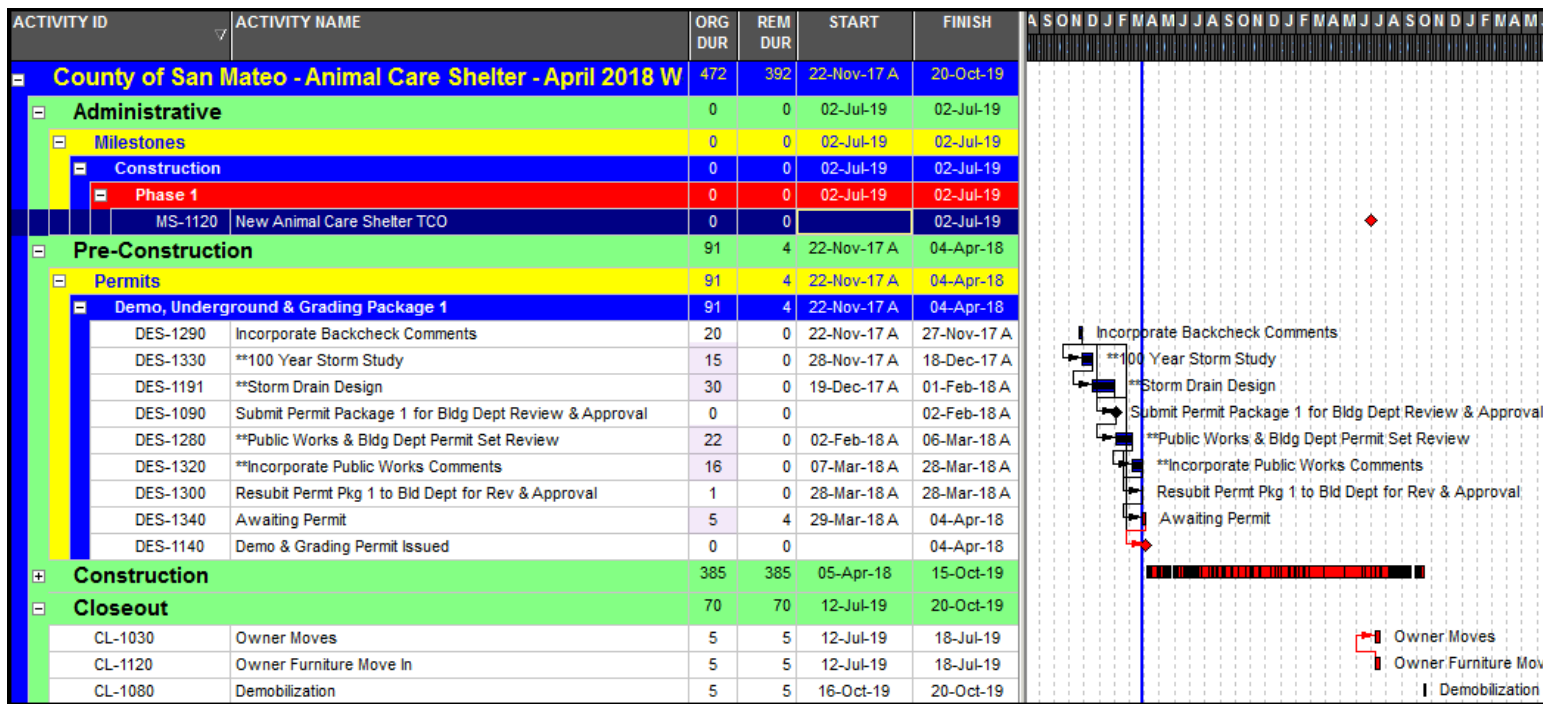
**CPM SCHEDULE:** The **Contract Completion Date** is **7/26/19**. However, the project is forecasting a **current Project Completion Date of 10/20/19**.

**TIA #004 Summary:** References the full impact of the Storm Drain Design and Building Department / Public Works reviews and comments delaying the Demo permit and Start of Construction.

During the 100% CD Drawing review, a 100-year Storm Study was requested by the Department of Public Works (DPW) on 12/1/2017, which is beyond the scope of contract. Upon completion on 12/19/2017, the Storm Drain Detention system was determined to need an increase in volume of ~350% to accommodate the DPW comments and required re-submitting. After 2 conference calls with DPW, on 1/12/2018 and 1/30/2018, the storm detention calculations were reperformed with a different method. Originally submitted storage capacity provided by Design Build Entity (DBE) was agreed to be adequate by DPW plan check reviewers. The new agreed upon calculation method and original detention pond size were incorporated into the plans and resubmitted on 2/7/2018. See "SMAS – Storm Water Detention, Design Delay" timeline.

On 2/22/2018, plan check comments were received regarding a concern of dog feces and urine entering the storm drain system adjacent to the new dog yards. By 2/23/2018, potential solutions were provided to DPW by DBE. On 2/26/2018, an additional 700 CF detention basin was proposed by DPW and accepted on 3/7/2018. On 3/15/2018 the required maintenance agreement from the county was received releasing the plans to be assembled, printed and were resubmitted on 3/28/2018, bringing this issue to a close. Demo & Grading Permit is anticipated on 4/4/18. See "SMAS – Dog Yard Contamination, Design Delay" timeline.

This process resulted in an 88 calendar day impact the schedule. See snapshot below:

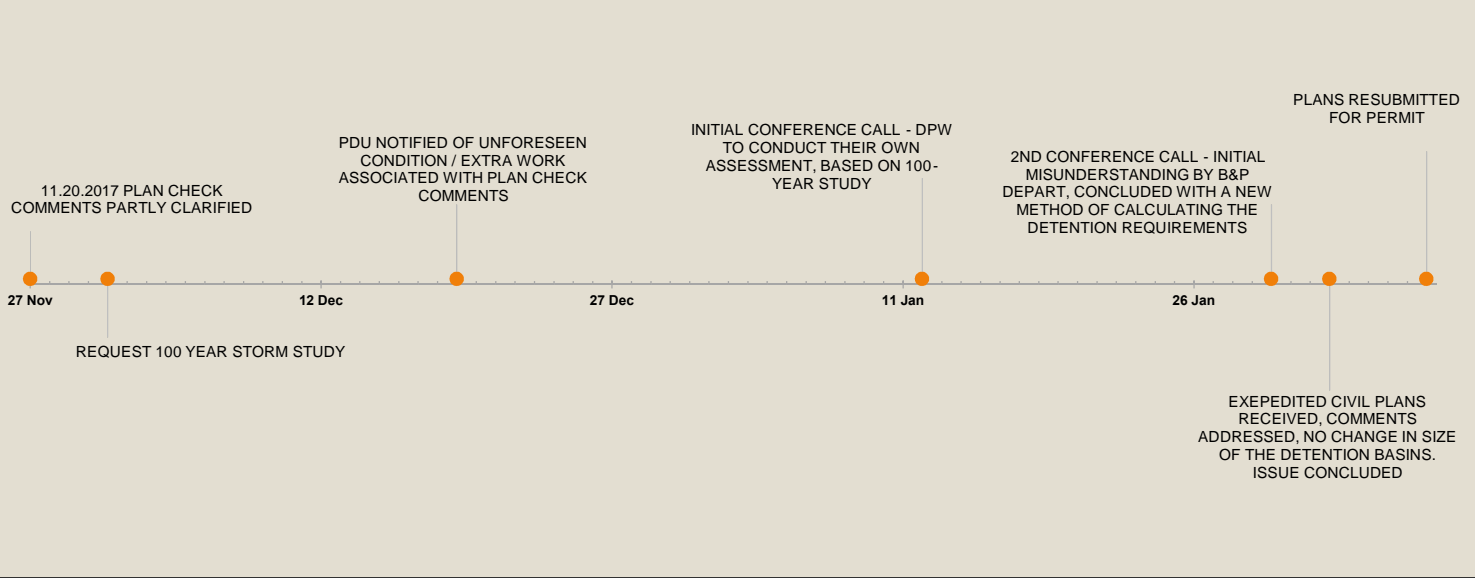


Please confirm the acceptance of this work and 88 calendar days will be added to the overall project duration and will be addressed in the next schedule update and narrative. This will extend the Project Completion Date from 7/26/19 to a new Project Completion Date of 10/20/19.

End-

# SMAS - STORM WATER DETENTION, DESIGN DELAY

## TIMELINE

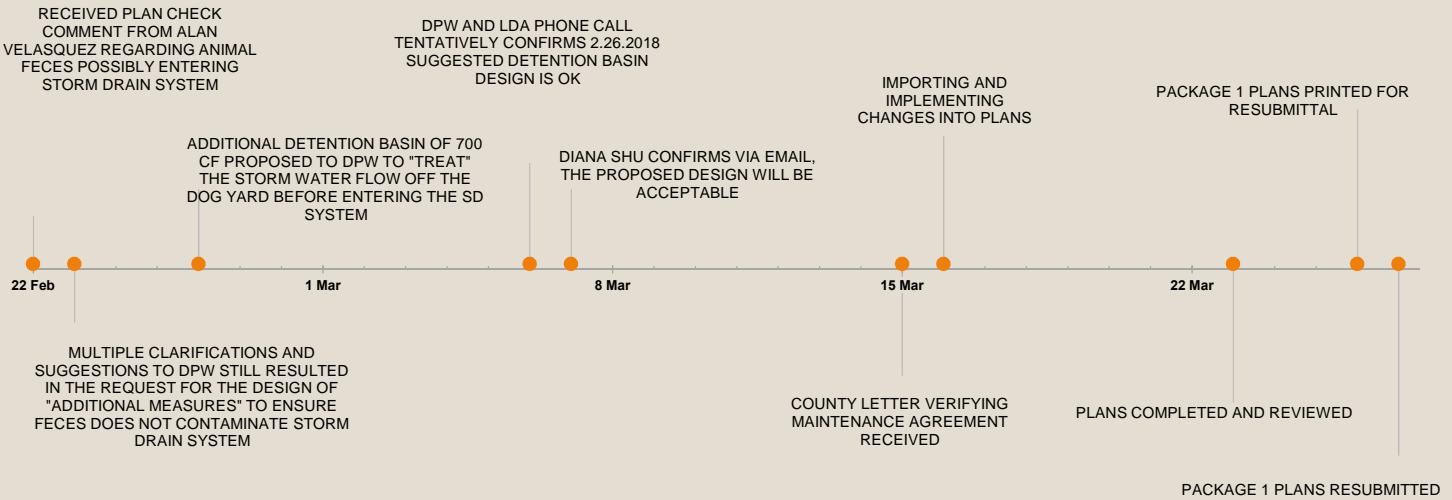


DATE	MILESTONE	NOTES
11/27/2017	11.20.2017 Plan Check Comments Partly Clarified	
12/1/2017	Request 100 Year Storm Study	EXPEDITED
12/19/2017	PDU Notified of Unforeseen Condition / Extra work associated with plan check comments	~350% INCREASE IN VOLUME OF DETETNION PONDS REQUESTED
1/12/2018	Initial Conference Call - DPW to conduct their own assessment, based on 100-Year Study	
1/30/2018	2nd Conference Call - Initial misunderstanding by B&P Depart, concluded with a new method of calculating the detention requirements	NO CHANGE IN SIZE OF PONDS NEEDED
2/2/2018	Exepedited Civil plans received, comments addressed, no change in size of the Detention Basins. Issue concluded	EXPEDITED
2/7/2018	Plans resubmitted for permit	



# SMAS - DOG YARD CONTAMINATION, DESIGN DELAY

## TIMELINE



DATE	MILESTONE	DETAIL
2/22/2018	Received plan check comment from Alan Velasquez regarding animal feces possibly entering storm drain system	
2/23/2018	Multiple clarifications and suggestions to DPW still resulted in the request for the design of "additional measures" to ensure feces does not contaminate storm drain system	
2/26/2018	Additional detention basin of 700 CF proposed to DPW to "treat" the storm water flow off the dog yard before entering the SD system	
3/6/2018	Diana Shu confirms via Email, the proposed design will be acceptable	
3/7/2018	DPW and LDA phone call tentatively confirms 2.26.2018 suggested detention basin design is OK	
3/15/2018	County Letter verifying Maintenance agreement received	
3/16/2018	Importing and implementing changes into plans	
3/23/2018	Plans completed and reviewed	
3/26/2018	Package 1 Plans printed for resubmittal	
3/28/2018	Package 1 Plans resubmitted	

## Storm Water Detention System Narrative

Below is a time line capturing the Storm Water Detention issue. The review of the submitted plans took much longer than allocated in the approved schedule and took 2 conference calls to get Building and Planning Department to clearly state what they needed from the design/construction team. Ultimately, the design calculation changed slightly to satisfy Building and Planning (Rational method in lieu of 80% capture), but the design of the ponds did not change. This extended review and re-review has pushed the critical path of the project 22 days. Subtronic Corp was dispatched per the PDU direction to verify existing utilities which will become part of the final storm water system.

10.10.2017: Submitted to Building and Planning Department (See attached Transmittal)

11.10.2017: Received Comments back from Alan Velasquez. (See attached Email)

12.1.2017: After much correspondence to understand what the plan check comments were asking for, 100-year storm study was procured through O'Dell Engineering (See attached Email)

12.19.2017: Notification Sent to Bob Hennessey regarding findings of 100-year storm study and the increase in storage volume required (~350%) (See attached Email)

1.12.2018: Go-To Meeting with Diana Shu and Alan Velasquez (See attached Meeting)

1.30.2018: After much correspondence to clarify B&P Department's misunderstanding, a Go-To Meeting was held, and the conclusion determined by B&P Department was for the design team to use the Rational Method in lieu of the 80% capture method. (See attached Go-To Meeting and Email)

2.2.2018: F&H received expedited plan revisions from O'Dell Engineering, incorporating the plan check comments from DPW, the size of the Detention Basins did NOT require any changes to comply with requirements

2.7.2018: Plans Resubmitted for Permit (See attached Transmittal)

2.8.2018: Subtronic Corp onsite to verify existing utilities condition of storm drain pipes to remain in service. (see attached COR 8011)

2.12.2018: Plans were updated with a higher quality print for clarity

Current Status: Awaiting Final Plan Review Comments/PERMIT



## County of San Mateo

## Planning &amp; Building Department

455 County Center, 2nd Floor  
 Redwood City, California 94063  
 650/363-4161 Fax: 650/363-4849

Mail Drop PLN122  
 plngbldg@smcgov.org  
 www.co.sanmateo.ca.us/planning

## APPLICATION FOR PERMIT

PERMIT NUMBER: BLD2017-02206

SITE ADDRESS:

PROJECT NAME:

COMMERCIAL

ASSESSOR'S PARCEL NUMBER:

00000CYPT

APPLICANT INFORMATION

F & H CONSTRUCTION  
 P O BOX 2329  
 LODI, CA 95205-0000

Phone #1 : 2099313738  
 Phone #2 :

CONTRACTOR INFORMATION

F &amp; H CONSTRUCTION

P O BOX 2329  
 LODI, CA 95205  
 LIC #: 293306  
 Phone #1: 2099313738  
 Phone #2:  
 WC Policy #: DTJUB9H57279  
 WC Expires: 01/01/2018

ARCHITECT INFORMATION

Phone #1 :  
 Phone #2 :

ENGINEER INFORMATION

Phone #1 :  
 Phone #2 :

PROJECT DESCRIPTION:

New San Mateo Animal Shelter, 40,980sf. New facility, storage, barn, expanded parking area, and two new detention basins.

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all applicable ordinances and state laws regulating building construction.

AGENT FOR:

F+H Construction

SIGNED:

Daniel Hoff

DATE:

10/10/17

Routed To:

☐ Planning Dept.☐ Public Works Dept.☐ GeoTech.☐ Fire Dept.☐ Health Dept.☐ School Impact Fee.☐ County Sewer District☐ Building☐ Other

## Brendan Corbett

---

**From:** Daniel Hoff  
**Sent:** Friday, November 10, 2017 1:54 PM  
**To:** Eric Wohle; Carolyn Natividad; Ramiro Rivas  
**Cc:** Brendan Corbett; Tim O'Brien; Stephen Seibly  
**Subject:** FW: 12 Airport Blvd Animal Shelter Replacement BLD2017-02206  
**Attachments:** Pln.Chk.1.pdf; Drainage Report 2-yr study 12 Airport 11-10-17.pdf; Image\_20171110\_0001.pdf; Image\_20171110\_0002.pdf; Image\_20171110\_0003.pdf; Image\_20171110\_0004.pdf; Image\_20171110\_0005.pdf; San Mateo County Drainage Review Guidelines.pdf; San Mateo County IDF.pdf

**Categories:** San Mateo

I guess the comments don't come back in one set... Please review.

Thanks,  
Daniel

---

**From:** Alan Velasquez [mailto:avelasquez@smcgov.org]  
**Sent:** Friday, November 10, 2017 1:49 PM  
**To:** Daniel Hoff <dhoff@f-hconst.com>  
**Subject:** 12 Airport Blvd Animal Shelter Replacement BLD2017-02206

Hello,

See attached Public Works stormwater comments being returned as Revise and Resubmit for 12 Airport Blvd Animal Shelter Replacement project. I am available through scheduled appointment if you wish to discuss these comments further.

Thank you,

--

**Alan Velasquez, P.E.**  
**Associate Civil Engineer**  
**San Mateo County Public Works**  
**Road Services Division**  
**(650) 599-7274**

Please provide us with your feedback at:  
<https://www.surveymonkey.com/s/DPWTraffic>



## Brendan Corbett

---

**From:** Daniel Hoff  
**Sent:** Friday, December 01, 2017 8:23 AM  
**To:** Mike Persak; Eric Wohle  
**Cc:** Carolyn Natividad; Eric Villalobos; Tim O'Brien; Brendan Corbett; Stephen Seibly  
**Subject:** RE: Animal Shelter - Building Department Plan Check Comments - BLD2017-02206

**Categories:** San Mateo

Mike,

This is authorization to proceed with the report to meet the building department's requirements for \$5,000, could you expediate it and have it done in week? I am going to provide a CR to the County.

Thanks,

**Daniel Hoff** / LEED AP BD+C

(209) 931-3738 **PHONE**

(209) 269-6327 **MOBILE**

(209) 931-4427 **FAX**

[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)

1115 East Lockeford Street, Lodi, CA 95240

[WWW.F-HCONST.COM](http://WWW.F-HCONST.COM)



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---

**From:** Mike Persak [mailto:mpersak@odellengineering.com]  
**Sent:** Thursday, November 30, 2017 4:32 PM  
**To:** Eric Wohle <EWohle@ldapartners.com>  
**Cc:** Daniel Hoff <dhoff@f-hconst.com>; Carolyn Natividad <CNatividad@ldapartners.com>; Eric Villalobos <evillalobos@odellengineering.com>  
**Subject:** RE: Animal Shelter - Building Department Plan Check Comments - BLD2017-02206

Eric,

Here is the memo regarding the drainage report as discussed on the conference call today.  
Please let me know if you have any questions. Thank you.

**Mike Persak, PE, LEED AP, QSD/QSP**

O'DELL ENGINEERING | SENIOR PROJECT MANAGER

Direct: (209) 497-4061 | Main: (209) 571-1765 ext. 132

Cell: (209) 602-9503 | Fax: (209) 571-2466

E: [mpersak@odellengineering.com](mailto:mpersak@odellengineering.com) | W: <http://www.odellengineering.com>

## Brendan Corbett

---

**From:** Daniel Hoff  
**Sent:** Tuesday, December 19, 2017 2:23 PM  
**To:** Robert Hennessy  
**Cc:** tim@pantanodemo.com; Brendan Corbett; Stephen Seibly; Charles Ferrell; Sarah Hoff  
**Subject:** Unforeseen Site Condition - Additional Storm Drainage Design  
**Attachments:** MEMO-2017-12-19-SMAS SD-32040.pdf

**Importance:** High

**Categories:** San Mateo

Bob,

During the process of adjusting our civil drawings per County's Building Department plan check comments, we have encountered an unforeseen site condition. Our scope for the project is to redevelop an existing site and not to correct the existing site's unknown design deficiencies. The bridging documents states the existing site has an underground storm drain system. Please review the attached memo from our Civil Engineer Mike Persak for additional information.

We are requesting approval to proceed with storm water design as a new development by increasing the storage volume to 64,000 CF, which is beyond our baseline scope identified within the bridging documents. At this time, the impact of changing the storm water design on the project is unknown. An alternate option for resolving this issue is for PDU to discuss with the County's Building Department and allow the storm water detention requirements to be based on the net increase of impervious areas, as we did so in our baseline scope.

Since this is a time sensitive matter, we will need an approval to proceed on either option by 12/27.

Thanks,

**Daniel Hoff** / LEED AP BD+C

(209) 931-3738 **PHONE**

(209) 269-6327 **MOBILE**

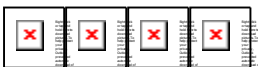
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1115 East Lockeford Street, Lodi, CA 95240

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## MEMORANDUM

Date: December 19, 2017

To: Robert Hennessy, San Mateo County, Project Development Unit

From: Mike Persak, PE

Re: 12 Airport Blvd Animal Shelter Replacement BLD2017-02206 – Storm Drainage Design

This project involves replacement of the existing animal shelter building(s) and much of the surrounding parking lot areas. The existing site's disturbed impervious area is approximately 98,000 sf, and the proposed site plan's new impervious area is approximately 117,000 sf, which is a net increase of 19,000 sf (19 %). The existing site currently has an existing storm drain system, with no apparent detention provided.

The County Design Narrative/Bridging Documents dated April 11, 2016 includes a section for Civil/Site Design which states:

*"Storm Drainage: The site has an underground storm drain system. The southern part of the site appears to drain toward Airport Boulevard while the back side of the project appears to drain west toward the culvert adjacent to the site. All of the site drainage ultimately ends up in the Bay."*

### *Storm Water Strategy-*

*The site's development is subject to management quality of storm water discharged from the site. The project shall integrate low impact development (LID) strategies to remove pollutants as well as reduce the quantity of storm water as detailed in guidelines provided by the San Mateo Countywide Pollution Prevention Program. The project team will need to integrate features such as pervious paving, bio-retention, and flow through planters to meet these requirements. Treatment measures may be installed adjacent to the new building or across the new fire access in the existing building location. All new impervious surfaces created or replaced by this project will need to flow to the LID features. The site is not eligible to utilize mechanical ways of treatment such as filter vaults. However, capture of water for non-potable reuse can be implemented if other forms of LID are not feasible. Given site soils such as clay and shallow bedrock, infiltration may not be possible."*

We are providing LID treatment (bio-retention basins) per the County of San Mateo C.3 checklist for 80 percent capture method, which remove pollutants and reduces the rate and volume of the stormwater leaving the site, as indicated in the County Design Narrative/Bridging Documents. However, there is no mention in this document of a 100-year Storm Study or detention of the 100-year storm volume. And the County has recently indicated that they are treating this as a new development (demo and rebuild), and the project will be required to provide detention for the 100-yr storm since a portion of the site is within the floodplain. There are also portions of the parking lot which we are not replacing. It is not clear if these areas are included in the detention requirement.

In our experience, existing developed sites with operating storm drain systems which undergo additional site improvements or redevelopment, are subject to detention requirements (if applicable) for the net increase in the project runoff or impervious area. For this project, the difference between the two approaches is substantial. The required storage volume for the net increase between the Pre and Post construction runoff volume from a 100-year storm (48hr duration), would be roughly 5,700 cubic feet. However, if the County requires this redevelopment project to store the entire site's post construction storage volume for a 100-year storm (48hr duration), the required storage volume would be roughly 64,000 cubic feet. The site is limited in its ability to provide detention volume due to limited available area, the high groundwater condition, and the existing pipe invert of the tie-in.

## Brendan Corbett

---

**Subject:** GoToMeeting Invitation - San Mateo Animal Shelter - Storm Water  
**Location:** GoToMeeting

**Start:** Fri 1/12/2018 9:30 AM  
**End:** Fri 1/12/2018 10:00 AM

**Recurrence:** (none)

**Meeting Status:** Accepted

**Organizer:** Daniel Hoff  
**Required Attendees:** Diana Shu; Alan Velasquez; Eric Wohle; Carolyn Natividad; Robert Hennessy; Mike Persak; Eric Villalobos; Tim O'Brien; Brendan Corbett; Stephen Seibly (sseibly@f-hconst.com)

San Mateo Animal Shelter - Storm Water  
Fri, Jan 12, 2018 9:30 AM - 10:00 AM PST

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/231146189>

You can also dial in using your phone.

United States: +1 (571) 317-3112

Access Code: 231-146-189

First GoToMeeting? Let's do a quick system check: <https://link.gotomeeting.com/system-check>



## Brendan Corbett

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**Subject:** GoToMeeting Invitation - Storm Water Design Meeting  
**Location:** Conference Call

**Start:** Tue 1/30/2018 1:15 PM  
**End:** Tue 1/30/2018 2:15 PM

**Recurrence:** (none)

**Meeting Status:** Accepted

**Organizer:** Daniel Hoff  
**Required Attendees:** Robert Hennessy; Stephen Seibly (sseibly@f-hconst.com); Sam Lin; Mike Persak (mpersak@odellengineering.com); Eric Wohle; Eric Villalobos; Carolyn Natividad; Tim O'Brien; Brendan Corbett; Diana Shu; Alan Velasquez

Please see call in information below to discuss the 12 Airport Findings.

Storm Water Design Meeting  
Tue, Jan 30, 2018 1:15 PM - 2:15 PM PST

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/304538973>

You can also dial in using your phone.

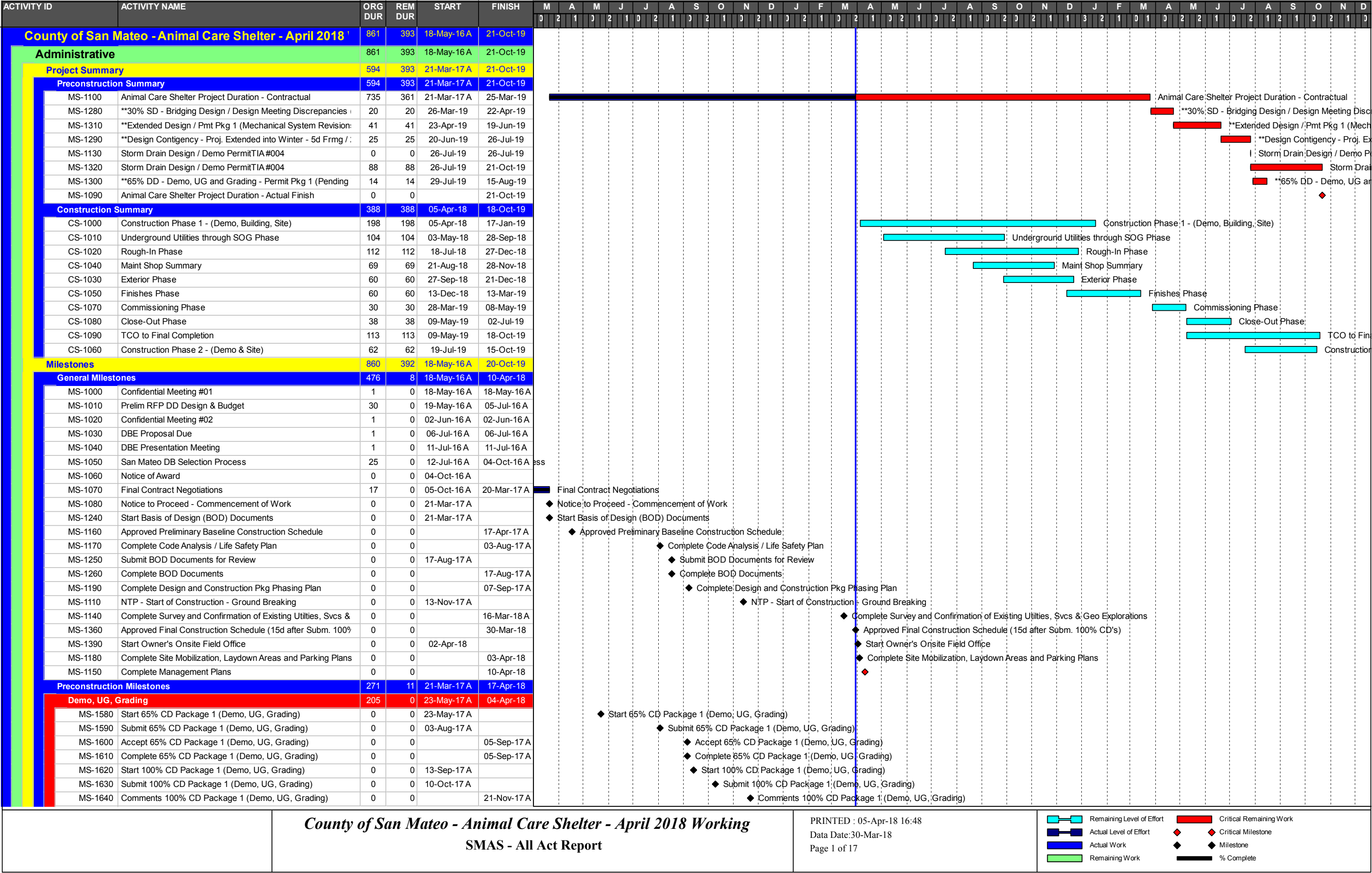
United States: +1 (669) 224-3412

Access Code: 304-538-973

First GoToMeeting? Let's do a quick system check: <https://link.gotomeeting.com/system-check>

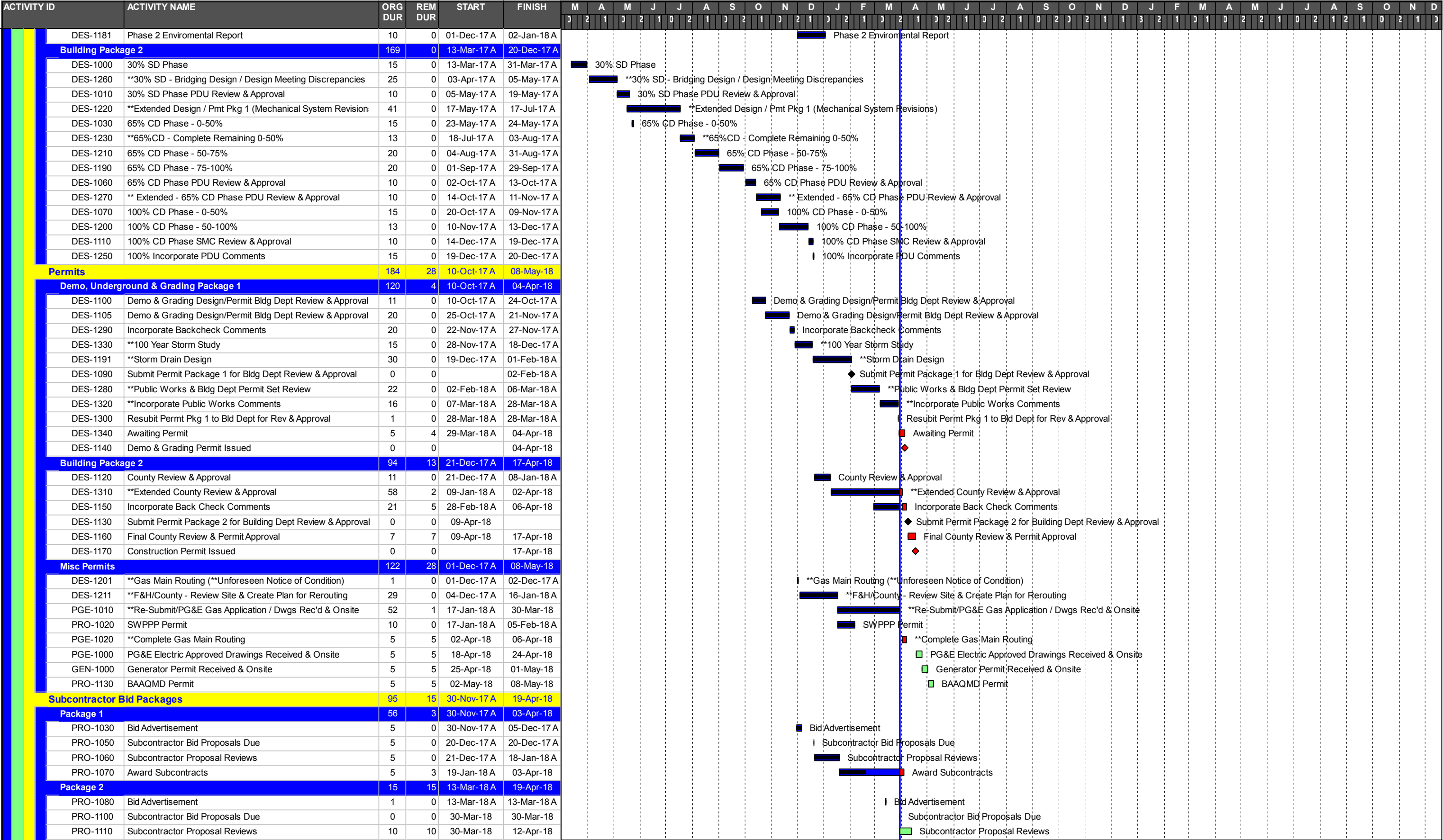


02 08 2018



ACTIVITY ID		ACTIVITY NAME	ORG D <small>UR</small>	REM D <small>UR</small>	START	FINISH																																																																																											
							M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D																																																									
							0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	1	3	2	1	0	1	0	2	2	1	0	2	1	2	1	0	2	1	0																																																
<div></div>	MS-1650	Complete 100% CD Package 1 (Demo, UG, Grading)	0	0		19-Dec-17 A																																											◆ Complete 100% CD Package 1 (Demo, UG, Grading)																																																
	MS-1660	Permit Package 1 (Demo, UG, Grading)	0	0		04-Apr-18																																											◆ Permit Package 1 (Demo, UG, Grading)																																																
	Building		271	11	21-Mar-17 A	17-Apr-18																																											◆ Start 30% SD Package 2 (Building)																																																
	MS-1200	Start 30% SD Package 2 (Building)	0	0	21-Mar-17 A																																												◆ Submit 30% SD Package 2 (Building)																																																
	MS-1210	Submit 30% SD Package 2 (Building)	0	0	05-May-17 A																																												◆ Accept 30% SD Package 2 (Building)																																																
	MS-1220	Accept 30% SD Package 2 (Building)	0	0		19-May-17 A																																											◆ Start 65% CD Package 2 (Building)																																																
	MS-1230	Start 65% CD Package 2 (Building)	0	0	23-May-17 A																																												◆ Submit 65% CD Package 2 (Building)																																																
	MS-1510	Submit 65% CD Package 2 (Building)	0	0	29-Sep-17 A																																												◆ Accept 65% CD Package 2 (Building)																																																
	MS-1270	Accept 65% CD Package 2 (Building)	0	0		11-Nov-17 A																																											◆ Start 100% CD Package 2 (Building)																																																
	MS-1530	Start 100% CD Package 2 (Building)	0	0	20-Nov-17 A																																												◆ Complete 100% CD Package 2 (Building)																																																
	MS-1520	Complete 100% CD Package 2 (Building)	0	0		21-Dec-17 A																																											◆ Submit 100% CD Package 2 (Building)																																																
	MS-1540	Submit 100% CD Package 2 (Building)	0	0	21-Dec-17 A																																												◆ Comments 100% CD Package 2 (Building)																																																
	MS-1550	Comments 100% CD Package 2 (Building)	0	0		02-Apr-18																																											◆ Complete 100% CD Package 2 (Building)																																																
	MS-1560	Complete 100% CD Package 2 (Building)	0	0		09-Apr-18																																											◆ Permit Package 2 (Building)																																																
	MS-1570	Permit Package 2 (Building)	0	0		17-Apr-18																																																																																											
	Construction		392	376	21-Mar-18 A	20-Oct-19																																																																																											
	Phase 1		392	376	21-Mar-18 A	20-Oct-19																																																																																											
		MS-1690	SWPPP Stage 2 - Silt Fence (If Needed)	0	0		21-Mar-18 A																																											◆ SWPPP Stage 2 - Silt Fence (If Needed)																																															
		MS-1400	Project Site & Trailers Operational	0	0		20-Apr-18																																											◆ Project Site & Trailers Operational																																															
		MS-1680	Site Clearing & Demo Complete	0	0		02-May-18																																											◆ Site Clearing & Demo Complete																																															
		MS-1710	Building Pad Certification	0	0		24-May-18																																											◆ Building Pad Certification																																															
		MS-1720	Mat Slab Complete	0	0		28-Jun-18																																											◆ Mat Slab Complete																																															
		MS-1780	Set Standby Generator	0	0		17-Sep-18																																											◆ Set Standby Generator																																															
		MS-1410	Facility Water Tight	0	0		07-Nov-18																																											◆ Facility Water Tight																																															
		MS-1750	Interior Rough Ins Complete	0	0		27-Dec-18																																											◆ Interior Rough Ins Complete																																															
		MS-1430	Other Utilities (G,DW,FW,SS, Phone) Available	0	0		09-Jan-19																																											◆ Other Utilities (G,DW,FW,SS, Phone) Available																																															
		MS-1790	Equipment Start Up	0	0		21-Feb-19																																											◆ Equipment Start Up																																															
		MS-1440	Start Functional Testing	0	0	28-Feb-19																																												◆ Start Functional Testing																																															
		MS-1760	Interior Finishes Complete	0	0		13-Mar-19																																											◆ Interior Finishes Complete																																															
		MS-1800	Test & Balance Complete	0	0		27-Mar-19																																											◆ Test & Balance Complete																																															
		MS-1810	Commissioning Complete	0	0		08-May-19																																											◆ Commissioning Complete																																															
		MS-1120	New Animal Care Shelter TCO	0	0		02-Jul-19																																																	◆ Start Training and Demonstrations																																									
		MS-1460	Complete Construction	0	0		02-Jul-19																																																	◆ Start FFE Installation																																									
		MS-1450	Start Training and Demonstrations	0	0	12-Jul-19																																																																																											
		MS-1470	Start FFE Installation	0	0	12-Jul-19																																																																																											
		MS-1830	Site Work Complete	0	0		15-Oct-19																																																							◆ Site Work Preconstruction Meeting																																			
		MS-1500	Complete Demobilization	0	0		20-Oct-19																																																							◆ Building Demo / Abatement Preconstruction Meeting																																			
	Phase 2		53	53	19-Jul-19	03-Oct-19																																																																																											
		MS-2000	Site Work Preconstruction Meeting	0	0		19-Jul-19																																																													◆ Site Work Preconstruction Meeting																													
		MS-2010	Building Demo / Abatement Preconstruction Meeting	0	0		19-Jul-19																																																													◆ Building Demo / Abatement Preconstruction Meeting																													
		MS-2060	Safe-Off Complete	0	0		23-Jul-19																																																													◆ Safe-Off Complete																													
		MS-2100	USADigs Scan Complete	0	0		26-Jul-19																																																													◆																													
		MS-2050	Site Clearing & Demo Complete	0	0		02-Aug-19																																																													◆																													
		MS-2110	Demo / Abatement Complete	0	0		06-Aug-19																																																													◆																													
		MS-2070	Site Utilities Complete / Tested	0	0		09-Sep-19																																																													◆																													
	MS-2090	Asphalt Paving Complete	0	0		03-Oct-19																																																													◆																														
Pre-Construction		276	28	13-Mar-17 A	08-May-18																																																																																												
Design Build Phase		169	0	13-Mar-17 A	02-Jan-18 A																																																																																												
Demo, Underground & Grading Package 1		131	0	23-May-17 A	02-Jan-18 A																																																																																												
	DES-1020	65% DD Demo, UG & Grading Dsgn/Pmt Pkg 1 (2d Partial Ac	15	0	23-May-17 A	24-May-17 A																																											◆ 65% DD Demo, UG & Grading Dsgn/Pmt Pkg 1 (2d Partial Activity)																																																
	DES-1240	**65% DD - Compl Remaining - Demo, UG & Grading Dsgn/F	13	0	18-Jul-17 A	03-Aug-17 A																																											◆ **65% DD - Compl Remaining - Demo, UG & Grading Dsgn/Pmt Pkg 1																																																
	DES-1040	**65% DD Demo, UG & Grading Dsgn/Pmt Pkg 1 Rev & Appr.	6	0	04-Aug-17 A	05-Sep-17 A																																											◆ **65% DD Demo, UG & Grading Dsgn/Pmt Pkg 1 Rev & Appr.																																																
	DES-1050	100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 0-50%	6	0	06-Sep-17 A	13-Sep-17 A																																											◆ 100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 0-50%																																																
	DES-1080	100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 50-100%	21	0	13-Sep-17 A	10-Oct-17 A																																											◆ 100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 50-100%																																																
	DES-1180	100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 Rev & Appr.	11	0	10-Oct-17 A	21-Nov-17 A																																											◆ 100% CD Demo, UG & Grading Dsgn/Pmt Pkg 1 Rev & Appr.																																																





County of San Mateo - Animal Care Shelter - April 2018 Working  
SMAS - All Act Report

- Remaining Level of Effort

Actual Level of Effort

Actual Work

Remaining Work
- Critical Remaining Work

Critical Milestone

Milestone

% Complete

[illegible]

[illegible]



[illegible]



[illegible]

[illegible]

[illegible]



[illegible]



ACTIVITY ID		ACTIVITY NAME	ORG DUR	REM DUR	START	FINISH	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D			
							0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0	2	1	0
	MNT-1230	Fire Alarm Testing	1	1	26-Sep-18	26-Sep-18																																					
	MNT-1240	Worklist & Corrections	3	3	27-Sep-18	01-Oct-18																																					
	MNT-1250	A&E Punchlist	3	3	27-Sep-18	01-Oct-18																																					
	MNT-1260	Punch List Corrections	3	3	26-Nov-18	28-Nov-18																																					
	Specialty Rooms		115	115	10-Sep-18	26-Feb-19																																					
	Multipurpose Room / Restrooms (Rooms 110A & 110B)		21	21	20-Nov-18	20-Dec-18																																					
	MPR-100	Hang Drywall (Walls & Ceiling)	2	2	20-Nov-18	21-Nov-18																																					
	MPR-100	Mud, Tape & Sand [Level 4 Finish]	4	4	26-Nov-18	29-Nov-18																																					
	MPR-100	Prime & Paint	2	2	30-Nov-18	03-Dec-18																																					
	MPR-100	MEP Fixtures & Trim	1	1	04-Dec-18	04-Dec-18																																					
	MPR-100	Install Ceramic Tile w/Epoxy Grout [Floor & Walls]	5	5	04-Dec-18	10-Dec-18																																					
	MPR-100	CFCI Installations; Casework, FEC's, FF&E, etc.	2	2	11-Dec-18	12-Dec-18																																					
	MPR-100	Install Plumbing Fixtures and Trim	2	2	11-Dec-18	12-Dec-18																																					
	MPR-100	Install Toilet Partitions	1	1	11-Dec-18	11-Dec-18																																					
	MPR-100	Install Toilet Accessories [Recessed & Semi-Recessed]	1	1	11-Dec-18	11-Dec-18																																					
	MPR-100	Install Fire Alarm Heat and Smoke Detectors	1	1	11-Dec-18	11-Dec-18																																					
	MPR-110	Worklist & Corrections	3	3	13-Dec-18	17-Dec-18																																					
	MPR-111	A&E Punchlist	3	3	13-Dec-18	17-Dec-18																																					
	MPR-112	Punch List Corrections	3	3	18-Dec-18	20-Dec-18																																					
	Feline / Exotics Kitchen (Room 403)		25	25	20-Nov-18	28-Dec-18																																					
	KIT-1000	Hang Drywall (Walls & Ceiling)	2	2	20-Nov-18	21-Nov-18																																					
	KIT-1010	Mud, Tape & Sand [Level 4 Finish]	4	4	26-Nov-18	29-Nov-18																																					
	KIT-1020	Prime & Paint	2	2	30-Nov-18	03-Dec-18																																					
	KIT-1030	MEP Fixtures & Trims	1	1	04-Dec-18	04-Dec-18																																					
	KIT-1040	Install Epoxy Resinous Flooring w/Cove Base	3	3	05-Dec-18	07-Dec-18																																					
	KIT-1050	Install F.R.P. at All Wall Surfaces	1	1	10-Dec-18	10-Dec-18																																					
	KIT-1060	Install Plastic Laminate Casework	2	2	11-Dec-18	12-Dec-18																																					
	KIT-1070	Install Stainless Steel Countertops	1	1	11-Dec-18	11-Dec-18																																					

County of San Mateo - Animal Care Shelter - April 2018 Working

SMAS - All Act Report

Remaining Level of Effort

Actual Level of Effort

Actual Work

Remaining Work

Critical Remaining Work

Critical Milestone

Milestone

% Complete

[illegible]

[illegible]



ACTIVITY ID		ACTIVITY NAME	ORG DUR	REM DUR	START	FINISH																																										
<div></div>	<div></div>	P2SI-11E	Set Site Lighting Poles	1	1	20-Sep-19	20-Sep-19																																									
		P2SI-11E	Grade / Form / Pour Sidewalk	4	4	23-Sep-19	26-Sep-19																																									
		P2SI-12C	Fine Grade & Place Base Rock at Paved Areas	2	2	30-Sep-19	01-Oct-19																																									
		P2SI-12C	Compaction Test	1	1	02-Oct-19	02-Oct-19																																									
		P2SI-12C	Place Asphalt Paving	1	1	03-Oct-19	03-Oct-19																																									
		P2SI-12C	Posted Parking Lot Signage	1	1	04-Oct-19	04-Oct-19																																									
		P2SI-12C	Install Flag Poles	2	2	04-Oct-19	07-Oct-19																																									
		P2SI-12C	Striping & Graphics	1	1	04-Oct-19	04-Oct-19																																									
		P2SI-12C	Install Site Related Bollards	2	2	04-Oct-19	07-Oct-19																																									
		P2SI-12C	Worklist & Corrections	3	3	08-Oct-19	10-Oct-19																																									
		P2SI-12C	A&E Punchlist	3	3	08-Oct-19	10-Oct-19																																									
		P2SI-12C	Punch List Corrections	3	3	11-Oct-19	15-Oct-19																																									
		Completion			159	159	28-Feb-19	14-Oct-19																																								
		CL-0900	Testing & Balancing	20	20	28-Feb-19	27-Mar-19																																									
		CL-0950	Commissioning	30	30	28-Mar-19	08-May-19																																									
		CL-1100	**Design Contingency - Proj. Extended into Winter - 5d Frmg / :	25	25	09-May-19	13-Jun-19																																									
		CL-1000	Architect Punch List and Corrections	10	10	14-Jun-19	27-Jun-19																																									
		CL-1010	Jurisdictional / Agency Final Inspections	10	10	19-Jun-19	02-Jul-19																																									
		CL-1020	New Animal Care Shelter TCO	0	0		02-Jul-19																																									
		CL-1050	Final Clean	5	5	03-Jul-19	11-Jul-19																																									
		CL-1090	Owner Training	5	5	12-Jul-19	18-Jul-19																																									
		CL-1060	Demo Remaining Structures & Complete New Parking Lots	62	62	19-Jul-19	14-Oct-19																																									
		Closeout			75	75	03-Jul-19	20-Oct-19																																								
		CL-1040	As-Builts, Closeout Documents & O&M's	20	20	03-Jul-19	01-Aug-19																																									
		CL-1030	Owner Moves	5	5	12-Jul-19	18-Jul-19																																									
		CL-1120	Owner Furniture Move In	5	5	12-Jul-19	18-Jul-19																																									
		CL-1070	Final Completion & Sign-Off	0	0		14-Oct-19																																									
		CL-1080	Demobilization	5	5	16-Oct-19	20-Oct-19																																									
		Submittals			53	53	30-Mar-18	13-Jun-18																																								
		Reinforcing Steel			45	45	11-Apr-18	13-Jun-18																																								
		SUBM-1050	Generate Submittal - Reinforcing Steel	10	10	11-Apr-18	24-Apr-18																																									
		SUBM-1370	Review & Approve - Reinforcing Steel	15	15	25-Apr-18	15-May-18																																									
		SUBM-1700	Submittal Approved - Reinforcing Steel	0	0		15-May-18																																									
		SUBM-2010	Fabricate & Deliver - Reinforcing Steel	20	20	16-May-18	13-Jun-18																																									
		Cast-in-Place Concrete			45	45	11-Apr-18	13-Jun-18																																								
		SUBM-1060	Generate Submittal - Conc	10	10	11-Apr-18	24-Apr-18																																									
		SUBM-1380	Review & Approve - Conc	15	15	25-Apr-18	15-May-18																																									
		SUBM-1710	Submittal Approved - Conc	0	0		15-May-18																																									
		SUBM-2020	Fabricate & Deliver - Conc	20	20	16-May-18	13-Jun-18																																									
		Concrete Penetrator & Sealer			45	45	11-Apr-18	13-Jun-18																																								
SUBM-1070	Generate Submittal - Conc Sealer	10	10	11-Apr-18	24-Apr-18																																											
SUBM-1390	Review & Approve - Conc Sealer	15	15	25-Apr-18	15-May-18																																											
SUBM-1720	Submittal Approved - Conc Sealer	0	0		15-May-18																																											
SUBM-2030	Fabricate & Deliver - Conc Sealer	20	20	16-May-18	13-Jun-18																																											
Concrete Finishes			45	45	11-Apr-18	13-Jun-18																																										
SUBM-1080	Generate Submittal - Conc Finishes	10	10	11-Apr-18	24-Apr-18																																											
SUBM-1400	Review & Approve - Conc Finishes	15	15	25-Apr-18	15-May-18																																											
SUBM-1730	Submittal Approved - Conc Finishes	0	0		15-May-18																																											
SUBM-2040	Fabricate & Deliver - Conc Finishes	20	20	16-May-18	13-Jun-18																																											
Mortar & Grout (CMU)			45	45	11-Apr-18	13-Jun-18																																										
SUBM-1090	Generate Submittal - Mortar / Grout	10	10	11-Apr-18	24-Apr-18																																											
SUBM-1410	Review & Approve - Mortar / Grout	15	15	25-Apr-18	15-May-18																																											
SUBM-1740	Submittal Approved - Mortar / Grout	0	0		15-May-18																																											
SUBM-2050	Fabricate & Deliver - Mortar / Grout	20	20	16-May-18	13-Jun-18																																											
Misc Metal & Fabrication			45	45	11-Apr-18	13-Jun-18																																										



[illegible]

[illegible]

[illegible]



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 11**

**Date: 4/25/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Extended GCs - Storm Drain System and Dog Yard Contamination

8011.1 Extended GCs - Storm Drain System and Dog Yard Contamination

\$137,615.19

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$137,615.19

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$137,615.19

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,346,992.97
The Contract Amount prior to this Change Order was	\$21,046,189.97
The Contract will be increased by this Change Order in the amount of	\$137,615.19
The new Contract Amount including this Change Order will be	\$21,183,805.16
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

See Attached CR 8011.1

(Signature)

By

By

See Attached CR 8011.1

By

Date

Date

See Attached CR 8011.1

Date





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8011.1

**Date:** 4/20/18

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Extended GCs - Storm Drain System and Dog Yard Contamination

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

Source: Other

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the Extended General Conditions as a result of the extra work performed investigating the underground Storm Drain piping system due to the unforeseen condition of the pipe from the Catch Basin being collapsed. All existing Storm Drain lines to remain and be part of the final SD system were requested to be investigated. Delay and associated costs up until the resubmittal of the storm drain plans on 2.7.2018 and the Dog Yard Animal Waste Contamination delaying resubmittal of package I till 3.27.2018. This delay impacted the Critical Path of the Schedule by 118 days with foreseen permit release by 4.28.18. See attached timelines for details.

If there are subsequent plan review comments these delays and costs may change.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0042	Field Office Administration					\$275,230.39	\$275,230.39
01-0210	Contingency (Deduct)					\$(137,615.20)	\$(137,615.20)
						Subtotal:	\$137,615.19
				COMPONENT 3 - BIT	\$0.00	2.70 %	\$0.00
				COMPONENT 1 - SELF PERFORM MARK-UP	\$0.00	15.00 %	\$0.00
				COMPONENT 2 - SUB MARK-UP	\$0.00	5.00 %	\$0.00
						<b>Total:</b>	<b>\$137,615.19</b>

**PHASE 1 PLAN CHECK SUBMITTED ON OCTOBER 10, 2017. (201 DAYS)**

Please note that FH CONSTRUCTION will require an extra 118 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: *[Signature]*  
Date: 4/23/18

**APPROVED: 4-23-18**

*[Signature: Robert J. Hennessy]*  
ROBERT J. HENNESSY OF



**F&H CONSTRUCTION**  
Spaces for life

**SCOPE: STORM DRAIN SYSTEM AND DOG YARD CONTAMINATION  
SAN MATEO COUNTY ANIMAL SHELTER  
4/20/2018**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	<b>DIVISION 1 - GENERAL CONDITIONS</b>					
	SCHEDULE					
	CRITICAL PATH DELAY	118	DAYS			
	F&H DESIGN EXTENDED OVERHEAD	118 ✓	DAYS	\$1,981.70 ✓	233,840.60 ✓	
	TESTING				BY OWNER	
	SUB - TOTAL OF ALL ABOVE				233,840.60 ✓	
	BUILDERS RISK INSURANCE					
	LIABILITY INSURANCE			BIT = 2.7%	6,313.70 ✓	
	PAYMENT & PERFORMANCE BOND					
	MARKUP - SUBCONTRACTOR (10%)				0.00	
	MARKUP - DIRECT COST (15%)				35,076.09 ✓	
	<b>TOTAL</b>				<b>275,230.39</b> ✓	



# ANIMAL SHELTER COUNTY OF SAN MATEO

1 Month Duration 1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>MISC. ITEMS</b>							
LAYOUT - FOREMAN ON SITE	24.0	HR	4.00	72.50			
TEMPORARY FENCE - RENT AFTER 12 MO	1,400.0	LF	0.25	0.00	350	0	350
OFFICE EQUIPMENT & SUPPLIES - MO	1.0	MO	375.00	0.00			
DRINKING WATER	1.0	MO	120.00	0.00			
SAFETY SUPPLIES	1.0	MO	210.00	0.00			
TRAILER MONTHLY	1.0	MO	621.00	0.00	621	0	621
STORAGE SHED (2 EACH)	2.0	EA	102.00	0.00	204	0	204
<b>TEMP UTILITIES</b>							
POWER - TIE-IN TO EXISTING							
CORDS & DISTRIBUTION - 30 MIN. / DAY	1.0	MO	100.00	787.50			
MONTHLY	1.0	MO	702.00	0.00			
TEMP HEAT & AIR CONTROL IN BUILDING	1.0	MO	1,000.00	787.50			
WATER							
HOSE & DISTRIBUTION	1.0	LS	50.00	300.00			
SECURITY CAMERA - START							
SECURITY CAMERA - MONTHLY	1.0	MO	650.00	0.00			
TELEPHONE							
MONTHLY	1.0	MO	250.00	0.00	250	0	250
MONTHLY CELL PHONE (PM, SUPER, PE)	3.0	MO	118.00	0.00	354	0	354
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 16 HRS / MO <i>150/Hr</i>	1.0	EA	2,400.00	0.00	2,400	0	2,400
AS-BUILTS PRINTING COSTS	1.0	LS	75.00	0.00	75	0	75
<b>OWNERS ITEMS</b>							
TRIPLE WIDE TRAILER FOR PUBLIC USAGE							
RAMPS AND TEMP ACCESS @ PUBLIC AREA	1.0	MO	105.00	0.00	105	0	105
TRAILER MONTHLY - TRIPLE WIDE	1.0	MO	1,257.00	0.00	1,257	0	1,257
SEPTIC ABOVE GROUND AT TRAILER							
HOLDING TANK RENTAL	1.0	EA	59.40	0.00	59	0	59
PUMP OUT TANKS	1.0	EA	162.00	0.00			
PORTABLE TOILET							
PORTABLE TOILET W/ SINK - 2	2.0	EA	108.60	0.00			
DUAL HANDWASH STATIONS	1.0	EA	65.40	0.00			
PUMP OUT AND SERVICE TOILETS	6.0	EA	43.20	0.00			
OWNER EQUIP - STORAGE SHED	2.0	EA	102.00	0.00			
<b>MISC. ITEMS</b>							
PORTABLE TOILETS							
PORTABLE TOILET W/ SINK	3.0	EA	102.60	0.00	308	0	308
DUAL HANDWASH STATIONS	1.0	EA	59.40	0.00			
PUMP OUT AND SERVICE TOILETS	12.0	EA	37.80	0.00			
BLUEPRINTING	1.0	MO	35.00	0.00			
ROAD AREA & MAINTENANCE / SITE CLEANING	1.0	MO	150.00	576.00			



SMALL TOOL PURCHASE & RENT	1.0	MO	350.00	0.00			
SHIPPING / MAIL	1.0	MO	120.00	0.00			
PROGRESS CLEANING - 1 HRS / DAY	1.0	MO	100.00	1,512.00			
DUMPSTERS / RECYCLING / LEED	1.0	EA	825.00	0.00			
YARD SERVICE	1.0	EA	275.00	0.00			
				<b>SUBTOTAL</b>	<b>5,983</b>	<b>0</b>	<b>5,983</b>

**SUPERVISION**

PROJECT MANAGER	1.0	MO	0.00	16,608.00	0	16,608	16,608
FIELD - SUPERINTENDENT	1.0	MO	0.00	15,916.00	0	15,916	15,916
FIELD - SITE FOREMAN 80 HRS/MO	1.0	MO	0.00	15,397.00			
PROJECT ENGINEER	1.0	MO	0.00	8,650.00	0	8,650	8,650
				<b>SUBTOTAL</b>	<b>0</b>	<b>41,174</b>	<b>41,174</b>

**VEHICLE ALLOWANCE**

PROJECT MANAGER	1.0	MO	600.00	0.00	600	0	600
FIELD - SUPERINTENDENT	1.0	MO	750.00	0.00	750	0	750
FIELD - ASSIST 50% OF TIME	1.0	MO	375.00	0.00			
PROJECT ENGINEER	1.0	MO	450.00	0.00	450	0	450
				<b>SUBTOTAL</b>	<b>1,800</b>	<b>0</b>	<b>1,800</b>

**SUBSISTENCE / TRAVEL**

PROJECT MANAGER	1.0	MO	0.00	770.00	0	770	770
FIELD - SUPERINTENDENT	1.0	MO	0.00	725.00	0	725	725
				<b>SUBTOTAL</b>	<b>0</b>	<b>1,495</b>	<b>1,495</b>

**HOUSING**

HOUSING - SHARED PM & SUPERINTENDENT	1.0	MO	3,500.00	0.00	3,500	0	3,500
BRIDGE TOLLS - 4 PER WEEK	12.0	EA	5.00	0.00	60	0	60
FAST PASS BYPASS - 4 PER WEEK	12.0	EA	3.50	0.00	42	0	42
				<b>SUBTOTAL</b>	<b>3,602</b>	<b>0</b>	<b>3,602</b>

**EQUIPMENT RENTAL**

FORKLIFT - BOOM TYPE	1.0	MO	2,420.00	0.00	2,420	0	2,420
MISCELLANEAOUS	1.0	MO	300.00	0.00			
				<b>SUBTOTAL</b>	<b>2,420</b>	<b>0</b>	<b>2,420</b>

**FUEL / OIL / MAINTENANCE**

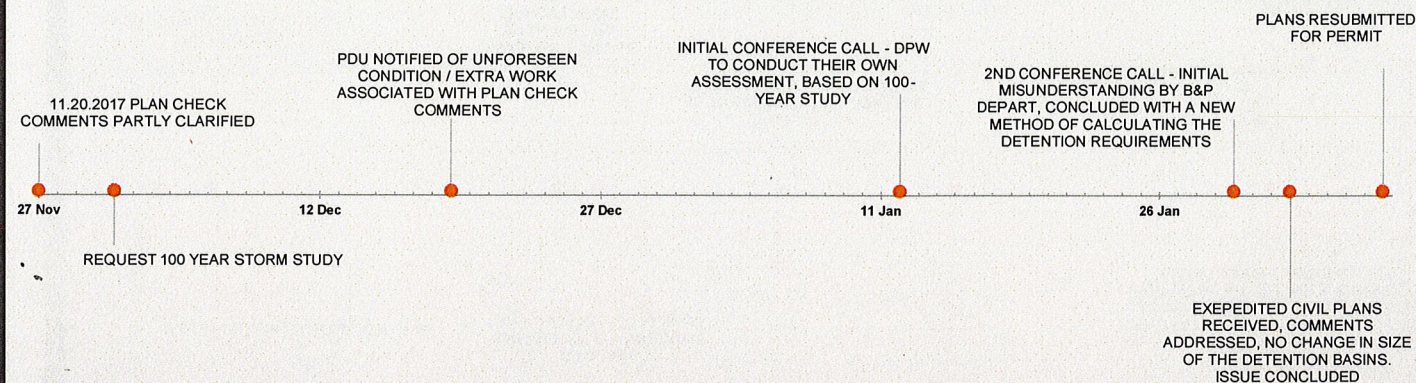
PROJECT MANAGER	1.0	MO	925.00	0.00	925	0	925
SUPERINTENDENT	1.0	MO	901.00	0.00	901	0	901
PROJECT ENGINEER	1.0	MO	400.00	0.00	400	0	400
FORKLIFT	1.0	MO	500.00	0.00	500	0	500
MISC. EQUIPMENT	1.0	MO	300.00	0.00			
MAINTENANCE	2.0	EA	125.00	0.00	250	0	250
				<b>SUBTOTAL</b>	<b>2,976</b>	<b>0</b>	<b>2,976</b>
				<b>TTL ABOVE</b>	<b>16,781</b>	<b>42,669</b>	<b>59,450</b>
				<b>DAILY OVERHEAD COSTS</b>		<b>1,981.7</b>	

(1) MONTH  
30 DAY



# SMAS - STORM WATER DETENTION, DESIGN DELAY

## TIMELINE

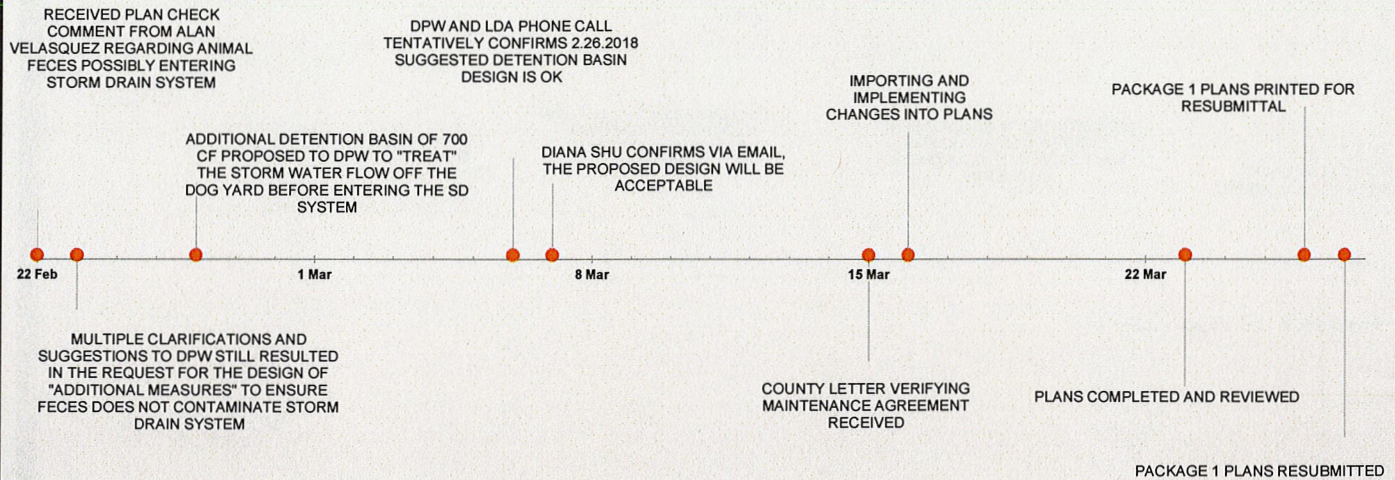


DATE	MILESTONE	NOTES
11/27/2017	11.20.2017 Plan Check Comments Partly Clarified	
12/1/2017	Request 100 Year Storm Study	EXPEDITED
12/19/2017	PDU Notified of Unforeseen Condition / Extra work associated with plan check comments	~350% INCREASE IN VOLUME OF DETETNION PONDS REQUESTED
1/12/2018	Initial Conference Call - DPW to conduct their own assessment, based on 100-Year Study	
1/30/2018	2nd Conference Call - Initial misunderstanding by B&P Depart, concluded with a new method of calculating the detention requirements	NO CHANGE IN SIZE OF PONDS NEEDED
2/2/2018	Expedited Civil plans received, comments addressed, no change in size of the Detention Basins. Issue concluded	EXPEDITED
2/7/2018	Plans resubmitted for permit	



## SMAS - DOG YARD CONTAMINATION, DESIGN DELAY

### TIMELINE



DATE	MILESTONE	DETAIL
2/22/2018	Received plan check comment from Alan Velasquez regarding animal feces possibly entering storm drain system	
2/23/2018	Multiple clarifications and suggestions to DPW still resulted in the request for the design of "additional measures" to ensure feces does not contaminate storm drain system	
2/26/2018	Additional detention basin of 700 CF proposed to DPW to "treat" the storm water flow off the dog yard before entering the SD system	
3/6/2018	Diana Shu confirms via Email, the proposed design will be acceptable	
3/7/2018	DPW and LDA phone call tentatively confirms 2.26.2018 suggested detention basin design is OK	
3/15/2018	County Letter verifying Maintenance agreement received	
3/16/2018	Importing and implementing changes into plans	
3/23/2018	Plans completed and reviewed	
3/26/2018	Package 1 Plans printed for resubmittal	
3/27/2018	Package 1 Plans resubmitted	
	Package 1 Permit Release Expected 4/28/2018	





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 12**

**Date: 5/7/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Design Modification and Upgrade Budget Adjustment - Package 1

8012 Design Modification and Upgrade Budget Adjustment - Package 1

\$398,643.84

Scott Gurley

Robert Hennessey

Sam Lin

Assistant Director

DocuSigned by:

4/16/2020

4/16/2020

*Scott Gurley*

D149DF838EF04D7...

DocuSigned by:

*Robert Hennessey*

AB3B77D60A0D483...

\$398,643.84

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$398,643.84

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,346,992.97 ✓
The Contract Amount prior to this Change Order was	\$21,046,189.97
The Contract will be increased by this Change Order in the amount of	\$398,643.84 ✓
The new Contract Amount including this Change Order will be	\$21,444,833.81 ✓ <i>RL</i>
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

*Daniel Hoff*

*Daniel Hoff*

*5/7/18*

*Sam Lin*

*5/7/18*

APPROVED: *5/7/18*  
*Robert J. Hennessey*  
ROBERT J. HENNESSEY P.E.

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

To: Robert Hennessy  
Jacobs

Date: 3/15/18

**Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT**

**Phone: 650-363-4100**

**Description:**

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Design modifications and upgrades from "Contract Price Qualifications Inclusions Exclusions Alternates - Revision 02.21.17," "12/20 Contract Drawings" and all associated exhibits included in contract dated March 15th, 2017 to "9/12/17 - 100% Civil Drawings, Delta 1 - 12/15/17 LDA." See attached documents.

Delay in design phase has pushed critical demolition, grading and foundation construction activities to periods of potentially higher weather related inefficiencies and impacts. Construction and weather related impacts are unknown. Additional design changes post "9/12/17 - 100% Civil Drawings, Delta 1 - 12/15/17 LDA" and impacts will be identified and recorded as they occur during construction. Schedule impacts are not fully known and not included in "Design Modification and Upgrade Budget Adjustment - Package 1"

Mark-up miscalculated from  
signed change order - reduce by  
\$150.00 ✓

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Daniel Hoff

Digitally signed by Daniel Hoff  
DN: C=US,  
E=dhoff@f-hconst.com, O=F&H  
Construction, CN=Daniel Hoff  
Reason: I am approving this  
document  
Date: 2019.12.16 12:09:29-08'00

Approved by:

Date:

APPROVED: 5-4-2018

Robert J. Hennessy  
ROBERT J. HENNESSY (P.E.)

SEE NOTES DATED IN "RED" 12/16/19

Robert J. Hennessy  
ROBERT J. HENNESSY P.E.





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8012  
Date: 3/15/18  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

### Description:

Reason: Design Change  
Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Design modifications and upgrades from "Contract Price Qualifications Inclusions Exclusions Alternates - Revision 02.21.17," "12/20 Contract Drawings" and all associated exhibits included in contract dated March 15th, 2017 to "9/12/17 - 100% Civil Drawings, Delta 1 - 12/15/17 LDA." See attached documents.

Delay in design phase has pushed critical demolition, grading and foundation construction activities to periods of potentially higher weather related inefficiencies and impacts. Construction and weather related impacts are unknown. Additional design changes post "9/12/17 - 100% Civil Drawings, Delta 1 - 12/15/17 LDA" and impacts will be identified and recorded as they occur during construction. Schedule impacts are not fully known and not included in "Design Modification and Upgrade Budget Adjustment - Package 1"

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Sound Absorbing Wall Units (Allowance #1)					\$(85,000.00)	\$(85,000.00)
01-0950	Dog Kennel T-Tops (Allowance #9)					\$(30,000.00)	\$(30,000.00)
01-0950	Owner Allowance Scope Revisions (Allowance #10)					\$(350,000.00)	\$(350,000.00)
02-4100	Hazardous Material				\$31,800.00		\$31,800.00
02-4100	Demolition				\$(69,057.00)		\$(69,057.00)
03-3000	Concrete, Building and Site				\$253,231.00		\$253,231.00
15-0300	Fire Protection					\$28,820.00	\$28,820.00
31-2200	Earthwork/ Site Utilities				\$259,111.00		\$259,111.00
31-2200	Earthwork/ Site Utilities				\$314,989.00		\$314,989.00
						Subtotal:	\$353,894.00
					\$703,894.00	5.00 %	\$35,194.70
					\$353,894.00	2.70 %	\$9,555.14
						Total:	\$398,643.84

Mark-up miscalculated from signed change order - reduce by \$150.00

If you have any questions, please contact me at (209)931-3738.

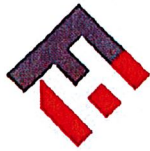
REVISED (IN RED): 5/7/18

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:   
Date: 5/14/2018

APPROVED: 5-4-2018

ROBERT J. HENNESSY P.E. 1 of 1



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8012  
Date: 3/15/18  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

### Description:

Reason: Design Change  
Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Design modifications and upgrades from "Contract Price Qualifications Inclusions Exclusions Alternates - Revision 02.21.17," "12/2

weather related inefficiencies and impacts

"9/12/17 - 100% Civil Drawings, Delta 1 - 12/15/17 LDA" and impacts will be identified and recorded as they occur during construction. Schedule impacts are not fully known and not included in "Design Modification and Upgrade Budget Adjustment - Package 1"

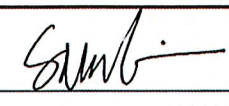
Additional design changes pos

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Sound Absorbing Wall Units (Allowance #1)					\$(85,000.00)	\$(85,000.00)
01-0950	Dog Kennel T-Tops (Allowance #9)					\$(30,000.00)	\$(30,000.00)
01-0950	Owner Allowance Scope Revisions (Allowance #10)					\$(350,000.00)	\$(350,000.00)
02-4100	Hazardous Material				\$31,800.00		\$31,800.00
02-4100	Demolition				\$(69,057.00)		\$(69,057.00)
03-3000	Concrete, Building and Site				\$253,231.00		\$253,231.00
15-0300	Fire Protection					\$28,820.00	\$28,820.00
31-2200	Earthwork/ Site Utilities				\$259,111.00		\$259,111.00
31-2200	Earthwork/ Site Utilities				\$314,989.00		\$314,989.00
						Subtotal:	\$353,894.00
					\$703,894.00	%	\$35,344.70
					\$353,894.00	%	\$9,555.14
						Total:	\$398,793.84

REVISED 5/7/18

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:  5/4/2018  
Date: \_\_\_\_\_

APPROVED: 5-4-2018

  
ROBERT J. HENNESSY P.E. Page 1 of 1



# EXHIBIT 1 - 2/21/2017 COST BREAKDOWN



PROJECT: ANIMAL SHELTER  
COUNTY OF SAN MATEO

SPEC. No.	DESCRIPTION	REVISED FLOOR PLAN BID AMOUNT	SUBCONTRACTOR / NOTES	NOTES / ADDITIONAL VE ITEMS USED
	MISC. SITE	5,259	F&H Construction	Delete Bike Lockers & Bike Loops to remain
	MISC. BUILDING	210,006	F&H Construction	Autoclave is included as an allowance of \$18,000.00
	MISC. STEEL INSTALL	17,419	F&H Construction	
	CONSTRUCTION STAKING	22,000		
031000 & 033000	BUILDING CONCRETE	919,380	Building & Barn (including rebar)	
321313	SITE CONCRETE	248,684		
032000	REBAR	W/ 031000	Included with Concrete 2 items above	
	MASONRY	495,400		
051200, 055500, 055133 &	STRUCTURAL & MISC. METALS	190,000		
	ROUGH CARPENTRY	1,191,190		
064100	CABINETS & CASEWORK	W/F&H Above	See items in grey above	
064023	INTERIOR ARCHITECTURAL WOODWORK	W/F&H Above	See items in grey above	
066400	FRP WALL PANES	38,600	Reduced by using bumper rails in main hallway	
	INSULATION	105,000	Increased as original had rigid at metal roof	
	CEMENT BOARD SIDING	245,118		
	METAL COMPOSITION SHINGLES ROOFING	339,522		
	SINGLE PLY ROOFING	W/ SHINGLES	With line above	
	CANOPIES - PRE-ENGINEERED	35,936	Canopies, Waste Stations, Dog Fountains	Dog Canopies & Benches only at the two large dog runs
	CANOPIES & BENCHES AT THE TWO MAIN DOG RUNS	20,654	Allowance #8	2 Dog Canopies & 2 Benches at 2 at Large Dog Runs
	DOORS AND FRAMES	106,255	Switched out HM for Storefront	
	DOOR HARDWARE	158,512	Switched out HM for Storefront	
	INSTALL DOORS/FRAMES/HARDWARE	90,000	Switched out HM for Storefront	
	STOREFRONT WINDOWS / GLASS / GLAZING	200,526	Switched out HM for Storefront	Remove 10 - 4'x6' Interior Windows from previous budget
092116	GYPSUM BOARD	347,000	Increased Acoustical in lieu of Hard Ceilings	
092100	PLASTER	43,900	Exterior Soffits at Dog Kennels	
	ACOUSTICAL CEILINGS	199,300	Increased Acoustical in lieu of Hard Ceilings	
	CLIPS FOR ACOUSTICAL CEILING	7,500	Clips added per list of rooms in Qualifications	
096513 & 096716 & 096816	RESILIENT BASE, SHEET FLOORING & RUBBER SHEET FLOORING	24,000	Sealed Concrete @ Interior	
096723	RESINOUS FLOORING	200,825	Cryl-A-Quartz by Duraflex, Floors Only	Includes 6" base
098413	SOUND ABSORBING WALL UNITS	85,000	Allowance #1	
099000	PAINTING & COATINGS	158,203		
	SIGNAGE	18,672		
	FIRE EXTINGUISHERS	W/F&H Above		
	TOILET PARTITIONS & ACCESSORIES	13,690		
109900	MISCELLANEOUS SPECIALTIES:			
	CONTROLLED SUBSTANCE CABINET	W/ F&H		
	PET DOORS	63,886	Shor-Line originally include partial	
	CENTRAL PRESSURE WASH SYSTEM	W/ Mech. Sub		
	CENTRAL VACUUM SYSTEM	W/ Mech. Sub		
	SKYLIGHTS / SONOTUBES	54,300	Includes 50 each - Added in lieu of Clearstory	
110001	ANIMAL CARE EQUIPMENT	386,840	Shor-Line (partial by others & with install)	Lighter (7 ga) gaged covers at Dog Kennels
	DOG KENNELS TOPS AS REQUESTED IN BRIDGING DOCUMENT	30,000	Allowance #9	Requested gaged covers at Dog Kennels
	LABOR TO INSTALL ANIMAL EQUIPMENT	165,880	Paul Cesare - Prevailing Wage Install	Original partial install was with Shor-Line number
	CAGES	See Allowance	Allowance is listed below	
	LARGE ANIMAL BARN	27,908	3 - 12x12 Barn Units	
	BARN YARD FENCING	4,447		Heavy Duty Chain Link in lieu of large animal barn fencing
	DUCK POND	11,800	Tanks, piping, concrete & misc.	
114000	FOOD SERVICE EQUIPMENT	72,697		Alternate layout & equipment
	LAUNDRY EQUIPMENT (FOB)	W/ Food Service		
123600	EPOXY RESIN COUNTERTOPS	W/F&H Above	See items in grey above	
124813	ENTRANCE FLOOR MATS AND FRAMES	0	Removed by previous Value Engineering	
210000	FIRE PROTECTION	277,640	Designed to NFPA-13 Standard	
220000	PLUMBING	1,822,000	Frank M Booth	Major plumbing modifications & reductions
230000	HVAC	1,519,000	Frank M Booth	Major HVAC modifications & reductions
DIV. 26, 27 & 28	ELECTRICAL	2,534,359	InterMountain Electric	See InterMountain Electric Information
	PA SYSTEM WITH 120 INTERIOR & 8 EXTERIOR SPEAKERS	101,400	Allowance #4	
	ATS / WIRING & OTHER SYSTEMS FOR TEMP POWER	85,000	Allowance #5	Generator - Owner to Provide
	HAZMAT REMOVAL	255,000	Allowance #3	
	DEMOLITION	334,057	See site number for savings	
DIV. 31	EARTHWORK (Fire Road is AB only)	887,000	Includes utilities & Demo Grinds w/ Demo	AB & Base provided by demo sub from demolition work
	STRIPING & SEAL COAT	23,500		
DIV. 33	SITE UTILITIES	W/ Earthwork	Included in Earthwork number	
323113	CHAIN LINK FENCE & GATES	142,430	Reduce to single gate & 6' perimeter fence	Save North fence at back of existing parking lot
	GATE OPERATOR (ADD \$20,000 FOR SLIDE GATES)	One Included	Includes 20 transmitters	Eliminated Front Gate & Operator
328000, 328500 & 329000	LANDSCAPE & IRRIGATION	129,000	Basic - Hydro Seeding	Minimal landscaping / Naturalize most areas
	OWNER ALLOWANCE - CAGES (See Exhibit F - FFE List)	70,000	Allowance #2	No Change - per Addendum #4
	TESTING	BY OWNER		
	GENERAL CONDITIONS	274,749		
	SUPERVISION	775,704		
	SUBSISTENCE / TRUCK ALLOWANCE	58,610		
	HOUSING	64,310		
	EQUIPMENT RENTAL	39,250		
	GAS, FUEL, MAINTENANCE	45,925		
	SWPPP	68,134		
	SUB - TOTAL OF ALL ABOVE	16,062,375		
	LIABILITY INSURANCE	177,488		
	BUILDERS RISK INSURANCE	59,098		
	BOND	148,049		
	O/H/PROFIT - CONSTRUCTION COSTS	986,821		
	GEO TECHNICAL REPORT	20,000		
	ARCHITECTURAL FEES	885,000		
	O/H/PROFIT - ARCHITECTURAL FEES	31,675		
	CONSTRUCTION CONTINGENCY	871,692	Contingency Item #1	
	REVISE ZONING OF HVAC SYSTEM	107,000	Allowance #7 - does not include fees but includes Bonds & Insurance.	
	OWNER ALLOWANCE FOR PROJECT SCOPE REVISIONS	350,000	Allowance #10 - does not include fees but includes Bonds & Insurance.	
	TOTAL	19,699,197		

Mark-up was not added to Owner Allowance in original budget. In attached change order, mark-up was added at 5.00%; BIT was previously incorporated and not added in change order at 2.7%

## ALTERNATE ITEMS NOT INCLUDED ABOVE (all items include insurance, bonds & Fee)

### ELECTRICAL ITEMS / ADD TO BRIDGING DOCUMENTS

Door Access - Original 6 Doors in the Bridging Documents	\$	88,878.00	Alternate #1
Door Access - Add 21 Doors to the original 6 Doors in the Bridging Documents noted in line above	\$	107,958.00	Alternate #2
Alternate to only install security conduit & trenching only to 24 doors	\$	42,950.00	Alternate #3
AV & AV Control Systems - add Cable back to MDF at each	\$	8,716.00	Alternate #4

### MISC. ITEMS TO ADD BACK THAT WERE REMOVED ABOVE

Landscaping that was removed - Base bid includes sleeves under concrete & AC, BFP & Hydro Seeding	\$	181,824.00	Alternate #5
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### MISC. ITEMS TO ADJUST OR ADD

Add in Shade Structure and Park Benches in Small Dog Yards (different than those in Allowance #9)	\$	23,577.00	Alternate #6
---	----	-----------	--------------

Need acceptance 6 months prior to completion of new building  
Need acceptance 6 months prior to completion of new building  
Need acceptance by completion of building pad grading  
Need acceptance by completion of building pad grading

Need acceptance 2 months prior to completion of new building

Need acceptance 3 months prior to completion of new building



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 13**

**Date: 9/21/2018**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

ZNE Measures - Photovoltaic System Carport/ Roof V4

8008 ZNE Measures - Photovoltaic System Carport/ Roof V4

\$1,066,659.62

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$1,066,659.62

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$1,066,659.62

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$1,883,252.00
The Contract Amount prior to this Change Order was	\$21,582,449.00
The Contract will be increased by this Change Order in the amount of	\$1,066,659.62
The new Contract Amount including this Change Order will be	\$22,649,108.62
The Contract Time will be increased by 15 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

SEE CHANGE REQUEST 8008  
(Signature)

By

By

By

Date

Date

Date

*Daniel Hoff*

*Daniel Hoff*

*9/21/18*

SEE CHANGE REQUEST 8008

SEE CHANGE REQUEST 8008





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.01**

**Change Order: 3**

**Date: 9/21/2018**

**To Contractor:**

INTERMOUNTAIN ELECTRIC COMPANY  
947 WASHINGTON STREET

SAN CARLOS, CA 94070

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

ZNE Measures - Photovoltaic System Carport/ Roof V4

Design, furnish and install 240 kW-DC carport photovoltaic system, approx. 20 kW will be installed on top of auxillary metal storage building.

Extra	Cost Code	Cat	Change Request	Description	Amount
	16-0100	S	8008	Intermountain Electric - PV System	\$920,493.03

The original Contract Amount was	\$2,482,359.00
Net change by previously authorized Change Orders	\$191,335.12
The Contract Amount prior to this Change Order was	\$2,673,694.12
The Contract will be increased by this Change Order in the amount of	\$920,493.03
The new Contract Amount including this Change Order will be	\$3,594,187.15
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

*Daniel Hoff*  
(Signature)

*Daniel Hoff*  
By

*9/21/18*  
Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.03 DB**

**Change Order: 5**

**Date: 9/21/2018**

**To Contractor:**

LDA PARTNERS  
222 CENTRAL COURT

STOCKTON, CA 95204

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

ZNE Measures - Photovoltaic System Carport/ Roof V4


Architectural, Structural and Civil Design coordination of 240 kW-DC carport photovoltaic system, approx. 20 kW will be installed on top of auxillary metal storage building.

Extra	Cost Code	Cat	Change Request	Description	Amount
	01-0200	S	8008	LDA Partners Design	\$9,692.00

The original Contract Amount was	\$885,000.00
Net change by previously authorized Change Orders	\$67,683.00
The Contract Amount prior to this Change Order was	\$952,683.00
The Contract will be increased by this Change Order in the amount of	\$9,692.00
The new Contract Amount including this Change Order will be	\$962,375.00
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

  
(Signature)

  
By

  
Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8008  
Date: 11/29/17  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** ZNE Measures - Photovoltaic System Carport/ Roof V4

Reason: Owner Request

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:


Design, furnish and install 240 kW-DC carport photovoltaic system, approx. 20 kW will be installed on top of auxillary metal storage building. Attached document include proposed layout and carport detail. The additional scope will add 15 working days to the construction schedule.

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0042 Field Office Administration					\$44,052.00	\$44,052.00
01-0200 LDA Partners Design				\$9,692.00		\$9,692.00
16-0100 Intermountain Electric - PV System				\$920,493.03		\$920,493.03
01-0950 Earthwork					\$11,046.00	\$11,046.00
					Subtotal:	\$985,283.03
		Markup - Subcontractor (5%)		\$930,185.03	5.00 %	\$46,509.25
		Markup - Direct Cost (15%)		\$55,098.00	15.00 %	\$8,264.70
			BIT	\$985,283.03	2.70 %	\$26,602.64
					Total:	\$1,066,659.62

Please note that FH CONSTRUCTION will require an extra 15 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Charles Ferrell  
F & H CONSTRUCTION

Approved by:   
Date: 8-16-18





**F&H CONSTRUCTION**  
Spaces for life

**SCOPE: V4 ZNE MEASURES - PHOTOVOLTAIC  
SAN MATEO COUNTY ANIMAL SHELTER**

SPEC. No.	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT COST	BUDGET AMOUNT	NOTES
01000	<b>DIVISION 1 - GENERAL CONDITIONS</b>					
	DESIGN					
	LDA PARTNERS (ROM)	1	LS	\$9,692.00	9,692	
	CONSTRUCTION	15	DAYS			
	F&H CONSTRUCTION EXTENDED OVERHEAD (SCOPE)	15	DAYS	\$2,936.80	44,052	
	<b>DIVISION 16 - ELECTRICAL</b>					
16000	ELECTRICAL	1	LS	\$920,493.03	920,493	
310000	<b>DIVISION 31 - EARTHWORK</b>					
	OFF-HAUL SPOILS	1	LS	\$11,046.00	11,046	
	TESTING				BY OWNER	
	<b>SUB - TOTAL OF ALL ABOVE</b>				985,283	
	BIT				26,603	
	MARKUP - SUBCONTRACTOR (5%)				46,509	
	MARKUP - DIRECT COST (15%)				8,265	
	<b>TOTAL</b>				<b>1,066,659.62</b>	



**ANIMAL SHELTER  
COUNTY OF SAN MATEO**

1 Month Duration      1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 2 HRS / MO	1.0	EA	300.00	0.00	300	0	300
<b>MISC. ITEMS</b>							
BLUEPRINTING	1.0	MO	700.00	0.00	700	0	700
SHIPPING / MAIL	1.0	MO	120.00	0.00	120	0	120
SUBTOTAL					1,120	0	1,120
<b>SUPERVISION</b>							
PROJECT MANAGER (40 HOURS)	1.0	MO	0.00	5,400.00	0	5,400	5,400
ASSISTANT PROJECT MANAGER (FULL TIME)	1.0	MO	0.00	15,051.00	0	15,051	15,051
SUBTOTAL					0	20,451	20,451
<b>VEHICLE ALLOWANCE</b>							
PROJECT MANAGER (40 HOURS)	1.0	MO	150.00	0.00	150	0	150
ASSISTANT PROJECT MANAGER (FULL TIME)	1.0	MO	500.00	0.00	500	0	500
SUBTOTAL					650	0	650
<b>HOUSING</b>							
BRIDGE TOLLS - 1 PER WEEK	4.0	EA	5.00	0.00	20	0	20
FAST PASS BYPASS - 1 PER WEEK	4.0	EA	3.50	0.00	14	0	14
SUBTOTAL					34	0	34
<b>FUEL / OIL / MAINTENANCE</b>							
PROJECT MANAGER	1.0	MO	50.00	0.00	50	0	50
ASSISTANT PROJECT MANAGER	1.0	MO	200.00	0.00	200	0	200
SUBTOTAL					250	0	250
TTL ABOVE					2,054	20,451	22,505
<b>DESIGN DAILY OVERHEAD COSTS</b>					<b>750.2</b>		



**ANIMAL SHELTER  
COUNTY OF SAN MATEO**

1 Month Duration      1.00

GENERAL REQS. & CONDITIONS DESCRIPTION	QTY.	UNIT	MATL. U. PRICE	LABOR U. PRICE	MATERIAL TOTAL	LABOR TOTAL	BID TOTAL
<b>MISC. ITEMS</b>							
LA YOUT - FOREMAN ON SITE	24.0	HR	4.00	72.50	96	1,740	1,836
TEMPORARY FENCE - RENT AFTER 12 MO	1,400.0	LF	0.25	0.00	350	0	350
OFFICE EQUIPMENT & SUPPLIES - MO	1.0	MO	375.00	0.00	375	0	375
DRINKING WATER	1.0	MO	120.00	0.00	120	0	120
SAFETY SUPPLIES	1.0	MO	210.00	0.00	210	0	210
TRAILER MONTHLY	1.0	MO	621.00	0.00	621	0	621
STORAGE SHED (2 EACH)	2.0	EA	102.00	0.00	204	0	204
<b>TEMP UTILITIES</b>							
POWER - TIE-IN TO EXISTING							
CORDS & DISTRIBUTION - 30 MIN. / DAY	1.0	MO	100.00	787.50	100	788	888
MONTHLY	1.0	MO	702.00	0.00	702	0	702
TEMP HEAT & AIR CONTROL IN BUILDING	1.0	MO	1,000.00	787.50	1,000	788	1,788
WATER							
HOSE & DISTRIBUTION	1.0	LS	50.00	300.00	50	300	350
SECURITY CAMERA - START							
SECURITY CAMERA - MONTHLY	1.0	MO	650.00	0.00	650	0	650
TELEPHONE							
MONTHLY	1.0	MO	250.00	0.00	250	0	250
MONTHLY CELL PHONE (PM, SUPER, PE)	3.0	MO	118.00	0.00	354	0	354
<b>PAPER WORK ITEMS</b>							
CPM SCHEDULING							
MONTHLY UPDATES - 16 HRS / MO	1.0	EA	2,400.00	0.00	2,400	0	2,400
AS-BUILTS PRINTING COSTS	1.0	LS	75.00	0.00	75	0	75
<b>OWNERS ITEMS</b>							
TRIPLE WIDE TRAILER FOR PUBLIC USAGE							
RAMPS AND TEMP ACCESS @ PUBLIC AREA	1.0	MO	105.00	0.00	105	0	105
TRAILER MONTHLY - DOUBLE WIDE	1.0	MO	1,257.00	0.00	1,257	0	1,257
SEPTIC ABOVE GROUND AT TRAILER							
HOLDING TANK RENTAL	1.0	EA	59.40	0.00	59	0	59
PUMP OUT TANKS	1.0	EA	162.00	0.00	162	0	162
PORTABLE TOILET							
PORTABLE TOILET W/ SINK - 2	2.0	EA	108.60	0.00	217	0	217
DUAL HANDWASH STATIONS	1.0	EA	65.40	0.00	65	0	65
PUMP OUT AND SERVICE TOILETS	6.0	EA	43.20	0.00	259	0	259
OWNER EQUIP - STORAGE SHED (IN & OUT COST)	2.0	EA	102.00	0.00	204	0	204
<b>MISC. ITEMS</b>							
PORTABLE TOILETS							
PORTABLE TOILET W/ SINK	3.0	EA	102.60	0.00	308	0	308
DUAL HANDWASH STATIONS	1.0	EA	59.40	0.00	59	0	59
PUMP OUT AND SERVICE TOILETS	12.0	EA	37.80	0.00	454	0	454
BLUEPRINTING	1.0	MO	35.00	0.00	35	0	35
ROAD AREA & MAINTENANCE / SITE CLEANING	1.0	MO	150.00	576.00	150	576	726



SMALL TOOL PURCHASE & RENT	1.0	MO	350.00	0.00	350	0	350
SHIPPING / MAIL	1.0	MO	120.00	0.00	120	0	120
PROGRESS CLEANING - 1 HRS / DAY	1.0	MO	100.00	1,512.00	100	1,512	1,612
DUMPSTERS / RECYCLING / LEED	1.0	EA	825.00	0.00	825	0	825
YARD SERVICE	1.0	EA	275.00	0.00	275	0	275
SUBTOTAL					12,562	5,703	18,265

**SUPERVISION**

PROJECT MANAGER	1.0	MO	0.00	16,608.00	0	16,608	16,608
FIELD - SUPERINTENDENT	1.0	MO	0.00	15,916.00	0	15,916	15,916
FIELD - SITE FOREMAN 80 HRS/MO	1.0	MO	0.00	15,397.00	0	15,397	15,397
PROJECT ENGINEER	1.0	MO	0.00	8,650.00	0	8,650	8,650
SUBTOTAL					0	56,571	56,571

**VEHICLE ALLOWANCE**

PROJECT MANAGER	1.0	MO	600.00	0.00	600	0	600
FIELD - SUPERINTENDENT	1.0	MO	750.00	0.00	750	0	750
FIELD - ASSIST 50% OF TIME	1.0	MO	375.00	0.00	375	0	375
PROJECT ENGINEER	1.0	MO	450.00	0.00	450	0	450
SUBTOTAL					2,175	0	2,175

**SUBSISTENCE / TRAVEL**

PROJECT MANAGER	1.0	MO	0.00	770.00	0	770	770
FIELD - SUPERINTENDENT	1.0	MO	0.00	725.00	0	725	725
SUBTOTAL					0	1,495	1,495

**HOUSING**

HOUSING - SHARED PM & SUPERINTENDENT	1.0	MO	3,500.00	0.00	3,500	0	3,500
BRIDGE TOLLS - 4 PER WEEK	12.0	EA	5.00	0.00	60	0	60
FAST PASS BYPASS - 4 PER WEEK	12.0	EA	3.50	0.00	42	0	42
SUBTOTAL					3,602	0	3,602

**EQUIPMENT RENTAL**

FORKLIFT - BOOM TYPE	1.0	MO	2,420.00	0.00	2,420	0	2,420
MISCELLANEOUS	1.0	MO	300.00	0.00	300	0	300
SUBTOTAL					2,720	0	2,720

**FUEL / OIL / MAINTENANCE**

PROJECT MANAGER	1.0	MO	925.00	0.00	925	0	925
SUPERINTENDENT	1.0	MO	901.00	0.00	901	0	901
PROJECT ENGINEER	1.0	MO	400.00	0.00	400	0	400
FORKLIFT	1.0	MO	500.00	0.00	500	0	500
MISC. EQUIPMENT	1.0	MO	300.00	0.00	300	0	300
MAINTENANCE	2.0	EA	125.00	0.00	250	0	250
SUBTOTAL					3,276	0	3,276
TTL ABOVE					24,335	63,769	88,104
					<b>DAILY OVERHEAD COSTS</b>		<b>2,936.8</b>

JOB: ANIMAL SHELTER REPLACEMENT - ZNE SOLAR CARPORTS  
CITY: SAN MATEO, CA

COMPOSITE MH RATE \$74.14

SELF PERFORM VERSION  
BAY AREA

By: F&H CONSTRUCTION  
Date: 12/18/17

COST CODE	BUILDING CONCRETE ITEMS BY PHASE	TAKEOFF QTY	U.O.M.	PRODUCTION RATE	U.O.M.	MATERIAL @ UNIT	PRICE	@ UNIT	LABOR PRICE	MH	EQUIPMENT @ UNIT	PRICE	SUBCONTRACT @ UNIT	PRICE	LINE TOTALS
03000	OFF-HAUL FOOTING SPOIL														
	OFF-HAUL - LOAD AT SITE (18 FOOTINGS, 12' X 6' X 2'6")	120	CY	9.5	CY/MH	\$0.99	\$119	\$7.80	\$936	12.6	\$3.75	\$450		\$0	\$1,506
	TRUCKING OF OFF-HAUL - 6 HOURS ROUND TRIP	120	CY	1	LS		\$0		\$0	0.0		\$0	\$68	\$8,100	\$8,100
	DUMP FEE FOR OFF-HAUL	120	CY	1	LS	\$12.00	\$1,440		\$0	0.0		\$0		\$0	\$1,440
							=====		=====	=====		=====		=====	=====
							\$1,559		\$936	12.6		\$450		\$8,100	\$11,046
03000	OFF-HAUL FOOTING SPOIL	1	LS												





DESIGNERS &amp; ARCHITECTS

18 December 2017

Mr. Daniel Hoff  
 Project Manager  
 F&H Construction  
 1115 East Lockeford Street  
 Lodi, CA 95240

Re: San Mateo Animal Shelter – Solar –Carports

Dear Daniel:

Listed below are anticipated additional hours to be expended by our team for the project design for the addition of the solar components for the San Mateo Animal Shelter.

Change Summary		LDA Partners		
Project:		San Mateo Animal Shelter		
Reference:		Solar - ZNE (carports)		
Name		Rate	Hours	Cost
Eric Wohle	Principal	\$ 200.00	4	\$ 800.00
Carolyn Natividad	Project Architect	\$ 175.00	10	\$ 1,750.00
Ramiro Rivas	Drafting	\$ 135.00	16	\$ 2,160.00
Thorton Thomasetti				
Theresa Curtis	Senior Associate	\$ 225.00	6	\$ 1,350.00
Sipan Yavarian	Project Engineer	\$ 180.00	10	\$ 1,800.00
O'Dell				
Mike Perzak	Principal	\$ 200.00	2	\$ 400.00
Eric Villalobos	Project Engineer	\$ 179.00	8	\$ 1,432.00
Total				\$ 9,692.00

If you have any questions, please let me know.

Cordially,

Eric W. Wohle, A.I.A., LEED ap  
 Partner

**Intermountain Electric**

947 Washington Street  
 San Carlos, CA 94070  
 Telephone: 650.591.7118  
 Fax: 650.591.7123

**F & H Construction**  
 Contact: Stephen Siebly

**CHANGE ORDER 12**  
**Date:** 6/6/2018  
**Project Name:** SMAS - Animal Shell  
**Project Number:** SMAS - Animal Shell  
**Page Number:** 1  
**REF:**

## PROPOSED CHANGE ORDER

### Work Description

Install a 240,120 W-DC (240.12kW) carport solar system

includes:

footing, carport structure, solar panel,s and inverter's and trenching. No off-haul of spoils are included

Please review all Add alternates on Carport Quote for additional features

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.

This price is good for acceptance within 10 days from the date of receipt.

We request a time extension of 3 days.

We will supply and install all materials, labor, and equipment as per your instructions on .

### Itemized Breakdown

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
Grounding	100	5.34	E	534.00	0.30	E	30.00
DC Wire	552	4.29	E	2,368.08	0.48	E	264.96
AC Conduit	552	25.60	E	14,131.20	0.40	E	220.80
Inverter	7	1.46	E	10.22	6.00	E	42.00
AC Wire	552	28.80	E	15,897.60	0.23	E	126.96
Carport A	1	250.00	E	250.00	1.00	E	1.00
Carport B	1	250.00	E	250.00	1.00	E	1.00
Carport C	1	250.00	E	250.00	1.00	E	1.00
Equip Gradall -Crane	1	3,040.00	E	3,040.00	1.00	E	1.00
Layout UG and Utility locating	1	975.00	E	975.00	8.00	E	8.00
AC Disco at Elect room	1	28.30	E	28.30	6.32	E	6.32
Foreman- Schedule ext	298	0.00	E	0.00	1.00	E	298.00
JW Schedule Ex	298	0.00	E	0.00	1.00	E	298.00
<b>Totals</b>	<b>2,365</b>			<b>37,734.40</b>			<b>1,299.04</b>

### Summary

General Materials		37,734.40
PANELS		223,000.00
CARPORT STRUCTURE		230,000.00
INVERTERS		30,022.44
A/C PNLS AND DISCO		18,445.00
SPREAD FOOTINGS		78,650.00
Material Tax (@ 9.250 %)		57,151.30
<b>Material Total</b>		<b>675,003.14</b>
GENERAL FOREMAN (38.97 Hrs @ \$153.86)		5,995.92

ORIGINAL

**PROPOSED CHANGE ORDER****Intermountain Electric**

947 Washington Street  
San Carlos, CA 94070

**F & H Construction**

**CHANGE ORDER 12**  
**Date:** 6/6/2018  
**Project Name:** SMAS - Animal Shelt  
**Project Number:** SMAS - Animal Shelt  
**Page Number:** 2  
**REF:**

**Summary (Cont'd)**

JOURNEYMAN 617	(297.51 Hrs @ \$142.66)	42,442.78
FOREMAN 617 @ 25%	(297.51 Hrs @ \$127.40)	37,902.77
Foreman- Schedule ext	(297.50 Hrs @ \$9.32)	2,772.70
JW- Schedule Ext	(297.50 Hrs @ \$6.61)	1,966.48
SAFETY @ 1%	(12.99 Hrs @ \$76.94)	999.45
ENGINEERING	(80.00 Hrs @ \$135.00)	10,800.00
<b>Subtotal</b>		<b>777,883.24</b>
<b>Markup</b>	(@ 15.000 %)	<b>108,109.79</b>
<b>Subtotal</b>		<b>885,993.03</b>
<b>Trenching</b>	(\$30,000.00 + 0.000 % + 0.000 % + 15.000 %)	<b>34,500.00</b>
<b>Subtotal</b>		<b>920,493.03</b>
<b>Final Amount</b>		<b>\$920,493.03</b>

**CONTRACTOR CERTIFICATION**

**Name:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

I hereby certify that this quotation is complete and accurate based on the information provided.

**CLIENT ACCEPTANCE**

**CHANGE ORDER 12**

**Final Amount: \$920,493.03**

**Name:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Signature:** \_\_\_\_\_

**Change Order #:** \_\_\_\_\_

I hereby accept this quotation and authorize the contractor to complete the above described work.

**ORIGINAL**

# SUNPOWER

## SunPower Commercial Quote

BOM Date : December 14, 2017

Quote No. 17-1529014 - valid until January 13, 2018

<b>SunPower: SunPower Corporation, a Delaware Corporation</b> <b>SunPower's Address &amp; Contact Information:</b> SunPower Corporation 77 Rio Robles San Jose, CA 95134 Phone: 1-855-977-7867 Fax: 1-408-877-1808		<b>Partner: InterMountain Electric Company</b> <b>Partner's Address &amp; Contact Information:</b> InterMountain Electric Company 947 Washington Street San Carlos, CA, 94070 Phone: (650) 591-7119 Fax: -	
<b>SunPower Partner Support Representative</b> Name: Chona Enriquez Phone number: 1-855-977-7867 Email: cvar.psr@sunpowercorp.com		<b>Partner Contact:</b> Name: Brandon Bradford Phone number: (650) 591-7118 Email: brandon@im-electric.com	

### PURCHASE INFORMATION

Opportunity Name:	San Mateo Animal Shelter		
System:	Item	Description	Base Price
	1.1	230,985 kWp SPR-E20-435-COM PV-Only	\$ 214,816.05
	1.2	Additional Items	\$ -
	1.3	Less: Inverter Bundle Credit	\$ -
	1.4	Sales Tax	Not Included
	1.5	Freight - Prepaid and added to final Invoice	Included
			<b>Total Base Amount \$ 214,816.05</b>

Pricing for SunPower commercial products on all new orders have two components: (1) a "Base Price" and (2) a "Variable Price". The "Total Price" will refer to the sum of the Base Price and the Variable Price.

a) Base Prices are reflected in this quotation, and reflect standard SunPower pricing. All amounts shown in this quotation will be interpreted as, and deemed to be, the product's "Base Price".

b) The Variable Price component of pricing will address any new taxes, tariffs or other variables which may affect the total cost to SunPower prior to the order delivery date. For instance, any new tariff resulting from the Section 201 trade case currently before the International Trade Commission is an example of a variable which would affect SunPower's costs and thereby result in a Variable Price component greater than zero.

c) As of the effective date of this quotation, the Variable Price is zero.

d) Without notice, SunPower may impose a Variable Price on all new orders in the event any new taxes, tariffs or other variables which may affect the total cost to SunPower are announced prior to the delivery date of such order.

e) SunPower will notify Dealers with open cash orders of the new Total Price resulting from the imposition of a Variable Price greater than zero. Dealers will have the right to cancel such orders within 5 calendar days of SunPower's notification of the new Total Price, and any down payments made by Dealer in respect of orders so cancelled will be returned to Dealers. If a Dealer does not respond to SunPower's notification of the new Total Price within 5 calendar days, the Dealer will be deemed to have accepted the new Total Price and waived its right to cancel the order.

### Terms of Sale:

**Schedule of Payments:**

- Down Payment of \$10,741 shall be due 60 days prior to confirmed delivery date.
- Pre-payment is due 7 days before Delivery Date if Invoice balance exceeds Partners's available credit.
- Final Invoice issued upon Proof of Delivery, payable in 0.

**Instructions to Place Order:** Submit Purchase Order (Include quote number from the top of this quote) to [cvar.psr@sunpowercorp.com](mailto:cvar.psr@sunpowercorp.com). PO must be submitted by an authorized employee. Once received, SunPower will confirm receipt of PO, product availability and requested delivery. Once accepted, orders cannot be canceled or changed without prior written approval by SunPower. An order is considered "accepted" after SunPower receives a valid purchase order from the Dealer. SunPower and the Dealer agree to schedule delivery date via email confirmation and the Dealer submits the required 5% non-refundable down payment 60 days prior to confirmed delivery date. Read "Ordering Guidelines for Commercial Dealers" for more information.

### Bill of Materials

ITEM	DESCRIPTION	Included In Standard System	Additional Items* (Optional)	Total EST QTY*
518081	PVM, SPR-E20-435-COM, 4 B1 PV4 1KV L	531	0	531

### NOTES:

- 1 BOM for PV-Only (Modules are silver framed)
- 2 BOM by CTE
- 3 Parts under Additional Items will be an additional cost to the System Price.





631 W Commerce Avenue • Gilbert, AZ 85233 • 480-926-0122 • Fax: 480-926-9178 • www.skylinesolaraz.com

### 1.3 ADDITIONAL OPTIONS AND POSSIBLE REQUIREMENTS ON TOP OF BASE PRICE

ADD:	Price	Initials of Acceptance	Option
	<u>\$23,250.00</u>		FOR (31) EXPOSED PIER FOOTINGS. (24" DIAMETER X 30" TALL)
<b>***Possible Requirement</b>	<u>\$4,825.00</u>		PER SPREAD SPREAD FOOTINGS BASED ON 12'-0" X 6'-0" X 2'-6". NOTE THIS MAY BE REQUIRED IF BORING HOLES CANNOT HAPPEN, WE WILL REVERT TO A SPREAD FOOTING CAUSING A PRICE INCREASE. NOTE: A GEOTECH REPORT CAN HELP TO PREDICT FUTURE SPREAD FOOTINGS.
ADD:	<u>\$7,750.00</u>		FOR (31) REBAR CAGES. (18" DIAMETER X 11'-6" TALL). REBAR CAGES ARE ONLY REQUIRED ON DSA JOBS.
ADD:	<u>\$14,725.00</u>		FINISH PAINT FOR (31) COLUMNS AND BEAMS.
ADD:	<u>\$36,500.00</u>		FOR HOT DIPPED GALVANIZING OF (31) COLUMN AND BEAMS ONLY.
ADD:	<u>\$18,525.00</u>		FOR INSTALLATION OF (528) DS-E20 Series SunPower (435W) 435 WATT SOLAR MODULES WITH DOUBLE TEK SCREW
ADD:	<u>\$2,775.00</u>		FOR SKYGRIP® A MODULE TOP-CLAMP WITH GROUNDING FUNCTION, ETL-LISTED UL467 FOR USE ON CARPORTS, GROUND MOUNTS, AND ROOFTOP RACKING SOLUTIONS, REMOVING THE NEED FOR GROUNDING LUGS COPPER WIRE AND FASTENERS, WITH DOUBLE TEK SCREW CONNECTION, WITH ELCO #EAF690 2" LONG SELF DRILLING TEK SCREWS, TEK SCREWS INCLUDED IN PRICE OF SKYGRIP CLAMPS.
ADD:	<u>\$1,850.00</u>		THRU BOLT CONNECTION/ OPTION FOR NOT GOING WITH A TEK SCREW.
ADD:	<u>\$3,700.00</u>		FOR SPOILS REMOVAL. SKYLINE SOLAR WILL NOT BE RESPONSIBLE FOR THE REMOVAL OF ANY SPOILS. <b>SPOILS IS FREE IF DUMPSTER/CONTAINER IS PROVIDED.</b> SKYLINE SOLAR WILL LOAD SPOILS INTO AN ON SITE DUMPSTER, IF A DUMPSTER IS PROVIDED IN ADVANCED BY OTHERS, OR WILL LOAD INTO A DUMPTRUCK, IF DUMPTRUCK IS PREARRANGED BY OTHERS, AS LONG AS SKYLINE SOLAR IS ON SITE. IF OPTIONED PRICE FOR SPOILS IS NOT SELECTED AND NO DUMPSTER OR DUMPTRUCK HAS BEEN PREARRANGED, SPOILS WILL BE PILED UP ON SITE AND NEED TO BE REMOVED BY OTHERS.
<b>***Possible Requirement</b>	<u>\$400.00</u>		FOR EACH LOW PROFILE EXPOSED PIERS IN PLANTERS. (6" x 24" DIA) *****THIS OPTION IS REQUIRED IF COLUMNS ARE LOCATED IN LANDSCAPING SUCH AS GRASS OR DIRT. IF NOT SELECTED PRIOR TO CONSTRUCTION. THIS WILL END UP BEING A <b>CHANGE ORDER</b> FOR COLUMNS THAT END UP BEING LOCATED IN LANDSCAPING. THIS CLAUSE IS ALSO LOCATED IN SECTION 3.2.15.
ADD:	<u>\$300.00</u>		FOR EACH HOLE THAT REQUIRES CONCRETE TO BE CUT BEFORE DRILLING CAN PROCEED
ADD:	<u>Included</u>	<u>Included</u>	FOR EACH HOLE THAT REQUIRES ASPHALT TO BE CUT BEFORE DRILLING CAN PROCEED
ADD:	<u>\$500.00</u>		FOR EACH PROFILE REQUEST FROM CUSTOMER TO REVISE OR REDESIGN THE STRUCTURE. THIS WILL CAUSE MORE WORK FOR THE ENGINEERS TO REVISE STRUCTURAL DRAWINGS OR CALCULATIONS.

X 18 = \$86,250.00

SMAS (Intermountain)



631 W Commerce Avenue • Gilbert, AZ 85233 • 480-926-0122 • Fax: 480-926-9178 • www.skylinesolaraz.com

## 1.2 Base Price

BASE PRICE FOR (FABRICATE & INSTALL)

ENGINEERING

TOTAL PRICE INCLUDING TAX FOR (FABRICATE & INSTALL)

\$216,550.00

\$7,200.00

\$223,750.00

BASE PRICE DOES NOT INCLUDE TAX OF ANY KIND. PRICE MAY CHANGE AFTER ENGINEERING HAS BEEN DONE. PRICE IS ONLY GOOD FOR (7) DAYS DUE TO THE DAILY FLUCTUATION IN STEEL PRICE. SKYLINE STEEL INC. RESERVES THE RIGHT TO REPRICE MATERIAL COST AT TIME OF AWARD.

MEMBERS AND CONNECTIONS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE  
LATEST EDITION OF AISC SPECIFICATIONS.  
EXCLUDES LANDSCAPE, TREE REMOVAL, LANDSCAPE IRRIGATION REMOVAL OR REPAIR.



11505 DUBLIN BLVD UNIT 1  
DUBLIN CA 94568-2854  
Phone: 925-557-3000  
Fax: 925-557-3030

To: INTERMOUNTAIN ELEC CO  
947 WASHINGTON STREET  
SAN CARLOS CA 94070-5316  
Attn: BRANDON BRADFORD  
Phone: 650-591-7118  
Fax: 650-591-7123  
Email:

Date: 12/14/2017  
Proj Name: SAN MATEO ANIMAL SHELTER  
GB Quote #: 0229052059  
Valid From: 12/14/2017  
Valid To: 01/13/2018  
Contact: MELODY CERRADO  
Email: melody.cerrado@graybar.com

### Proposal

We Appreciate Your Request and Take Pleasure In Responding As Follows

Item	Quantity	Supplier	Catalog Nbr	Description	Price	Unit	Ext.Price
100	7 EA	SMA	SUNNY TRIPOWER 30000TL		\$3,850.34	1	\$26,952.38
***Item Note:*** SMA, Sunny Tripower 30000TL INVERTER ONLY, Grid tied Inverter, 3-Ph, 30kW, 480VAC, 60Hz, 1000VDC, with Installed SWDM-US-10, (Use with DC Disconnect: CU 1000-US-10, #580-0113), STP30000TL-US-10							
200	7 EA	SMA	SUNNY TRIPOWER DC CONNECTION UNIT		\$438.58	1	\$3,070.06
***Item Note:*** SMA, Sunny Tripower DC Connection Unit, order this item separately in addition to STP 12/ 15/ 20/ 24000TL-US-10 Inverters, 600V & 1000V, (add 16 midget 1000VDC fuses #540-0090), CU1000-US-10							

Total In USD (Tax not Included):

\$30,022.44

INVERTERS

This equipment and associated installation charges may be financed for a low monthly payment through Graybar Financial Services (subject to credit approval). For more information call 1-800-241-7408 to speak with a leasing specialist.

To learn more about Graybar, visit our website at [www.graybar.com](http://www.graybar.com)

24-Hour Emergency Phone#: 1-800-GRAYBAR

Subject to the standard terms and conditions set forth in this document. Unless otherwise noted, freight terms are F.O.B. shipping point prepaid and bill.  
Unless noted the estimated ship date will be determined at the time of order placement.



**F&H CONSTRUCTION**

Spaces for life

California Main Office:

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 14****Date: 10/4/2018****Architect's Project:****To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Water Main Relocation - Burlingame

8016 Water Main Relocation - Burlingame

\$286,761.25

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

Scott Gurley

D149DF838EF04D7...

DocuSigned by:

Robert Hennessy

AB3B77D60A0D483...

\$286,761.25

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$286,761.25

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$2,949,911.62
The Contract Amount prior to this Change Order was	\$22,649,108.62
The Contract will be increased by this Change Order in the amount of	\$286,761.25
The new Contract Amount including this Change Order will be	\$22,935,869.87
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

Daniel Hoff

12/10/18





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8016  
**Date:** 8/28/18  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Water Main Relocation - Burlingame

**Reason:** Design Change

**Initiated by:** San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Added water main and onsite water utilities per Plan Check #5 dated 8/8/18. See Attached Drawings.

Additional fees for meters, special inspections not included.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0200	Property Line Survey				\$25,000.00		\$25,000.00
01-0200	Drafting/Engineering				\$5,175.00		\$5,175.00
31-2200	Water Main Modifications and ACP Removal				\$177,996.00		\$177,996.00
31-2200	Water Main Onsite Modifications				\$47,969.02		\$47,969.02
31-2200	Traffic Control (Self-Performed)					\$3,500.00	\$3,500.00
						Subtotal:	\$259,640.02
				COMPONENT 3 - BIT	\$259,640.02	2.70 %	\$7,010.28
				COMPONENT 1 - SELF PERFORM MARKUP	\$3,500.00	15.00 %	\$525.00
				COMPONENT 2A - DESIGN PROFESSIONAL MARKUP	\$30,175.00	5.00 %	\$1,508.75
				COMPONENT 2B - SUBCONTRACTOR MARKUP	\$225,965.02	8.00 %	\$18,077.20
						<b>Total:</b>	<b>\$286,761.25</b>

\* City of Burlingame agreed to  
reimburse less \$25,000 -

OK

(B/B to City of Burlingame)  
and get reimbursed (\$286,761.25 - 25,000)

Please note that FH CONSTRUCTION will require an extra 5 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: Sam Li 11/29/18  
Date: \_\_\_\_\_

**APPROVED AMOUNT: \$286,761.25**  
Robert J. Hennessy  
ROBERT J. HENNESSY DE



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8015

Date: 8/27/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Finish Floor Elevation - BFE +1

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Raise the finish floor elevation by 1' to be meet Section 6 of ASCE 24.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200	Grading				\$94,521.83		\$94,521.83
						Subtotal:	\$94,521.83
				COMPONENT 3 - BIT	\$94,521.83	2.70 %	\$2,552.09
				COMPONENT 1 - SELF PERFORM MARK-UP	\$0.00	15.00 %	\$0.00
				COMPONENT 2 - SUB MARK-UP	\$94,521.83	8.00 %	\$7,561.75
						Total:	\$104,635.67

*\* This change request to be bill against  
F&H construction contingency unless proven  
otherwise. Sam 9/26/18*

Please note that FH CONSTRUCTION will require an extra 3 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$104,635.67

*Robert J. Hennessy*



## TEICHERT CONSTRUCTION

Pleasanton Office  
5200 Franklin Drive, Suite 115  
Pleasanton, CA 94588  
(925) 621-5700 Main  
(925) 621-5799 Fax  
DIR No.: 1000002575

August 27, 2018

via e-mail: DHoff@F-HConst.com

Mr. Daniel Hoff  
F & H Construction  
1115 East Lockeford Street  
Lodi, California 95240

Re: San Mateo County Animal Shelter Relocation – Earthwork/Grading Change (Plan Check #5)  
San Mateo, CA

Dear Daniel,

The additional cost for the grading changes per Plan Check No. 5 (dated August 8, 2018) is \$94,521.83; Furnish and place imported fill per plan revision.  
The breakdown of the additional cost is as follows:

Labor:	\$20,546.82
Equipment:	\$12,152.67
Materials:	\$8,205.00
Trucking:	\$38,290.00
Subcontractor:	\$5,200.00
Sub-Totals:	\$84,394.49
12% Markup:	\$10,127.34
Totals:	\$94,521.83

The cost is for placement of additional imported fill material to meet the revised grades as shown on Sheet C1.04. The added volume of soil is approximately 3,125 cubic yards.

We will need a contract change order prior to proceeding with the work.

Thank you for the opportunity to provide our quotation for this project.

Sincerely,

Teichert Construction

*Rick Morales*

Rick Morales  
Estimator  
Telephone No. (925) 621-5704





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 15**

**Date:** 12/10/2018

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Finish Floor Elevation - BFE +1

8015 Finish Floor Elevation - BFE +1

\$104,635.67

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$104,635.67

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$104,635.67

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$3,236,672.87
The Contract Amount prior to this Change Order was	\$22,935,869.87
The Contract will be increased by this Change Order in the amount of	\$104,635.67
The new Contract Amount including this Change Order will be	\$23,040,505.54
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

(Signature)

By

By

By

Date

Date

Date

*Daniel Hoff*

*Daniel Hoff*

*12/10/18*

See Change Request 8015

See Change Request 8015

See Change Request 8015





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8015  
Date: 8/27/18  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** Finish Floor Elevation - BFE +1

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Raise the finish floor elevation by 1' to be meet Section 6 of ASCE 24.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200	Grading				\$94,521.83		\$94,521.83
						Subtotal:	\$94,521.83
				COMPONENT 3 - BIT	\$94,521.83	2.70 %	\$2,552.09
				COMPONENT 1 - SELF PERFORM MARK-UP	\$0.00	15.00 %	\$0.00
				COMPONENT 2 - SUB MARK-UP	\$94,521.83	8.00 %	\$7,561.75
						Total:	\$104,635.67

*\* This change request to be bill against  
F&H construction contingency unless proven  
otherwise. Sam 9/26/18*

Please note that FH CONSTRUCTION will require an extra 3 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$104,635.67

*Robert J. Hennessy*

## Daniel Hoff

---

**From:** Daniel Hoff  
**Sent:** Friday, December 07, 2018 10:53 AM  
**To:** Robert Hennessy  
**Cc:** Brendan Corbett; Stephen Seibly; Sam Lin; Todd Larose  
**Subject:** RE: Animal Shelter - Raise Finish Floor Elevation (1 FT)  
**Attachments:** SMCAS - Exhibit 2 - Drawings.pdf

Bob,

F&H considers raising the finish floor elevation by 1' as a contractual scope change. The original scope as indicated in Exhibit 2 - Drawings states the finish floor elevation as 10'. As currently designed, the finish floor elevation is 11'. This change occurred subsequent to our executed agreement, dated March 15th, 2017. In Article 4, 4.01 which includes the above referenced Exhibit 2 - Drawings, it states: "Project and Contract Qualification and Inclusions (and Attachments) dated February 17, 2017. In the event of conflicts with other contract documents, this document shall have precedence." Thus, the change in elevation results in a change in scope and owner change order, not to be funded through the contractor's contingency.

Thanks,

Daniel Hoff / LEED AP BD+C  
(209) 931-3738 PHONE  
(209) 269-6327 MOBILE  
(209) 931-4427 FAX  
dhoff@f-hconst.com

1115 East Lockeford Street, Lodi, CA 95240 WWW.F-HCONST.COM

☐ Please consider the environment before printing this email.

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-----Original Message-----

From: Robert Hennessy <c\_rhennessy@smcgov.org>  
Sent: Friday, November 30, 2018 1:41 PM  
To: Daniel Hoff <dhoff@f-hconst.com>  
Cc: Brendan Corbett <bcorbett@f-hconst.com>; Stephen Seibly <sseibly@f-hconst.com>; Sam Lin <slin@smcgov.org>  
Subject: Animal Shelter - Raise Finish Floor Elevation (1 FT)  
Importance: High

Hi Daniel & Team,

Attached is the approval of costs associated with raising the building finish floor by 1 FT to meet flood requirements.

We understand that this issue was overlooked during the initial site and building design, however, it was brought to the attention of the Design Build Team during the Plan Check review process by the County Building, Planning and DPW.

In view of the above, this item will not be a Change Order to the Contract resulting in an increase in the overall Contract amount, but

rather a Change Request that will be paid for out of the Construction Contingency category within the Contract.

Should you have any questions, please contact me.

Thank you,

Bob

Robert J. Hennessy PE  
Senior Project Manager  
(Independent Contractor)  
c\_rhennessy@smcgov.org

Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
925-997-2956 C  
www.smcpcdu.org

-----Original Message-----

From: CMO\_PDU\_Pinnacles [mailto:CMO\_PDU\_Pinnacles@smcgov.org]  
Sent: Friday, November 30, 2018 1:23 PM  
To: Robert Hennessy <c\_rhennessy@smcgov.org>  
Subject: Send data from 3505acEIDSMC023 11/30/2018 13:22

Scanned from 3505acEIDSMC023  
Date:11/30/2018 13:22  
Pages:2  
Resolution:300x300 DPI  
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**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 16**

**Date:** 1/18/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Design Modification and Upgrade Budget Adjustment - Package 2

8014 Design Modification and Upgrade Budget Adjustment - Package 2

\$662,069.41

Scott Gurley

Robert Hennessy

Sam Lin

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$662,069.41

Assistant Director

4/16/2020

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$662,069.41

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$3,341,308.54
The Contract Amount prior to this Change Order was	\$23,040,505.54
The Contract will be increased by this Change Order in the amount of	\$662,069.41
The new Contract Amount including this Change Order will be	\$23,702,574.95
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8014  
(Signature)

By

By

See Change Request 8014

Date

Date

See Change Request 8014  
Date





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8014  
Date: 8/27/18  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

Description: Design Modification and Upgrade Budget Adjustment - Package 2

Reason: Design Change

We are pleased to offer the following specifications and pricing to make the following changes:

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950 Package 2 Budget Adjustment					\$530,201.98	\$530,201.98
					Subtotal:	\$530,201.98
		COMPONENT 3 - BIT		\$530,201.98	2.70 %	\$14,315.45
		COMPONENT 1 - SELF PERFORM MARK-UP		\$604,416.92	15.00 %	\$90,662.54
		COMPONENT 2 - SUB MARK-UP		\$537,788.82	5.00 %	\$26,889.44
					Total:	\$662,069.41

**NOTE: PACKAGE 2 INCLUDED AUTHORIZATION FOR ALLOWANCE #2 AT FULL VALUE OF \$70K.**

**TOTAL COST REVISED TO: \$732,069.41**  
**ALLOWANCE OFFSET OF: \$(70,000.00)**  
**NET TOTAL C.V. INCREASE: \$662,069.41**

**NOTE 2: PACKAGE 2 INCLUDED ALL ROM'S APPROVED PRIOR FOR C/O's #1, 2, 3, 5 & 7, AND RECONCILED THE ACTUAL BID AMOUNTS TO CLOSE THESE ITEMS. ALL OVERAGES WERE CHARGED TO C/O #16 COSTS, AND ALL UNUSED AMOUNTS CREDITED TO COUNTY IN THE TOTAL COST OF C/O #16.**

**SEE NOTES DATED IN "RED" 12/16/19**

*Robert J. Hennessy*  
**ROBERT J. HENNESSY P.E.**  
If you have any questions, please contact me at (209) 931-3738.

OK. Sub. - \$662,069.41

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: *[Signature]*

Date: 17 Jan 19

**APPROVED AMOUNT: \$662,069.41**

*Robert J. Hennessy* 1/17/2019



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessey  
Jacobs

Number: 8014

Date: 8/27/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

Description: Design Modification and Upgrade Budget Adjustment - Package 2

Reason: Design Change

We are pleased to offer the following specifications and pricing to make the following changes:

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Package 2 Budget Adjustment					\$530,201.98	\$530,201.98
						Subtotal:	\$530,201.98
			COMPONENT 3 - BIT		\$530,201.98	2.70 %	\$14,315.45
			COMPONENT 1 - SELF PERFORM MARK-UP		\$604,416.92	15.00 %	\$90,662.54
			COMPONENT 2 - SUB MARK-UP		\$537,788.82	5.00 %	\$26,889.44
						Total:	\$662,069.41

OK. Sub - for \$662,069.41

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by:   
Date: 17 Jan 19

APPROVED AMOUNT: \$662,069.41

Robert J. Hennessey 1/17/2019



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 17**

**Date: 3/21/2019**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

COR 8013 - PG&E Gas line - Unforeseen Condition

8013 COR 8013 - PG&E Gas line - Unforeseen Condition

Scott Gurley

Robert Hennessy

Sam Lin

\$67,814.86

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$67,814.86

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$67,814.86

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,003,377.95
The Contract Amount prior to this Change Order was	\$23,702,574.95
The Contract will be increased by this Change Order in the amount of	\$67,814.86
The new Contract Amount including this Change Order will be	\$23,770,389.81
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8013

(Signature)

By

By

See Change Request 8013

By

See Change Request 8013

Date

Date

Date





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8013

Date: 6/7/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** COR 8013 - PG&E Gas line - Unforeseen Condition

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the work tracked Time and Material (T&M) to allow PG&E to tap the natural gas main under Airport BLVD and set the new gas meter.

This includes but is not limited to:

- Creation, implementation and maintenance of the Traffic Control Plan
- Rental, set up and tear down of associated Traffic control Equipment (K-Rails, cones, signs...)
- City of San Mateo Business license and encroachment permit
- Labor, material and equipment to dig, bed and backfill the trench and bellhole required by PG&E per PM35020461
- Form and pour the required gas meter concrete pad
- remobilization to remove tree stumps and AC paving left due to live gas line onsite

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
02-0999	Encroachment Permit					\$1,302.00	\$1,302.00
02-0999	T&M Tags 5.22.2018-8.24.2018 (see Spreadsheet)					\$21,716.71	\$21,716.71
02-0999	Traffic Control Equipment Rental (6 invoices)					\$12,877.47	\$12,877.47
02-0999	Extended Job Costs (60 days Per TIA #005)					\$176,208.00	\$176,208.00
02-4100	Demolition - ReMob				\$2,210.00		\$2,210.00
15-0500	Plumbing - Tie in Temp gas /new meter				\$2,810.54		\$2,810.54
02-0999	Natural Gas Trailer (3 invoices + misc signs + FE)				\$18,670.00		\$18,670.00
02-0999	Heat Tape for Gas Trailer (Grainger)		\$151.00				\$151.00
01-0210	Contingency Draw - Extended Job Cost					\$(176,208.00)	\$(176,208.00)
						Subtotal:	\$59,737.72
COMPONENT 3 - BIT					\$59,737.72	2.70 %	\$1,612.92
COMPONENT 1 - SELF PERFORM MARK-UP					\$36,047.18	15.00 %	\$5,407.08
COMPONENT 2 - SUB MARK-UP					\$23,690.54	5.00 %	\$1,184.53
SALES TAX MU DEDUCT					\$849.24		\$-127.39
						Total:	\$67,814.86

**NOTE:**

THE AMOUNT OF \$176,208.00 TO BE CHARGED TO THE CONSTRUCTION CONTINGENCY.

SEE COR 8013 FOR BACKUP DATA.

APPROVED AMOUNT: \$67,814.86

Robert J. Hennessy  
ROBERT J. HENNESSY P.E.



# Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 3/21/2019

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
ANIMAL SHELTER REPLACEMENT (10-16-5466)		Change Order Number: 17 COR 8013 - PG&E Gas line - Unforeseen Condition					
Change Request No. 8013 Internal: No							
Scope:		This COR covers the work tracked Time and Material (T&M) to allow PG&E to tap the natural gas main under Airport BLVD and set the new gas meter.					
		This includes but is not limited to:					
		<ul style="list-style-type: none"> <li>-Creation, implementation and maintenance of the Traffic Control Plan</li> <li>-Rental, set up and tear down of associated Traffic control Equipment (K-Rails, cones, signs...)</li> <li>-City of San Mateo Business license and encroachment permit</li> <li>-Labor, material and equipment to dig, bed and backfill the trench and bellhole required by PG&amp;E per PM35020461</li> <li>-Form and pour the required gas meter concrete pad</li> <li>-remobilization to remove tree stumps and AC paving left due to live gas line onsite</li> </ul>					
5466.02	44550	FRANK M BOOTH INC	15-0500	S		Plumbing - Tie in Temp gas /new meter	2,810.54
5466.06	25679	CAMPANELLA CORPORATION	02-4100	S		Demolition - ReMob	2,210.00
Change Order 17 total							5,020.54



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.06**

**Change Order: 1**

**Date: 3/21/2019**

**To Contractor:**

CAMPANELLA CORPORATION  
2216 DUNN ROAD

HAYWARD, CA 94545

Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.

**The Contract is changed as follows:**

COR 8013 - PG&E Gas line - Unforeseen Condition

Re-mobilization due to unforeseen condition - Gas Line

Extra	Cost Code	Cat	Change Request	Description	Amount
	02-4100	S	8013	Demolition - ReMob	\$2,210.00

The original Contract Amount was \$551,800.00

Net change by previously authorized Change Orders \$0.00

The Contract Amount prior to this Change Order was \$551,800.00

The Contract will be increased by this Change Order in the amount of \$2,210.00

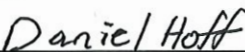
The new Contract Amount including this Change Order will be \$554,010.00

The Contract Time will be unchanged.

The date of Substantial Completion as of the date of this Change Order therefore is

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

  
(Signature)

By 

Date 3/21/19



2216 Dunn Rd. Hayward, CA 94545  
Phone: 510-536-4800

Contractors Lic. 750648  
Fax: 510-536-6132

**Proposal Only**

Attention: Brendan Corbett  
Name: F&H Construction  
Address: 1115 East Lockeford Street  
Lodi, CA 95240

Date: 9/4/2018

Campanella Corporation Job Number: 18-7009

**Reference: Animal Shelter - San Mateo**

This proposal is based on the following Information:

**Specific Scope of Work:**

- 1 This additional mobilization is due to the gas trailer being in the way of demolition during Phase 1
- 2 Additional mobilization of equipment to continue/finish phase 1 demolition
- 3 Production loss for Operator, Laborer and Excavator
- 4 Trucking and disposal is already included in the base bid
- 5 Work performed on 9-4-18

**Lump Sum: \$2,210.00**

Sincerely,

Campanella Corporation

*CJ Matthews*

CJ Matthews  
Estimator/Project Manager  
Cel: 510-715-9701

# Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 3/21/2019

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
ANIMAL SHELTER REPLACEMENT (10-16-5466) Change Order Number: 17 COR 8013 - PG&E Gas line - Unforeseen Condition							
Change Request No. 8013 Internal: No							
Scope: This COR covers the work tracked Time and Material (T&M) to allow PG&E to tap the natural gas main under Airport BLVD and set the new gas meter.							
This includes but is not limited to:							
-Creation, implementation and maintenance of the Traffic Control Plan							
-Rental, set up and tear down of associated Traffic control Equipment (K-Rails, cones, signs...)							
-City of San Mateo Business license and encroachment permit							
-Labor, material and equipment to dig, bed and backfill the trench and bellhole required by PG&E per PM35020461							
-Form and pour the required gas meter concrete pad							
-remobilization to remove tree stumps and AC paving left due to live gas line onsite							
5466.02	44550	FRANK M BOOTH INC	15-0500	S		Plumbing - Tie in Temp gas/new meter	2,810.54
5466.06	25679	CAMPANELLA CORPORATION	02-4100	S		Demolition - ReMob	2,210.00
Change Order 17 total							5,020.54





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02**

**Change Order: 4**

**Date: 3/21/2019**

**To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.

**The Contract is changed as follows:**

COR 8013 - PG&E Gas line - Unforeseen Condition

Plumbing - Tie-In, Temp Gas and New Meter

Extra	Cost Code	Cat	Change Request	Description	Amount
	15-0500	S	8013	Plumbing - Tie in Temp gas/new meter	\$2,810.54

The original Contract Amount was \$3,238,000.00

Net change by previously authorized Change Orders \$307,623.56

The Contract Amount prior to this Change Order was \$3,545,623.56

The Contract will be increased by this Change Order in the amount of \$2,810.54

The new Contract Amount including this Change Order will be \$3,548,434.10

The Contract Time will be unchanged.

The date of Substantial Completion as of the date of this Change Order therefore is

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

*Daniel Hoff*  
(Signature)

By

Date

*Daniel Hoff*

*3/21/19*



4220 Douglas Blvd. Granite Bay CA 95746  
TEL (916) 784-0777 FAX (916) 784-0707  
CA License No. 793419

07-Sep-18

F&H Construction  
1115 E Lockeford St  
Lodi, CA 95240

Attention: Daniel Hoff/Brendan Corbett

Reference: San Mateo Animal Shelter  
FMB Job No. 1704

Subject: Change Proposal Request  
FMB C/O # 90009

General Contractor

Natural gas tie in/ disconnect to temp trailer, restart all roof top units

(Cost of construction including GC's & OH&P)	\$	2,555.03
(Engineering Lump Sum Fee)	\$	255.50
Total	\$	2,810.54

Please forward written change order at your earliest convenience or call with any questions.

Sincerely,

FRANK M. BOOTH, INC

A handwritten signature in black ink, appearing to read "Richard Hammes", is written over the printed name.

Richard Hammes  
Project Manager

Attachment:

cc: Linda Booth  
Job File



## SCOPE CHANGE COST SUMMARY

<b>Project:</b>	San Mateo Animal Shelter	<b>Date:</b>	09/07/2018
<b>Job #</b>	1704	<b>Prepared By:</b>	RH
<b>FMB No.:</b>	90009		
<b>Scope:</b>	Natural gas temp tank tie in/disconnect		

**Labor:**

Cost of Labor - From Labor Recap Sheets

**Markup**

	<u>Hours</u>		<u>Extended</u>
	17	\$	2,282.08
	15.00%	\$	342.31
<b>Labor Total</b>		\$	2,282.08

**Material & Equipment:**

Direct Material

Sales Tax

**Sub-Total Material****Markup:** (excluding sales tax)

		\$	-
	9.25%	\$	-
		\$	-
	15.00%	\$	-
<b>Total Material &amp; Equipment</b>		\$	-

**Other Costs:**

Fabrication, Equip., Rental (Per labor hr., excl. detailing &amp; delivery)

Consumables (Per Field labor \$)

Test, Adjustment, Warranty (Per Field labor \$)

Subsistence \$14/Hr for GF and Foreman Hours unless overridden

Safety Supplies Expense (Per field labor hr.)

Direct Equipment Rental (see recap)

Other \_\_\_\_\_

**Sub-Total Other Costs****Markup**

\$83.89	0.00	\$	-
3%	\$ 2,282.08	\$	68.46
2%	\$ 2,282.08	\$	45.64
\$80.00	1.00	\$	80.00
\$1.25	17.00	\$	21.25
		\$	-
		\$	-
<b>Sub-Total Other Costs</b>		\$	215.35
	15.00%	\$	32.30
<b>Total Other Costs</b>		\$	247.66

<b>Total FMB Self Performed Work</b>	\$	2,529.74
--------------------------------------	----	----------

**Subcontracted Work:**

Controls

Insulation

Balance

Fire/Acoustical Caulking

Water Treatment

Rigging

Excavation

Misc Other Subs

**Sub-Total Subcontracted Costs****Markup**

		\$	-
		\$	-
		\$	-
		\$	-
		\$	-
		\$	-
		\$	-
		\$	-
<b>Sub-Total Subcontracted Costs</b>		\$	-
	10.00%	\$	-
<b>Total Subcontracted Costs</b>		\$	-

**Cost Recap****Total Construction Cost:****Bond Premium****Sub-Total Construction Cost****Engineering Fee's for the above****Subtotal****OCCIP Deduct****Total Change Request**

		\$	2,529.74
	1%	\$	25.30
<b>Sub-Total Construction Cost</b>		\$	2,555.03
	10.0%	\$	255.50
<b>Subtotal</b>		\$	2,810.54
<b>OCCIP Deduct</b>	0.0%	\$	-
<b>Total Change Request</b>		\$	2,810.54

The price quoted for the above described Scope Change is subject to the following conditions:

(1) A direction to proceed by the Contractor will entitle us to progress payments for Work covered above.

(2) If this change decreases, extends, or otherwise affects our completion time, our cost of performance will thereby increase.

We reserve all rights to recover these added costs and rely on Contractor to keep us fully informed regarding changes in the completion time.

Valid For 90 Days



## PLUMBING ESTIMATE WORKSHEET

San Mateo Animal Shelter

DATE 9/7/18

90009

[illegible]

TOTAL

17



Signature Brendan Corbett Date 7/16  
Signed By \_\_\_\_\_

**Signature of Authorizing Contractor:**



## Sales Tax Markup Deduct

Description	Sales Tax Amount	Markup	Deduction
Sunbelt Rentals	\$ 1.43	15%	\$ (0.21)
Herc Rentals	\$ 16.98	15%	\$ (2.55)
Cal-Steam	\$ 5.84	15%	\$ (0.88)
Herc Rentals	\$ 51.71	15%	\$ (7.76)
Herc Rentals	\$ 131.78	15%	\$ (19.77)
Herc Rentals	\$ 32.34	15%	\$ (4.85)
Granite Rock	\$ 1.99	15%	\$ (0.30)
Herc Rentals	\$ 6.08	15%	\$ (0.91)
Herc Rentals	\$ 79.22	15%	\$ (11.88)
Cal-Steam	\$ 2.23	15%	\$ (0.33)
United Rentals	\$ 183.37	15%	\$ (27.51)
Granite Rock	\$ 15.31	15%	\$ (2.30)
Granite Rock	\$ 45.50	15%	\$ (6.83)
Herc Rentals	\$ 23.29	15%	\$ (3.49)
Grainger	\$ 13.60	15%	\$ (2.04)
Herc Rentals	\$ 160.03	15%	\$ (24.00)
Home Depot - Online Invoice	\$ 13.14	15%	\$ (1.97)
Home Depot	\$ 5.61	15%	\$ (0.84)
Herc Rentals	\$ 28.74	15%	\$ (4.31)
Granite Rock	\$ 12.08	15%	\$ (1.81)
Interstate Traffic Control	\$ 5.17	15%	\$ (0.78)
Grainger	\$ 13.80	15%	\$ (2.07)
			\$ -
Totals	\$ 849.24		\$ (127.39)



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 18**

**Date: 3/21/2019**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

TIA 007 Water Main Modification, Extended Conditions

8021 TIA 007 Water Main Modification, Extended Conditions

\$0.00

Scott Gurley

Robert Hennessy

4/16/2020

Sam Lin

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$0.00

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$0.00

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,003,377.95
The Contract Amount prior to this Change Order was	\$23,702,574.95
The Contract will be increased by this Change Order in the amount of	\$0.00
The new Contract Amount including this Change Order will be	\$23,702,574.95
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8021  
(Signature)

By

By

See Change Request 8021

Date

Date

See Change Request 8021  
Date





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8021

**Date:** 1/9/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** TIA 007 Water Main Modification, Extended Conditions

Reason: Unforeseen Condition

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Unforeseen Condition

Added water main and onsite water utilities per Plan Check #5 dated 8/8/18.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Extended General Conditions (79 Calendar Days) <b>x 2,936.80</b>					\$232,007.20	\$232,007.20
01-0210	Contingency - TIA 007 Water Main <b>(CHARGE TO CONSTRUCTION CONTINGENCY)</b>					\$(232,007.20)	\$(232,007.20)
						Subtotal:	\$0.00
						Total:	\$0.00

Please note that FH CONSTRUCTION will require an extra 79 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_

Date: \_\_\_\_\_

**NOTE:**

**CHARGE UNDER  
CONSTRUCTION  
CONTINGENCY**

**APPROVED AMOUNT: \$ 232,007.20\***

*Robert J. Hennessy*



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8021

**Date:** 1/9/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** TIA 007 Water Main Modification, Extended Conditions

Reason: Unforeseen Condition

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

Unforeseen Condition

Added water main and onsite water utilities per Plan Check #5 dated 8/8/18.

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Extended General Conditions (79 Calendar Days)					\$232,007.20	\$232,007.20
01-0210	Contingency - TIA 007 Water Main					\$(232,007.20)	\$(232,007.20)
						Subtotal:	\$0.00
						Total:	\$0.00

Please note that FH CONSTRUCTION will require an extra 79 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Daniel Hoff  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 19**

**Date: 7/15/2019**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Rooftop Gas Piping Tie-In and Pressure Test

8018 Rooftop Gas Piping Tie-In and Pressure Test

\$12,416.27

scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$12,416.27

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$12,416.27

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$12,416.27
The new Contract Amount including this Change Order will be	\$23,782,806.08
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8018  
(Signature)

By

By

See Change Request 8018  
By

Date

Date

See Change Request 8018  
Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

#18

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8018  
Date: 9/20/18  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** Rooftop Gas Piping Tie-In and Pressure Test

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR 8018 is the work performed via T&M to tie in the Rooftop gas pipe (completed under COR 8010 cover) to the existing facilities gas piping.

This work included the replacement of existing natural gas pipes, connection of new main line to existing lines, pressure testing of the entire system and starting up all the existing HVAC units and water heaters

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
15-0500	HVAC				\$11,425.80		\$11,425.80
01-0535	Cal-Steam Invoice 3265163 (Tax NOT marked-up)					\$70.66	\$70.66
01-0535	Cal-Steam Invoice 3267631 (Tax NOT marked-up)					\$26.97	\$26.97
Subtotal:							\$11,523.43
	COMPONENT 3 - BIT				\$11,514.57	2.70 %	\$310.89
	COMPONENT 1 - SELF PERFORM MARK-UP				\$89.57	15.00 %	\$13.44
	COMPONENT 2 - SUB MARK-UP				\$11,425.80	5.00 %	\$571.29
	SALES TAX MU DEDUCT				\$13.91		\$-2.78
Total:							\$12,416.27

\* safety prevention per Miles

OK. Sam 7/12/19

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$12,416.27

Robert J. Hennessy 7-11-2019  
DIRECTOR OF OPERATIONS





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 20**

**Date:** 7/15/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

ADMP and SMP Extra Work

8019 COR 8019 - ADMP and SMP Extra Work

\$35,359.16

Scott Gurley

Robert Hennessy

Sam Lin

DocuSigned by:

4/16/2020

Assistant Director

4/16/2020

*Scott Gurley*  
D149DF838EF04D7...

DocuSigned by:

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

*Sam Lin*  
EE1B7F4B372C432...

\$35,359.16

\$35,359.16

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$35,359.16
The new Contract Amount including this Change Order will be	\$23,805,748.97
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8019  
(Signature)

By

By

See Change Request 8019

Date

Date

See Change Request 8019

Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

#19

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8019

Date: 10/4/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** COR 8019 - ADMP and SMP Extra Work

Reason: Field Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

COR 8019 covers the extra Labor, Material and Equipment required by SCA Environmental, the Soils Management Plan (SMP), Asbestos Dust Mitigation Plan (ADMP) and Bay Area Air Quality Management District (BAAQMD) above and beyond Best Management Practices (BMPs) from 8.27.2018-9.28.2018. This covers F&H costs and NOT Teichert Construction costs.

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
02-8200 F&H T&M Tags (8.27.2018-9.28.2018)					\$13,268.41	\$13,268.41
02-8200 Fire Hose Splitter (Moss Rubber)		\$93.30				\$93.30
02-8200 Lab Testing (6 tests) (Enthalpy Analytical)					\$4,740.00	\$4,740.00
02-8200 Boot Wash (AgriWash)					\$815.00	\$815.00
02-8200 5 MPH Signs (Interstate Traffic Control)		\$166.93				\$166.93
02-8200 Sump Pumps and Hoses (Home Depot #1)		\$540.51				\$540.51
02-8200 Sump Pumps and Hoses (Home Depot #2)		\$269.62				\$269.62
02-8200 STLC Soils Test					\$245.00	\$245.00
02-8200 Street Sweeping (5 Invoices)					\$9,562.50	\$9,562.50
02-8200 HD Supply (wood for cover)		\$359.14				\$359.14
					Subtotal:	\$30,060.41
			COMPONENT 3 - BIT	\$30,060.41	2.70 %	\$811.63
			COMPONENT 1 - SELF PERFORM MARK-UP	\$30,060.41	15.00 %	\$4,509.06
			COMPONENT 2 - SUB MARK-UP	\$0.00	5.00 %	\$0.00
			SALE TAX MU DEDUCT	\$146.28		\$-21.94
					Total:	\$35,359.16

If you have any questions, please contact me at (209)931-3738.

per BAAQMB requirement  
OK. JML 7/11/19

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$35,359.16

Robert J. Hennessy 7-11-2019  
ROBERT J. HENNESSY P.E.



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 21**

**Date:** 7/15/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Stormwater O&M Plan

8026 Stormwater O&M Plan

\$6,192.75

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$6,192.75

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$6,192.75

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$6,192.75
The new Contract Amount including this Change Order will be	\$23,776,582.56
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8026  
(Signature)

By

By

See Change Request 8026  
By

Date

Date

See Change Request 8026  
Date

#26



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8026

Date: 6/10/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Stormwater O&M Plan

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

Listed below is our proposal for additional services related to the description of a proposed Stormwater Operations & Maintenance Plan for the San Mateo County Animal Shelter.

Scope of Work

Task 1: Stormwater Operation and Maintenance Plan

Deliverables: Electronic copies in PDF

Cost: \$5,750

Exclusions:

- Meetings.
- Responsible personnel information for report
- Does not include fees, permits, or processing of permits.
- Does not include design or re-design of storm water features.
- Does not include erosion control plan or Storm Water Pollution Prevention Plan.
- Topographic surveys and mapping

OK. Smb. 7/12/19

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0200 Drafting/Engineering					\$5,750.00	\$5,750.00
					Subtotal:	\$5,750.00
		COMPONENT 3 - BIT		\$5,750.00	2.70 %	\$155.25
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$5,750.00	5.00 %	\$287.50
					Total:	\$6,192.75

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$ 6,192.75

Robert J. Hennessy 7-12-2019  
ROBERT J. HENNESSY JR





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 22**

**Date:** 7/15/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

ADMP Extras - Truck Washing and Moisture Treating

8027 COR 8027 - ADMP Extras - Truck Washing and Moisture Treating

\$32,063.29

Scott Gurley

Robert Hennessy

Sam Lin

DocuSigned by:

*Scott Gurley*

D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$32,063.29

Assistant Director

4/16/2020

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$32,063.29

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$32,063.29
The new Contract Amount including this Change Order will be	\$23,802,453.10
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8027  
(Signature)

By

By

See Change Request 8027

By

Date

Date

See Change Request 8027

Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

#27

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8027

Date: 6/10/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** COR 8027 - ADMP Extras - Truck Washing and Moisture Treating

Reason: Unforeseen Condition

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the extra work comply with the ADMP through 2018. Including:

- Extra moisture treating of onsite soils per the zero-dust requirement (above and beyond BMP)
- Stockpile management - Covering spoils per the ADMP (above and beyond BMP and SWPPP)
- Washing truck tires (per ADMP and above and beyond BMP and SWPPP)

See attached CO from Teichert for details

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200	ADMP EXTRA				\$13,292.66		\$13,292.66
02-8200	T&M Tag 3.20.2019 - 3.21.2019					\$1,608.16	\$1,608.16
02-8200	T&M Tag 9.31.2018 - 2.20.2019					\$13,517.79	\$13,517.79
						Subtotal:	\$28,418.61
				COMPONENT 3 - BIT	\$28,418.61	2.70 %	\$767.30
				COMPONENT 1 - SELF PERFORM MARK-UP	\$15,125.95	15.00 %	\$2,268.89
				COMPONENT 2 - SUB MARK-UP	\$13,292.66	5.00 %	\$664.63
				SALE TAX MU DEDUCT	\$-374.24	15.00 %	\$-56.14
						Total:	\$32,063.29

RJA

per BAA&MB refinement,  
OK Samlin 7/12/19

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$ 32,063.29  
Robert J. Hennessy 7-12-2019  
ROBERT J. HENNESSY P.E.



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 23**

**Date:** 7/15/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Upgrade P-Lam to Solid Surface Counter Tops

8029 Upgrade P-Lam to Solid Surface Counter Tops

\$6,483.54

Scott Gurley

Robert Hennessy

Sam Lin

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

4/16/2020

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$6,483.54

Assistant Director

4/16/2020

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$6,483.54

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$6,483.54
The new Contract Amount including this Change Order will be	\$23,776,873.35
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8029  
(Signature)

By

By

See Change Request 8029  
By

Date

Date

See Change Request 8029  
Date

#29



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8029

Date: 6/20/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Upgrade P-Lam to Solid Surface Counter Tops

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR, as per Owner request, Covers:

Lab # 617

Add: Change 12 of p-lam counter top to solid surface

Treatment # 612

Add: Change 24 of p-lam counter top to solid surface

Pharm # 612

Add: Change 9 of p-lam counter top to solid surface

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
06-2000 Mill Work				\$6,020.00		\$6,020.00
					Subtotal:	\$6,020.00
		COMPONENT 3 - BIT		\$6,020.00	2.70 %	\$162.54
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$6,020.00	5.00 %	\$301.00
					Total:	\$6,483.54

If you have any questions, please contact me at (209)931-3738.

OK for \$6,483.54

Sub - 7/12/19

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$6,483.54

Robert J. Hennessy 7-12-2019





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 24**

**Date:** 7/15/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Weather Associated Impacts, Extended GC

8030 Weather Associated Impacts, Extended GC \$0.00

Scott Gurley

DocuSigned by:  
*Scott Gurley*  
D149DF838EF04D7...

Robert Hennessy

4/16/2020

DocuSigned by:  
*Robert Hennessy*  
AB3B77D60A0D483...

\$0.00

Sam Lin

Assistant Director

4/16/2020

DocuSigned by:  
*Sam Lin*  
EE1B7F4B372C432...  
\$0.00

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,071,192.81
The Contract Amount prior to this Change Order was	\$23,770,389.81
The Contract will be increased by this Change Order in the amount of	\$0.00
The new Contract Amount including this Change Order will be	\$23,770,389.81
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8030  
(Signature)

By

By

See Change Request 8030  
By

Date

Date

See Change Request 8030  
Date



**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

To: Robert Hennessy  
Jacobs

Date: 6/22/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone: 650-363-4100**

**Description:** Weather Associated Impacts, Extended GC

Reason: Design Change

Initiated by: San Mateo County

We are pleased to offer the following specifications and pricing to make the following changes:

There has been a total of 51 calendar days of weather since the last of the weather contingency was utilized. Extending the project completion date from the current completion date of Apr. 8, 2020 to the new completion date of 5/29/20.

Weather is directly impacting the critical path on a day for day push and has completely delayed a 3rd of the foundations. To assist in mitigating further delays to the project, the crews have been diverted to Areas 1 & 2 (areas that the SOGs have been already placed) and continuing with the build out. Area 3 has been developed in the schedule to capture the comeback work that will be necessary when the weather improves.

December 2018 14 calendar days

February 2019 29 calendar days

March 2019 8 calendar days

TIA #009 November 2018 Weather 0 calendar days Time removed from Weather allowance

TIA #009.1 December 2018 Weather +14 calendar (Est.) Partial time mitigation from allowance forthcoming.

TIA #009.1 January / February 2019 Weather +29 days

TIA #009.1 March 2019 +8 days

[illegible]

\*CHARGE \$ 232,208.<sup>69</sup>  
TO CONSTRUCTION CONTINGENCY.

OK sub-; 7/2/19

NOTE:

CHARGE TO

CONSTRUCTION CONTINGENCY

APPROVED AMOUNT: \$ 0.00

Robert J. Hennessy 7-11-2019  
ROBERT J. HENNESSY P.E.



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 25**

**Date: 7/19/2019**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Add Lights and Plugs to Barn

8031 Add Lights and Plugs to Barn

\$7,825.14

Scott Gurley

DocuSigned by:  
*Scott Gurley*  
D149DF838EF04D7...

Robert Hennessy

4/16/2020

DocuSigned by:  
*Robert Hennessy*  
AB3B77D60A0D483...  
\$7,825.14

Sam Lin

Assistant Director

4/16/2020

DocuSigned by:  
*Sam Lin*  
EE1B7F4B372C432...  
\$7,825.14

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,163,707.82
The Contract Amount prior to this Change Order was	\$23,862,904.82
The Contract will be increased by this Change Order in the amount of	\$7,825.14
The new Contract Amount including this Change Order will be	\$23,870,729.96
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8031  
(Signature)

By

By

By

Date

Date

Date

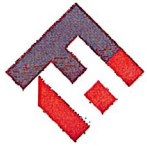
*Daniel Hoff*

*Daniel Hoff*

*7/19/19*

See Change Request 8031

See Change Request 8031



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8031  
**Date:** 7/1/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Add Lights and Plugs to Barn

Reason: Owner Request

Initiated by: Lori Morton-Feazell (San Mateo County)

We are pleased to offer the following specifications and pricing to make the following changes:

ADD: exterior rated industrial LED linear lights to barn area as requested by owner.

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.

This price is good for acceptance within 10 days from the date of receipt.

We request a time extension of 3 days.


We will supply and install all materials, labor, and equipment as per your instructions on .

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Barn Plugs and Lights				\$6,892.20		\$6,892.20
01-0950 F&H Coordination	\$341.75					\$341.75
					Subtotal:	\$7,233.95
		COMPONENT 3 - BIT		\$7,233.95	2.70 %	\$195.32
		COMPONENT 1 - SELF PERFORM MARK-UP		\$341.75	15.00 %	\$51.26
		COMPONENT 2 - SUB MARK-UP		\$6,892.20	5.00 %	\$344.61
					<b>Total:</b>	<b>\$7,825.14</b>

OK, sent 7/2/19

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 7.1.2019

**APPROVED AMOUNT: \$ 7,825.14**

**Robert J. Hennessy 7-2-2019**  
DIRECTOR OF OPERATIONS





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 26**

**Date:** 7/19/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Public Address (PA) System - Allowance

8028 Public Address (PA) System \$0.00

Scott Gurley

Robert Hennessy

Sam Lin

Assistant Director

4/16/2020

4/16/2020

DocuSigned by:

*Scott Gurley*

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DocuSigned by:

*Robert Hennessy*

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\$0.00

DocuSigned by:

*Sam Lin*

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\$0.00

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,171,532.96
The Contract Amount prior to this Change Order was	\$23,870,729.96
The Contract will be increased by this Change Order in the amount of	\$0.00
The new Contract Amount including this Change Order will be	\$23,870,729.96
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Change Request 8028

(Signature)

By

By

See Change Request 8028

By

See Change Request 8028

Date

Date

Date



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8028

**Date:** 6/14/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Public Address (PA) System

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is to provide a PA system through the Allowance

Provide a complete PA system per attached System is programable to over 8 zones and is compatible with their phone system

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical PA System				\$86,684.18		\$86,684.18
					Subtotal:	\$86,684.18
		COMPONENT 3 - BIT		\$86,684.18		\$0.00
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00		\$0.00
		COMPONENT 2 - SUB MARK-UP		\$86,684.18		\$0.00
		Fund by Allowance		\$-86,684.18		\$-86,684.18
					Total:	\$0.00

OK & for \$86,684.18  
SMB 7/2/19

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

APPROVED AMOUNT: \$ 86,684.18

Robert J. Hennessy 7-2-2019  
ROBERT J. HENNESSY DE



**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 27**

**Date:** 7/24/2019

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Added Hose Bibs

8033 Added Hose Bibs

\$3,143.01

Scott Gurley

Robert Hennessy

Sam Lin

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:

*Scott Gurley*

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DocuSigned by:

*Robert Hennessy*

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\$3,143.01

DocuSigned by:

*Sam Lin*

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\$3,143.01

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,171,532.96
The Contract Amount prior to this Change Order was	\$23,870,729.96
The Contract will be increased by this Change Order in the amount of	\$3,143.01
The new Contract Amount including this Change Order will be	\$23,873,872.97
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

OWNER

(Signature)

(Signature)

(Signature)

Daniel Hoff

See Change Request 8033

See Change Request 8033

By

By

By

7/24/19

See Change Request 8033

Date

Date

Date



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8033

**Date:** 7/10/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Added Hose Bibs

Initiated by: Brendan Corbett (F & H Construction)

We are pleased to offer the following specifications and pricing to make the following changes:

This CR 8033 is for Frank M Booth's COs #90019 and 90020, added hose bibs per onsite plumbing walk with Architect, PHS and SMC

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
15-0500 Plumbing CO 90019				\$2,067.97		\$2,067.97
15-0500 Plumbing CO 90020				\$850.33		\$850.33
					Subtotal:	\$2,918.30
		COMPONENT 3 - BIT		\$2,918.30	2.70 %	\$78.79
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$2,918.30	5.00 %	\$145.92
					<b>Total:</b>	<b>\$3,143.01</b>

OK Sumb  
7/23/19

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

**APPROVED AMOUNT: \$3,143.01**

*Robert J. Hennessy* 7-23-2019  
DIRECTOR OF CONSTRUCTION





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 496

**Date:** 7/10/2019

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8033: Added Hose Bibs

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	7/10/19	8033	Added Hose Bibs

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

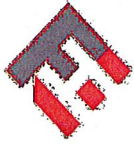
☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 28**

**Date: 9/19/2019**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

Sam Lin

Assistant Director

4/16/2020

**The Contract is changed as follows:**

CO #28 - All Outstanding COs

DocuSigned by:

Sam Lin

EE1B7F4B372C432...

\$163,283.15

8020 Water Main Extra Work	Signed	\$16,007.05
8022 Subsurface Investigation / Unsuitable Soils	Signed	\$0.00
8023 Contaminated Soil Off Haul (REV 1)	Signed	\$87,421.75
8024 Add Power to Water Fountains	Signed	\$2,307.29
8025 Generator Permit Procurement	Signed	\$3,744.84
8032 Added and Changed Electrical per Site Walk	Newly revised, Needs Signature	\$35,463.33
8034 Dense Glass Upgrade REV 1	Signed	\$7,640.58
8035 Added Floor Drain at Walk in Cooler	Signed	\$10,698.31
Total:		\$163,283.15

Scott Gurley

Robert Hennessy

4/16/2020

DocuSigned by:

Scott Gurley

D149DF838EF04D7...

DocuSigned by:

Robert Hennessy

AB3B77D60A0D483...

The original Contract Amount was	\$163,283.15	\$19,699,197.00
Net change by previously authorized Change Orders		\$4,174,675.97
The Contract Amount prior to this Change Order was		\$23,873,872.97
The Contract will be increased by this Change Order in the amount of		\$163,283.15
The new Contract Amount including this Change Order will be		\$24,037,156.12
The Contract Time will be unchanged.		
The date of Substantial Completion as of the date of this Change Order therefore is 5/29/2020		

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs SMC  
OWNER

(Signature)

(Signature)

**Brendan Corbett**

By

By

**10.29.2019**

Date

Date

(Signature)

By

Date

Robert J. Hennessy 10/29/2019

## Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 10/30/2019

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
<b>ANIMAL SHELTER REPLACEMENT (10-16-5466) Change Order Number: 28 CO #28 - All Outstanding COs</b>							
<b>Change Request No. 8022 Internal: No</b>							
Scope: This COR covers the Unsuitable soils and Sub Surface investigation							
-Subsurface investigation at the request of PDU to satisfy county Geotech engineer -Design cost of engineering piles -Unsuitable soil remediation at retaining wall -Clearing of V-Ditch so off site water could be directed away from retaining wall -Unsuitable soil in Plumbing trench due to water intrusion							
5466.02	44550	FRANK M BOOTH INC	02-3000	S		Unsuitable Soil	3,874.23
5466.11	87626	TEICHERT CONSTRUCTION	02-3000	S		Unsuitable Soil	23,676.19
<b>Change Request No. 8023 Internal: No</b>							
Scope: Haul Off Class II contaminated soil spoils from jobsite. These soils are considered Hazardous Waste and San Mateo County did not approve for reuse onsite. REV 0 of this COR is for the soil off hauled on 11.9.2018 and 12.14.2018, but was never responded to by PDU. This Revision, REV 1 covers the soil off hauled from 11.9.2018 to 3.14.2019							
Quote of \$61.51 / Ton was previously approved on 10.18.2018							
See attached CO from Teichert							
5466.11	87626	TEICHERT CONSTRUCTION	02-8200			Class II Soil Haul Off / Remediation	81,171.54
<b>Change Request No. 8024 Internal: No</b>							
Scope: This COR is to change 2 water fountains to bottle fill stations with bottle counter as requested by SMC							
The change of the water fountain unit by FMB is at no cost The change to add power to these units is \$2,142.33							
Please approve ASAP so the carriers can be installed							
5466.01	52290	INTERMOUNTAIN ELECTRIC COMPANY	16-0100	S		Electrical	2,142.33
<b>Change Request No. 8025 Internal: No</b>							
Scope: This quote covers direct costs only and wAir Board permitting (Authority to Construct) BAAQMD Area If within 1,000 feet of school (K-12) Additional fees of \$2,000.00 per school e reserve the right to claim for impact and consequential costs.							
We will supply and install all materials, labor, and equipment as per your instructions on Procurement of Generator Permit .							
5466.01	52290	INTERMOUNTAIN ELECTRIC COMPANY	16-0100	S		Electrical	3,323.50
<b>Change Request No. 8032 Internal: No</b>							
Scope: This COR is to add changes requested per the Site Walk							
5466.01	52290	INTERMOUNTAIN ELECTRIC COMPANY	16-0100	S		Electrical Add	32,927.89

Shows change request details where a Commitment has been specified.

Page 1 of 2

Commitment CO Entry by Change Order

FH CONSTRUCTION

Date: 10/30/2019

Commitment	Vendor	Extra	Cost Code	Cat	Reference Number	Description	Amount
<b>ANIMAL SHELTER REPLACEMENT (10-16-5466)</b>							
Change Order Number: 28 CO #28 - All Outstanding COs							
Change Request No. 8032 Internal: No continued							
Change Request No. 8034 Internal: No							
Scope: This CR is for the requested upgrade from Type X Gyp board to Densglass in certain wet locations determined by Lori and Brent. Upgrade cost for Unfinished denseglass is \$0.38 per sq foot, level 4 finish upgrade cost is approx \$2.73 per sq foot.							
Attacehd is a lump sum cost as well as the approved plan on where Densglass is to be installed							
5466.031	35478	DAVID M SCHMITT	09-2900	S		Densglass Upgrade	6,310.00
Change Request No. 8035 Internal: No							
Scope: This COR is for adding the floor drain in the walk in cooler per County Direction							
5466.02	44550	FRANK M BOOTH INC	15-0500	S		Plumbing	9,933.44
Change Order 28 total							163,359.12





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.031**

**Change Order: 3**

**Date: 10/30/2019**

**To Contractor:**

DAVID M SCHMITT  
390 SHELBY STREET

SAN FRANCISCO, CA 94124

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

CCO for COR 8034

CCO for COR 8034

See attached COR for details

Extra	Cost Code	Cat	Change Request	Description	Amount
	09-2900	S	8034	Densglass Upgrade	\$6,310.00

The original Contract Amount was	\$310,508.00
Net change by previously authorized Change Orders	\$8,228.00
The Contract Amount prior to this Change Order was	\$318,736.00
The Contract will be increased by this Change Order in the amount of	\$6,310.00
The new Contract Amount including this Change Order will be	\$325,046.00
The Contract Time will be increased by 0 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

**Brendan Corbett**

By

**10.30.2019**

Date



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.01**

**Change Order: 6**

**Date: 10/30/2019**

**To Contractor:**

INTERMOUNTAIN ELECTRIC COMPANY  
947 WASHINGTON STREET

SAN CARLOS, CA 94070

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

CCO for COR 8032

CCO for COR 8032

See attached COR for details

Extra	Cost Code	Cat	Change Request	Description	Amount
	16-0100	S	8032	Electrical Add	\$32,927.89

The original Contract Amount was \$2,482,359.00

Net change by previously authorized Change Orders \$1,217,587.08

The Contract Amount prior to this Change Order was \$3,699,946.08

The Contract will be increased by this Change Order in the amount of \$32,927.89

The new Contract Amount including this Change Order will be \$3,732,873.97

The Contract Time will be increased by 0 days.

The date of Substantial Completion as of the date of this Change Order therefore is

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

**Brendan Corbett**

By

**10.30.2019**

Date



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02****Change Order: 9****Date: 10/30/2019****To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

CCO for COR 8022 and 8035

CCO for COR 8022 and 8035

See attached CORs for details

Extra	Cost Code	Cat	Change Request	Description	Amount
	02-3000	S	8022	Unsuitable Soil	\$3,874.23
	02-3000	S	8035	Plumbing	\$9,933.44
Total:					\$13,807.67



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.02****Change Order: 9****Date: 10/30/2019****To Contractor:**

FRANK M BOOTH INC  
P O BOX 5

MARYSVILLE, CA 95901

---

The original Contract Amount was	\$3,238,000.00
Net change by previously authorized Change Orders	\$357,868.71
The Contract Amount prior to this Change Order was	\$3,595,868.71
The Contract will be increased by this Change Order in the amount of	\$13,807.67
The new Contract Amount including this Change Order will be	\$3,609,676.38
The Contract Time will be increased by 0 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

---

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

**Brendan Corbett**

By

**10.30.2019**

Date





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.11**

**Change Order: 5**

**Date: 10/30/2019**

**To Contractor:**

TEICHERT CONSTRUCTION  
P O BOX 13557

SACRAMENTO, CA 95853-3557

*Please note, the cost of this change and/or back charge includes only those direct costs which can be identified at this time. Additional amounts may need to be included for interferences, disruptions, rescheduling, overtime, changes in work sequence, delays, subcontractors, sub-tier subcontractors, suppliers, accelerations, extended over head and /or impact or inefficiency costs. We expressly reserve the right to submit our request for any or all of these items should it be determined at a later date that we are experiencing any or all of these conditions.*

**The Contract is changed as follows:**

CCO #005 for COR 8022 and 8023

CCO #005 for COR 8022 and 8023

See attached CORs for details

Extra	Cost Code	Cat	Change Request	Description	Amount
	02-3000	S	8022	Unsuitable Soil	\$23,676.19
	02-3000	S	8023	Class II Soil Haul Off / Remediation	\$81,171.54
Total:					\$104,847.73



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Subcontract Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Subcontract: 5466.11****Change Order: 5****Date: 10/30/2019****To Contractor:**

TEICHERT CONSTRUCTION  
P O BOX 13557

SACRAMENTO, CA 95853-3557

---

The original Contract Amount was	\$1,412,801.65
Net change by previously authorized Change Orders	\$357,189.51
The Contract Amount prior to this Change Order was	\$1,769,991.16
The Contract will be increased by this Change Order in the amount of	\$104,847.73
The new Contract Amount including this Change Order will be	\$1,874,838.89
The Contract Time will be increased by 0 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

---

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

(Signature)

**Brendan Corbett**

By

**10.30.2019**

Date

#20



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8020

Date: 12/28/18

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

Description: Water Main Extra Work

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the Extra work associated with the Water Main not covered in COR 8016 and 8017

- Water Main Potholing for exact location and direction in relation to new building corner
- Traffic Control above and beyond \$3,500 (removed \$16,000 from original bid)
- Relocation of Temp fence and Removal of Chain fence and Posts (per Pre-Con)
- Installation of Temp water feed to Existing building (Per Pre-Con)
- Encroachment Permit
- Easement description per PDU Request

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200 T&M for TC and Water Feed					\$5,726.84	\$5,726.84
01-0200 Drafting/Engineering				\$3,800.00		\$3,800.00
31-2200 K-Rails (3 Invoices from TPR)					\$3,888.72	\$3,888.72
31-2200 Encroachment Permit					\$1,372.00	\$1,372.00
31-2200 CREDIT (TC included in 8016)					\$(3,500.00)	\$(3,500.00)
31-2200 Traffic Signs (2 invoices TPR)					\$2,649.76	\$2,649.76
					Subtotal:	\$13,937.32
			COMPONENT 3 - BIT	\$13,937.32	2.70 %	\$376.31
			COMPONENT 1 - SELF PERFORM MARK-UP	\$10,137.32	15.00 %	\$1,520.60
			COMPONENT 2 - SUB MARK-UP	\$3,800.00	5.00 %	\$190.00
			SALES TAX MU DEDUCT	\$114.54		-\$17.18
					<b>Total:</b>	<b>\$16,007.05</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 10/28/19

**APPROVED AMOUNT: \$ 16,007.05**

**Robert J. Hennessy 7-11-2019**  
**ROBERT J. HENNESSY P.E.**

#122



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8022

Date: 2/7/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Subsurface Investigation / Unsuitable Soils

Reason: Unforeseen Condition

We are pleased to offer the following specifications and pricing to make the following changes:

This COR covers the Unsuitable soils and Sub Surface investigation

- Subsurface investigation at the request of PDU to satisfy county Geotech engineer
- Design cost of engineering piles
- Unsuitable soil remediation at retaining wall
- Clearing of V-Ditch so off site water could be directed away from retaining wall
- Unsuitable soil in Plumbing trench due to water intrusion

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
02-3000 Unsuitable Soil				\$23,676.19		\$23,676.19
02-3000 Unsuitable Soil				\$3,874.23		\$3,874.23
02-3000 F&H T&M Tags					\$7,089.66	\$7,089.66
02-3000 Pile Design					\$25,000.00	\$25,000.00
					Subtotal:	\$59,640.08
			COMPONENT 3 - BIT	\$59,640.08	2.70 %	\$1,610.28
			COMPONENT 1 - SELF PERFORM MARK-UP	\$32,089.66	15.00 %	\$4,813.45
			COMPONENT 2 - SUB MARK-UP	\$27,550.42	5.00 %	\$1,377.52
			SALES TAX MU DEDUCT	\$492.61		-\$73.89
			Deduct from Contingency	\$0.00		-\$67,367.44
					Total:	\$0.00

NOTE:

\* CHARGE \$ 67,367.44  
TO CONSTRUCTION  
CONTINGENCY.

OK

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 9/20/19

APPROVED AMOUNT: \$ 0.00

Robert J. Hennessy 7-12-2019  
ROBERT J. HENNESSY OF





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8023

Date: 2/15/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Contaminated Soil Off Haul (REV 1)

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

Haul Off Class II contaminated soil spoils from jobsite. These soils are considered Hazardous Waste and San Mateo County did not approve for reuse onsite. REV 0 of this COR is for the soil off hauled on 11.9.2018 and 12.14.2018, but was never responded to by PDU. This Revision, REV 1 covers the soil off hauled from 11.9.2018 to 3.14.2019

Quote of \$61.51 / Ton was previously approved on 10.18.2018

See attached CO from Teichert

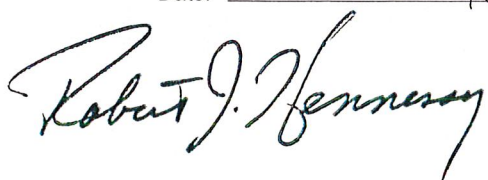
Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
02-8200 Class II Soil Haul Off / Remediation				\$81,171.54		\$81,171.54
					Subtotal:	\$81,171.54
		COMPONENT 3 - BIT		\$81,171.54	2.70 %	\$2,191.63
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$81,171.54	5.00 %	\$4,058.58
					Total:	\$87,421.75

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: 

Date: 10/21/19

 P.E. 10/21/2019



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

**Number:** 8024

**Date:** 3/14/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Add Power to Water Fountains

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is to change 2 water fountains to bottle fill stations with bottle counter as requested by SMC

The change of the water fountain unit by FMB is at no cost

The change to add power to these units is \$2,142.33

Please approve ASAP so the carriers can be installed

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical				\$2,142.33		\$2,142.33
					Subtotal:	\$2,142.33
		COMPONENT 3 - BIT		\$2,142.33	2.70 %	\$57.84
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$2,142.33	5.00 %	\$107.12
					<b>Total:</b>	<b>\$2,307.29</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: 

Date: 10/28/19

APPROVED AMOUNT: \$ 2,307.29

Robert J. Hennessy 10-28-2019



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8025

Date: 3/14/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Generator Permit Procurement

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This quote covers direct costs only and wAir Board permitting (Authority to Construct) BAAQMD Area  
If within 1,000 feet of school (K-12) Additional fees of \$2,000.00 per school e reserve the right to claim for impact and consequential costs.

We will supply and install all materials, labor, and equipment as per your instructions on Procurement of Generator Permit .

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical				\$3,323.50		\$3,323.50
01-0040 F&H Engineering Coordination	\$140.55					\$140.55
					Subtotal:	\$3,464.05
		COMPONENT 3 - BIT		\$3,464.05	2.70 %	\$93.53
		COMPONENT 1 - SELF PERFORM MARK-UP		\$140.55	15.00 %	\$21.08
		COMPONENT 2 - SUB MARK-UP		\$3,323.50	5.00 %	\$166.18
					<b>Total:</b>	<b>\$3,744.84</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: 10/28/19  
Date: \_\_\_\_\_

**APPROVED AMOUNT: \$ 3,744.84**

*Robert J. Hennessy* 10-28-2019



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8032  
**Date:** 7/3/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Added and Changed Electrical per Site Walk

**Reason:** Owner Request

We are pleased to offer the following specifications and pricing to make the following changes:


This COR is to add changes requested per the Site Walk

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical Add				\$32,927.89		\$32,927.89
					Subtotal:	\$32,927.89
		COMPONENT 3 - BIT		\$32,927.89	2.70 %	\$889.05
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00		\$0.00
		COMPONENT 2 - SUB MARK-UP		\$32,927.89	5.00 %	\$1,646.39
					<b>Total:</b>	<b>\$35,463.33</b>


  
 Reduced From \$44,511

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 10/28/19

APPROVED AMOUNT: \$ 35,463.33

 10-28-2019  
ROBERT J. HENNESSY P.E.





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8034

Date: 7/16/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Dense Glass Upgrade REV 1

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This CR is for the requested upgrade from Type X Gyp board to Densglass in certain wet locations determined by Lori and Brent. Upgrade cost for Unfinished denseglass is \$0.38 per sq foot, level 4 finish upgrade cost is approx \$2.73 per sq foot.


Attacehd is a lump sum cost as well as the approved plan on where Densglass is to be installed

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
09-2900 Densglass Upgrade				\$6,310.00		\$6,310.00
01-0040 Field Coordination and Plans	\$717.68					\$717.68
					Subtotal:	\$7,027.68
		COMPONENT 3 - BIT		\$7,027.68	2.70 %	\$189.75
		COMPONENT 1 - SELF PERFORM MARK-UP		\$717.68	15.00 %	\$107.65
		COMPONENT 2 - SUB MARK-UP		\$6,310.00	5.00 %	\$315.50
					<b>Total:</b>	<b>\$7,640.58</b>

\* Reduced from  
previous signed.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 10/28/19

**APPROVED AMOUNT: \$ 7,640.58**

 10-28-2019  
ROBERT J. HENNESSY OF



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8035  
Date: 8/15/19  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** Added Floor Drain at Walk in Cooler

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for adding the floor drain in the walk in cooler per County Direction

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
15-0500 Plumbing				\$9,933.44		\$9,933.44
					Subtotal:	\$9,933.44
		COMPONENT 3 - BIT		\$9,933.44	2.70 %	\$268.20
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$9,933.44	5.00 %	\$496.67
					Total:	\$10,698.31

X  
per ~~user~~ user request.  
this location needs change.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: 

Date: 10/21/19

Robert J. Hennessy 10-21-2019



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 29****Date:** 11/7/2019**Architect's Project:****To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

CO #29 - Fencing, Landscaping, Generator

8036 Landscape and Irrigation	\$181,354.95
8037 Fencing - Revision 1 - 03.14.19	\$268,516.56
8039 Antenna Lightning Protection	\$7,389.08
<b>Total:</b>	<b>\$457,260.59</b>

Scott Gurley

Robert Hennessy

Sam Lin

DocuSigned by:  
*Scott Gurley*  
D149DF838EF04D7...

4/16/2020

Assistant Director

4/16/2020

DocuSigned by:  
*Robert Hennessy*  
AB3B77D60A0D483...  
\$457,260.59

DocuSigned by:  
*Sam Lin*  
EE1B7F4B372C432...  
\$457,260.59

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,337,959.12
The Contract Amount prior to this Change Order was	\$24,037,156.12
The Contract will be increased by this Change Order in the amount of	\$457,260.59
The new Contract Amount including this Change Order will be	\$24,494,416.71
The Contract Time will be increased by 0 days.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

San Mateo County  
OWNER

(Signature)

(Signature)

(Signature)

**Brendan Corbett**

By

By

By

**11.25.2019**

Date

Date

Date



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8036  
Date: 8/21/19  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

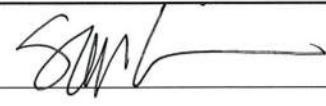
Description: Landscape and Irrigation

We are pleased to offer the following specifications and pricing to make the following changes:  
Furnish and install landscape per approved plans and specifications.

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
32-8000 Landscaping & Irrigation				\$168,389.00		\$168,389.00
					Subtotal:	\$168,389.00
		COMPONENT 3 - BIT		\$168,389.00	2.70 %	\$4,546.50
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$168,389.00	5.00 %	\$8,419.45
					Total:	\$181,354.95

If you have any questions, please contact me at .

Submitted by: F & H CONSTRUCTION

Approved by:   
Date: 11/6/19

APPROVED AMOUNT \$ 181,354.95

Robert J. Hennessy 9-20-2019  
ROBERT J. HENNESSY OF



F & H STRUCTION		BID ITEM:	LANDSCAPING & IRRIGATION			
		FIRM NAME	Marina	Green Growth Industries	Lone Star Landscape	
		LOCATION	Orange, CA	Pleasanton, CA	San Martin, CA	
		LICENSE	492862	662718	463280	
		DIR #		1000004803		
		PHONE	(714) 939-6600	(925) 484-0830	(408) 682-0100	
		NAME	John Gutierrez	Taghi Khoroshahi	Robert Samaniego	
DESCRIPTION		SCOPE				
	BASE BID AMOUNT	BASE \$\$	\$133,100	\$207,738	\$168,389	
DESCRIPTION						
GATION						
			5,106.0	XXXXX	XXXXX	
		60 Day	8,500.0	XXXXX	XXXXX	
			25,149.0	XXXXX	XXXXX	
CLARIFICATIONS						
			\$171,855	\$207,738	\$168,389	\$0
			\$0	\$0	\$0	\$0
FINAL TOTAL		\$1	\$171,855	\$207,738	\$168,389	\$0

## ALTERNATE

LS

## LANDSCAPING &amp; IRRIGATION LISTING INFORMATION

PRICE	\$168,389
CONTRACTOR TO LIST	Lone Star Landscape
CITY, STATE	San Martin, CA
CONTRACT LICENSE NUMBER	463280
DIR #	0



July 12, 2019

Re: Animal Shelter Replacement-County of San Mateo

Attention: Estimator

We propose to furnish & install as per plans & specs, the work described below:

Install new irrigation system

Install new trees, shrubs, groundcover, hydro-seed & Mulch

Provide 60 day maintenance

**Total Bid: \$168,389.00**

General is to provide a sub-grade +/-1/10<sup>th</sup> of a foot of finish grade. Electrical power to irrigation controller is to be provided by others. Our DIR number is 1000002345.

We exclude

Traffic & pedestrian control

Clearing, grubbing & grading

Tree removal and protection

Bio-filtration soils

Import & Export of soils

Trenching & boring through paved areas

Protection & maintenance of existing landscape areas to remain

Water meter & associated costs

Permits, fees & bonds. (Our bond rate is 1.15)

If you have any questions, feel free to call me.

Thank you,

Robert Samaniego

Contractor's License # 463280  
P.O. Box 70  
San Martin, CA 95046

Phone 408-682-0100  
Fax 408-682-0109





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8037  
**Date:** 8/21/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Fencing - Revision 1 - 03.14.19

We are pleased to offer the following specifications and pricing to make the following changes:  
Provide fencing per revision 1 dated 03.14.19. See attached drawings.

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
32-3100 Fences & Gates				\$249,319.00		\$249,319.00
					Subtotal:	\$249,319.00
		COMPONENT 3 - BIT		\$249,319.00	2.70 %	\$6,731.61
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$249,319.00	5.00 %	\$12,465.95
					<b>Total:</b>	<b>\$268,516.56</b>

If you have any questions, please contact me at .

Submitted by: F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

**APPROVED AMOUNT: \$268,516.56**

**Robert J. Hennessy 10-28-2019**  
ROBERT J. HENNESSY D.F.





Bailey Fence Co., Inc.  
 License # 498661 C-13  
 DIR #1000005722  
 3205 Baumberg Avenue  
 Hayward, CA 94545  
 Tel. 510-783-2980 Fax 510-783-2989  
 Email: [baileyfenceco@hotmail.com](mailto:baileyfenceco@hotmail.com)

## BID FORM

BID DATE: 06-27-19

TIME: 11:00 AM

PROJECT NAME: San Mateo Animal Shelter

LOCATION: San Mateo, CA

SECTION (s) TRADES: Chain Link Fence

PLANS/SPECS: A1.10,

PAGE # (s): Site plan

DETAILS: As.01,

FURNISH & INSTALL **YES** FOB JOB SITE

INSTALL ONLY

TAX INCLUDED **YES**

UNION: YES PREVAILING WAGE: YES BONDABLE: YES BOND RATE: 3% (not included) WAIVER OF SUBROGATION: 3% (not included)

**BID ITEM Pink Color Section: Provide and install approximately 380' Lf of Privacy Slats, 8' H black and PVC coated black frame, in the perimeter of the site, includes 2 gates with ND 80 Schlage Lever Lock, Fence post on concrete footing.**

PRICE PER LIN. FT..... \$116.83.....LUMP SUM.....\$44,396.00

**BID ITEM Blue Color Section: Provide and install approximately 188' Lf of Privacy Slats, 8' H black and PVC coated black frame, in the perimeter of the site, on top of retaining wall, post 4' O.C. with saddles bolted to retaining wall.**

PRICE PER LIN. FT..... \$205.63.....LUMP SUM.....\$38,660.00

**BID ITEM Orange Color Section: Provide and install approximately 318' Lf of Privacy Slats, 8' H black and PVC coated black frame, in the perimeter of the site, includes 1 gate with ND 80 Schlage Lever Lock, rolling gate, Fence post on concrete footing. Rolling gate with V-track and embedded in concrete, gate fully automated, see attached detail and cost**

PRICE PER LIN. FT..... \$112.10.....LUMP SUM.....\$35,649.00

**BID ITEM Red Color Section: Provide and install approximately 715' Lf of 2" mesh, galvanized, 8' H, GALV frame, includes 7 gates with ND 80 Schlage Lever Lock. Fence post on concrete footing.**

PRICE PER LIN. FT..... \$96.54.....LUMP SUM.....\$69,030.00

**BID ITEM Chicken Coop: Provide and install approximately 75' Lf of 2" mesh, galvanized, from 9' H to 12' H, GALV frame, includes 2 gates with ND 80 Schlage Lever Lock. Fence post on concrete footing.**

PRICE PER LIN. FT..... \$241.09.....LUMP SUM.....\$18,082.00

**BID ITEM Duck Pond: Provide and install approximately 134', of 2" mesh, galvanized, from 8' H' H, with a top enclosure 34' Lf x 18' Wide, GALV frame, includes 2 gates with ND 80 Schlage Lever Lock. Fence post on concrete footing. Top enclosure trusted for full support of the chain link fence.**

PRICE PER LIN. FT..... \$181.61.....LUMP SUM.....\$30,510.00

**BID ITEM Gate Automation: Provide and install see below.**

.....LUMP SUM.....\$12,992.00

**Entire Quote includes utilities locator**

#### EXCLUSIONS & CLARIFICATIONS:

**BID IS BASED ON: INSTALLATION OF FENCE POSTS PRIOR TO CONCRETE, LANDSCAPING OR ANY OTHER TRADES THAT RESTRICTS OR AFFECTS ACCESS. WE ASSUME NO RESPONSIBILITY FOR UNMARKED UNDERGROUND UTILITIES (WATER, ELECTRICAL, TELEPHONE, GAS, SEWER ETC.) TRAFFIC CONTROL, CLEARING, GRUBBING, SURVEY, CITY OR STATE PERMITS, ENGINEER OR STRUCTURAL CALCULATION, ELECTRICAL GROUNDING TO BE BY OTHERS.**

**Bid is good for 90 Days, after 90 days there may be an added cost to material.**

**BID SUBMITTED BY: Sal Martinez**

**DATE: 06-27-19**

The following is our proposal to furnish and install a sliding gate motor operator and related controls, as outlined in the specifications that you have provided, for your consideration.

Entry will be controlled by radio or digital keypad and the gate will open automatically for exiting vehicles. We will furnish and install a vehicle detector with an interior loop to open the gate automatically for exiting vehicles. A second vehicle detector, connected to two loops installed adjacent to the gate, will stop and prevent the gate from closing if a vehicle presence is detected during the closing cycle. A safety photo switch will be installed, sighted across the opening, to stop and prevent the gate from closing if an obstruction is detected during the closing cycle. The gate will be furnished with a safety edge, mounted to the leading edge of the gate that will stop the gate if an obstruction is encountered during the closing cycle. We will install a fire department override key-switch to allow for emergency access. A second key switch will be furnished that would hold the gate open in one position or place is in the automated mode in the second position with the key being removable in either position.

#### EQUIPMENT LIST

The following listed equipment will be furnished:

- |   |           |   |
|---|-----------|---|
| 1 | CSL-24UL  | Liftmaster sliding gate operator, 1/2 hp rated 24VDC motor, 120VAC, with battery backup   |
| 1 | LMRRU     | Retro-reflective Photo-eye, sighted across the gate opening, safety, stops the gate if an obstruction is detected during the closing cycle  |
| 1 | LOOPDETL  | Plug In Vehicle detector, opens the gate automatically for exiting vehicles   |
| 1 | LOOPDETL  | Plug in vehicle detector, safety, connected to two loops installed adjacent to the gate, stop and prevents the gate from closing if a vehicle presence is detected during the closing cycle |
| 1 | AK-11     | Field programmable digital keypad   |
| 1 | PED-42-9C | Gooseneck stand   |
| 1 | AP-5      | Field programmable receiver   |
| 1 | 1066      | Antenna Kit   |

- |   |         |  |
|---|---------|--|
| 1 | LMWEKTU | Monitored Safety edge transmitter and receiver kit                 |
| 1 | S505AL  | 5' Safety Edge. Monitored, mounted to the leading edge of the gate |
| 1 | 1KXL-KA | Key-switch, hold open/automated, key removable in either position  |
| 1 | 3502    | Fire Department Override Key-switch                                |

#### SCOPE OF WORK

We will do the following:

1. Coordinate our work with the related work that is being done by others.
2. Mount all equipment units.
3. Furnish, install and terminate all control wiring.
4. Bring up the system and provide final field adjustment and complete operational testing.
5. Provide a one-year warranty, parts and on site labor included.

The following work is to be done by others:

1. 120VAC @20AMP power furnished to the motor operator.
2. Rough in control conduits as required.
3. Permit.





**Architect:**  
IDA Partners, LLP  
Designers & Architects  
222 Central Court  
Dixon, CA 95524  
209 841-0401  
www.idapartners.com



FAIR CONSTRUCTION  
Institute

Client:  
COUNTY of SAN MATEO  
1402 Maple Street  
Redwood City, CA 94063  
415.369.4715

**Project:**  
ANIMAL SHELTER  
REPLACEMENT  
12 Airport Blvd  
San Mateo, CA

Project No.: 36505-1  
 Drawn By: AR  
 Checked By: DR

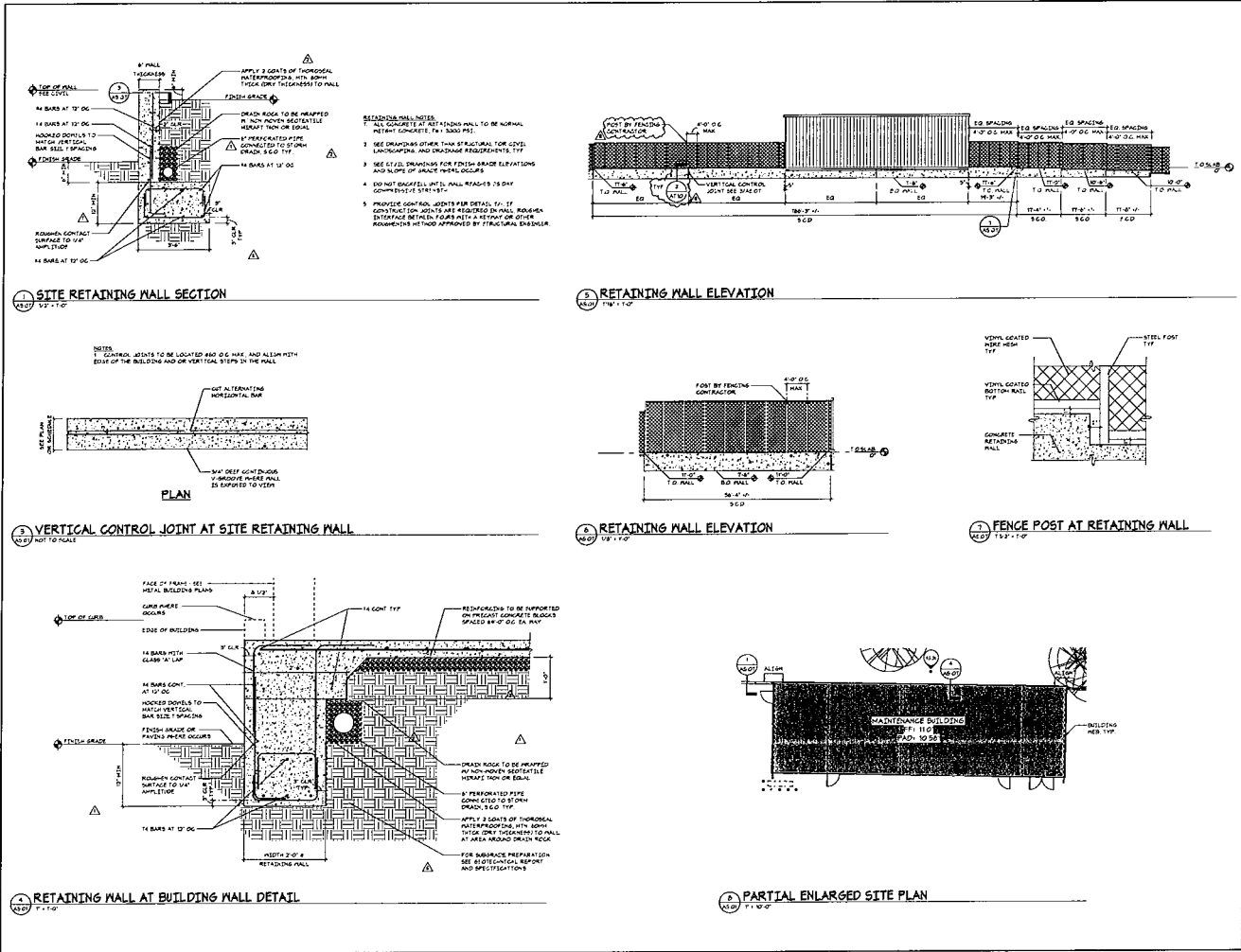
No.	Description	Expiry	By
2	COORDINATION	3/27/18	
4	RURAL CHECKUP	3/14/18	
8	FECHING REL	3/12/18	

PACKAGE 2 - PERMIT SET  
8/10/2018

### FENCING PLAN

**A1.10** 





AVISO:  
LDA ENGINEERING, LTD.  
DESIGN & CONSTRUCTION  
333 S. GATEWAY  
SAN JOSE, CA 95128  
408-945-1400  
www.lda-engineering.com



FSH CONSTRUCTION  
SINCE 1974

CLIENT:  
COMITE DE SAN MATEO  
1402 Market Street  
Redwood City, CA 94063  
650.345.4715

PROJECT:  
ANDAMIS SHELTER  
REPLACEMENT  
12 Airport Blvd  
San Mateo, CA

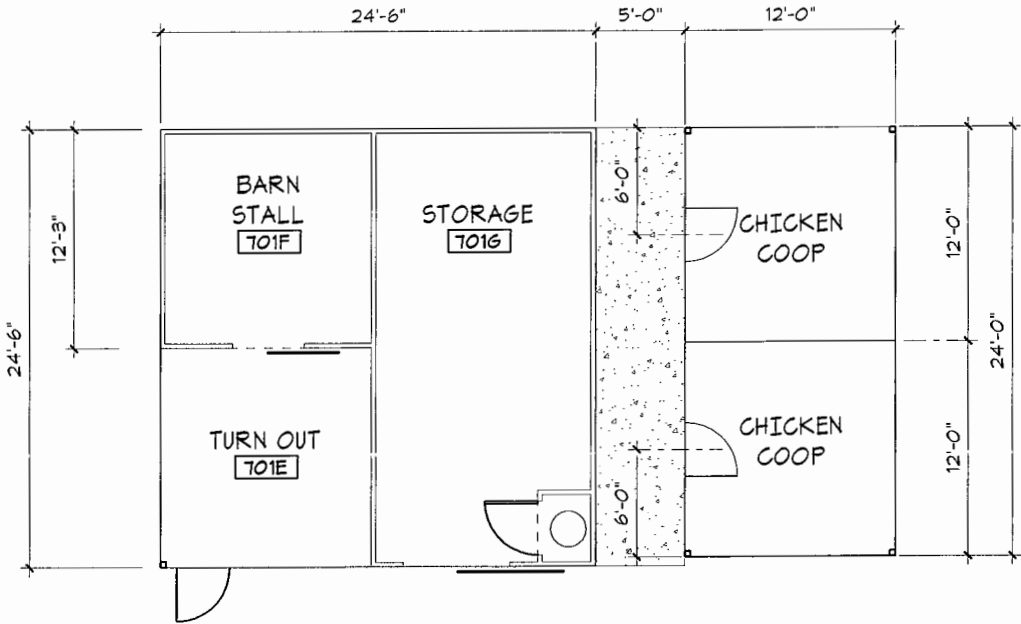
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DRAWN BY: ALV  
CHECKED BY: CHOW

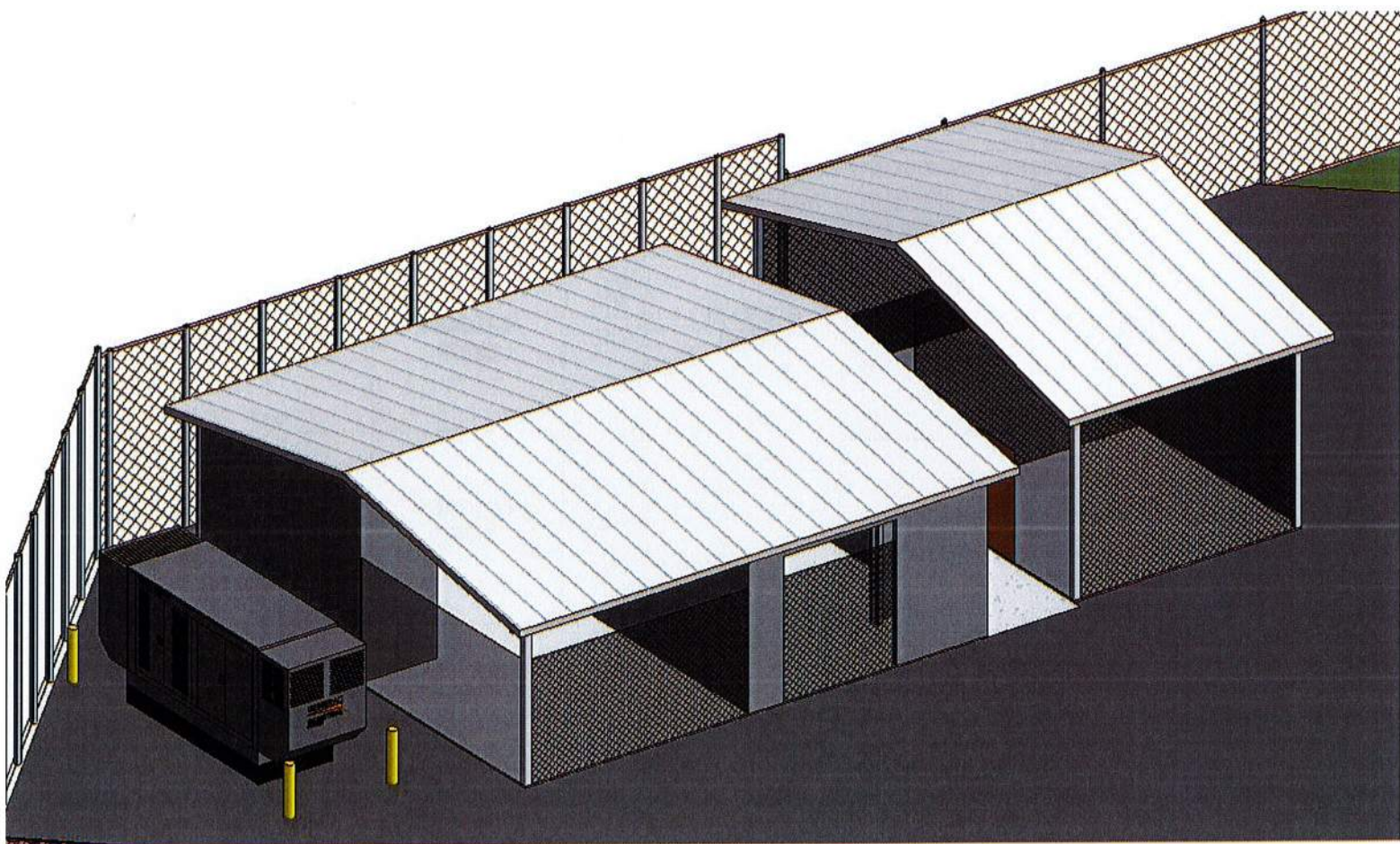
NO.	DESCRIPTION	DATE	BY
1	PROJECT START	10/18	ALV
2	PROJECT END	10/18	ALV
3	PROJECT END	10/18	ALV
4	PROJECT END	10/18	ALV

PACKAGE 2 - PERMIT SET  
8/10/2018

SITE DETAILS

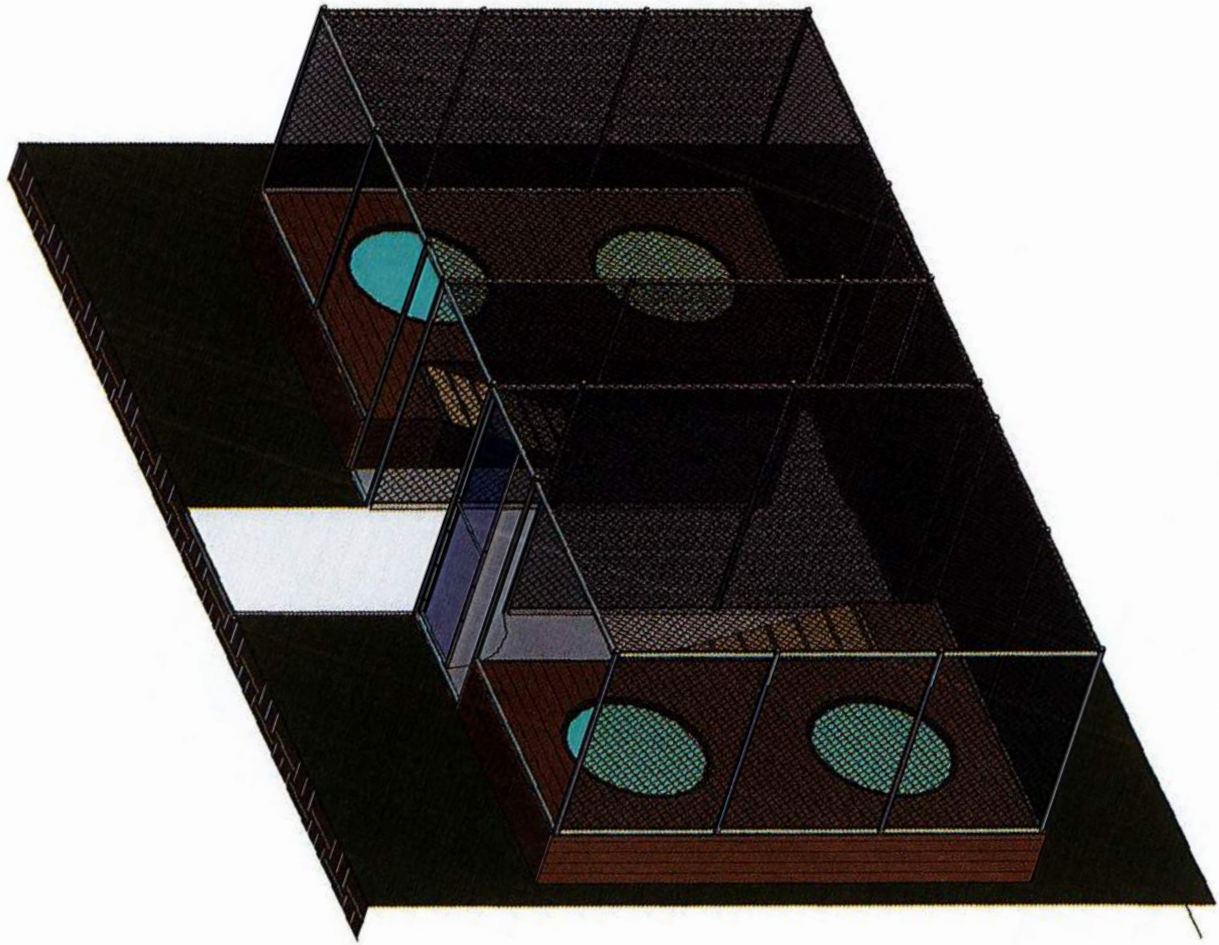
AS.01













**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

### Change Request

To: Robert Hennessy  
Jacobs

Number: 8039  
Date: 10/30/19  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** Antenna Lightning Protection

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the lightning protection requested by the County.

See attached COR and Email string for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical				\$6,860.80		\$6,860.80
					Subtotal:	\$6,860.80
		COMPONENT 3 - BIT		\$6,860.80	2.70 %	\$185.24
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$6,860.80	5.00 %	\$343.04
					Total:	\$7,389.08

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 11/6/19

APPROVED AMOUNT: \$ 7,389.<sup>08</sup>

Robert J. Hennessy 11/01/2019



### Intermountain Electric

947 Washington Street  
San Carlos, CA 94070  
Telephone: 650.591.7118  
Fax: 650.591.7123

### F & H Construction

Contact: Brendan Corbett

CHANGEORDER 26  
Date: 10/30/2019  
Project Name: SMAS - Animal Shelter  
Project Number: SMAS - Animal Shelter  
Page Number: 1  
REF:

## PROPOSED CHANGE ORDER

### Work Description

Lightning protection for antenna scope

Provide #6THHN wire from antenna at Dispatch room 206, to ground rod, and final termination at MSB main ground bar

install ground connection to antenna  
run conduit for ground wire from antenna down through roof  
penetrate building exterior and mount WP junction box  
run conduit from Junction box to ground well christy box  
Install 3/4"x10' ground rod in ground well  
run ground wire through conduits from antenna to ground rod and back up into ceiling space  
free air ground wire back to Main Electrical room by strapping to wooden beams  
add necessary conduit to terminate wire at main ground bar

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.

This price is good for acceptance within 10 days from the date of receipt.

We request a time extension of 3 days.

We will supply and install all materials, labor, and equipment as per your instructions on .

### Itemized Breakdown

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
3/4" CONDUIT - EMT	40	258.58	C	103.43	7.50	C	3.00
3/4" CONN SS STL - EMT	14	240.26	C	33.64	15.00	C	2.10
3/4" COUPLING SS STL - EMT	4	282.36	C	11.29	7.00	C	0.28
3/4" EMT & 1/2" RMC 1-PC STRUT CLAMP W/ SADDLE -	2	170.91	C	3.42	0.00	C	0.00
1/2 OR 3/4" CONDUIT SNAP CLOSE CLIP W/ 1/4-20 THR	2	52.18	C	1.04	0.00	C	0.00
1/2 OR 3/4" CONDUIT+BOX SUPPORT W/ 9/32" MNTG H	2	489.61	C	9.79	0.00	C	0.00
# 6 THHN GREEN	310	1,056.29	M	327.45	30.00	M	9.30
1" ROMEX STAPLE	83	1.23	C	1.02	0.00	C	0.00
4x 1 1/2" SQ BOX COMB KO	2	1,469.00	C	29.38	40.00	C	0.80
4" SQ BLANK COVER	2	546.28	C	10.93	10.00	C	0.20
4x 4x 4" WP FLNG J-BOX	1	394.15	E	394.15	2.25	E	2.25
1/4" THREADED ROD - PLTD	6	68.72	C	4.12	16.50	C	0.99
1/4-20x 1 HEX HEAD BOLT - PLTD STL	2	9.27	C	0.19	8.40	C	0.17
1/4-20 HEX NUT - PLTD STL	2	3.70	C	0.07	3.60	C	0.07
#8x 1/2 WAFER HEAD SELF-TAP STUD SCREW - 12G	6	3.84	C	0.23	7.50	C	0.45
GROUND WELL DETAIL	1	190.00	E	190.00	8.30	E	8.30

ORIGINAL



## Brendan Corbett

---

**From:** Robert Harders <Robert@im-electric.com>  
**Sent:** Wednesday, October 30, 2019 9:35 AM  
**To:** Brendan Corbett  
**Cc:** Karen Prentice; Anthony Lociero; Todd LaRose; Daniel Hoff; Kevin Moore  
**Subject:** RE: Animal Shelter Radio  
**Attachments:** PCO #26 - Lightning protection for radio antenna.pdf

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Attached for your review.

Thank you,

Robert Harders  
Project Manager



947 Washington Street | San Carlos, CA 94070  
Office (650) 591-7118 | Cell (650) 222-0964  
Fax (650) 591-7123 | [robert@im-electric.com](mailto:robert@im-electric.com)  
Visit our website @ [www.im-electric.com](http://www.im-electric.com)

---

**From:** Brendan Corbett <bcorbett@f-hconst.com>  
**Sent:** Wednesday, October 23, 2019 2:33 PM  
**To:** Robert Harders <Robert@im-electric.com>  
**Cc:** Karen Prentice <Karen@im-electric.com>; Anthony Lociero <Anthony@im-electric.com>; Todd LaRose <TLarose@f-hconst.com>; Daniel Hoff <dhoff@f-hconst.com>  
**Subject:** RE: Animal Shelter Radio

**Yes,**  
**Please price option 2**

**Thanks**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 **CELL**

---

**From:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>  
**Sent:** Wednesday, October 23, 2019 12:25 PM  
**To:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>



**PROPOSED CHANGE ORDER****Intermountain Electric**

947 Washington Street  
San Carlos, CA 94070

**F & H Construction****CHANGEORDER 26****Date:** 10/30/2019**Project Name:** SMAS - Animal Shelter**Project Number:** SMAS - Animal Shelter**Page Number:** 2**REF:**

Description	Qty	Net Price	U	Total Mat.	Labor	U	Total Hrs.
antenna connection	1	15.00	E	15.00	0.75	E	0.75
<b>Totals</b>	<b>480</b>			<b>1,135.16</b>			<b>28.66</b>

**Summary**

General Materials		1,135.16
Material Tax	(@ 9.250 %)	105.00
<b>Material Total</b>		<b>1,240.16</b>
ELECTRICIAN	(28.66 Hrs @ \$140.23)	4,018.99
MATERIAL HANDLING	(2.00 Hrs @ \$70.00)	140.00
AS-BUILT DRAWINGS	(2.00 Hrs @ \$140.23)	280.46
ENGINEERING	(2.00 Hrs @ \$150.00)	300.00
<b>Subtotal</b>		<b>5,979.61</b>
Markup	(@ 15.000 %)	881.19
<b>Subtotal</b>		<b>6,860.80</b>
<b>Final Amount</b>		<b>\$6,860.80</b>

**CONTRACTOR CERTIFICATION****Name:** \_\_\_\_\_**Date:** \_\_\_\_\_**Signature:** \_\_\_\_\_

I hereby certify that this quotation is complete and accurate based on the information provided.

**CLIENT ACCEPTANCE****CHANGEORDER 26****Final Amount: \$6,860.80****Name:** \_\_\_\_\_**Date:** \_\_\_\_\_**Signature:** \_\_\_\_\_**Change Order #:** \_\_\_\_\_

I hereby accept this quotation and authorize the contractor to complete the above described work.

**ORIGINAL**

**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I apologize. I completely forgot to send our engineers response. Below is what we will price if scope is agreeable. Option 2 is what we'll work on.

*Looks like they just want the antenna grounded to dissipate a lightning strike to ground not lighting protection for the building.*

*Looks like a # 6 is adequate. I would recommend*

- 1. a #6 from the antenna post (I assume a tower is not being installed on the roof) to a ground bus (Maybe in the electrical room) then a #6 from the ground bus to a ground rod and a #6 from the ground bus to the MSB ground. At the post provide a double lug ground terminal one for the ground wire and a spare if the antenna guys need to tie to the ground.*
- 2. Another option is to skip the ground bus and run from the antenna to the ground rod and then to MSB.*

Thank you,

Robert Harders  
Project Manager



947 Washington Street | San Carlos, CA 94070  
Office (650) 591-7118 | Cell (650) 222-0964  
Fax (650) 591-7123 | [robert@im-electric.com](mailto:robert@im-electric.com)  
Visit our website @ [www.im-electric.com](http://www.im-electric.com)

---

**From:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

**Sent:** Tuesday, September 24, 2019 2:02 PM

**To:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>

**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

**Robert**

**See attached email with responses. Let me know if you need anything else to provide a CO**

**Thanks**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

Civil EIT, LEED AP BD+C

(209) 331-6686 CELL

---

**From:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>  
**Sent:** Monday, September 16, 2019 3:59 PM  
**To:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>  
**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter Radio

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sorry, took our engineer a bit longer to come up with a solution than we thought. He has the following questions so he can properly address the issue. Please confirm intent.

*Is it the owners intent to just ground the antenna in case of lightning or actually try and protect the antenna.*

*If just the antennae the a two ground conductor should run from the antenna to the perimeter of the building then down to a ground rod (opposite sides of the building). The ground conductor shall also bond to the service ground so all grounded surfaces are at the same potential.*

*#2 Cu conductor minimum.*

*If they want to protect the antenna then a lightning protection system will need to be installed (NFA 780).*

*I don't think they have much of a chance of a lightning strike in this area and with the tall building going up across the street.*

Thank you,

Robert Harders  
Project Manager



947 Washington Street | San Carlos, CA 94070  
Office (650) 591-7118 | Cell (650) 222-0964  
Fax (650) 591-7123 | [robert@im-electric.com](mailto:robert@im-electric.com)  
Visit our website @ [www.im-electric.com](http://www.im-electric.com)

---

**From:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>  
**Sent:** Thursday, September 12, 2019 7:48 PM  
**To:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>  
**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter Radio

**Karen and Robert,**

**What is the status of the ground CO? Sorry for late emails, I'm doing meeting minutes and don't want to forget the items that came up with the owner**

**Thank you**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 [CELL](#)

---

**From:** Brendan Corbett

**Sent:** Monday, September 09, 2019 3:21 PM

**To:** 'Robert Harders' <[Robert@im-electric.com](mailto:Robert@im-electric.com)>

**Cc:** 'Karen Prentice' <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; 'Anthony Lociero' <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLaRose@f-hconst.com](mailto:TLaRose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

**Karen**

**Where are we at with this CO for the ground rod and ring/string for this antenna?**

**Thanks**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 [CELL](#)

---

**From:** Brendan Corbett

**Sent:** Wednesday, July 24, 2019 4:19 PM

**To:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>

**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLaRose@f-hconst.com](mailto:TLaRose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

**Yes,**

**State this in the CO**

**Thanks**

**Brendan Corbett**



**F&H Construction**

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 **CELL**

---

**From:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>

**Sent:** Wednesday, July 24, 2019 3:08 PM

**To:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

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This usually goes down to an isolated ground rod. We don't tie lighting protection grounding to our system grounding. Should we provide a dedicated ground rod and tie that to the antenna with the #6?

Thank you,

Robert Harders  
Project Manager



947 Washington Street | San Carlos, CA 94070

Office (650) 591-7118 | Cell (650) 222-0964

Fax (650) 591-7123 | [robert@im-electric.com](mailto:robert@im-electric.com)

Visit our website @ [www.im-electric.com](http://www.im-electric.com)

---

**From:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

**Sent:** Wednesday, July 24, 2019 3:01 PM

**To:** Robert Harders <[Robert@im-electric.com](mailto:Robert@im-electric.com)>

**Cc:** Karen Prentice <[Karen@im-electric.com](mailto:Karen@im-electric.com)>; Anthony Lociero <[Anthony@im-electric.com](mailto:Anthony@im-electric.com)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** FW: Animal Shelter Radio

**Robert**

**Can you supply a PCO for the following add:**

- In the dispatch room, run conduit going down in the wall to a mud ring
- 6 awg ground (for lightning protection) can be provided at the antenna or at a minimum a grounding point where we can ground the antenna and cable

**Thank you**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 CELL

---

**From:** Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>

**Sent:** Monday, July 22, 2019 8:05 AM

**To:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

**Cc:** Robert Hennessy <[c\\_rhennessy@smcgov.org](mailto:rhennessy@smcgov.org)>; Cassius Lockett <[clockett@smcgov.org](mailto:clockett@smcgov.org)>; Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>

**Subject:** RE: Animal Shelter Radio

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi,

Thanks for clarifying these points..

Can you get a quote from the contractor to do the following:

- In the dispatch room, run conduit going down in the wall to a mud ring
- 6 awg ground (for lightning protection) can be provided at the antenna or at a minimum a grounding point where we can ground the antenna and cable

Bob, these items should have been included as Theresa worked with Steve from Radio Services in 2015.

Thanks,

Lori

---

**From:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

**Sent:** Monday, July 22, 2019 7:19 AM

**To:** Stevan Salinas <[ssalinas@smcgov.org](mailto:ssalinas@smcgov.org)>; Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>

**Cc:** Christopher Petrie <[cpetrie@smcgov.org](mailto:cpetrie@smcgov.org)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>

**Subject:** RE: Animal Shelter Radio

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

---

**Steve and Lori,**

**This is not quite what was discussed. Please see my comments below:**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*



(209) 331-6686 CELL

From: Stevan Salinas <[ssalinas@smcgov.org](mailto:ssalinas@smcgov.org)>

Sent: Friday, July 19, 2019 3:08 PM

To: Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>; Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>

Cc: Christopher Petrie <[cpetrie@smcgov.org](mailto:cpetrie@smcgov.org)>

Subject: Animal Shelter Radio

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,

Thank you both for meeting with us this morning.

Per our earlier conversation I have comprised the below bullet points:

- F and H Construction/ contractor will bore the hole (in ceiling) to the dispatch room (**T-Bar Ceiling, F&H can bore hole here, let us know exact location**) and bore hole to roof providing emt chase on both holes
- F and H Construction/ contractor will construct the support to the exterior of the roof where the Radio shop will install the pipe mount for the yagi antenna. **Not sure what is meant by construct the "support to the exterior", I stated, we will install backing near the ridge (2x6 blocks behind siding, so the mount furnishes and installed by the county will have something to attach to. F&H is not constructing a support.**
- Lori/ PHS will notify the Radio shop of when the contractor turns the keys over to the County (with at least a week's notice), estimated to be FEB-MAR 2020.
- Radio Shop does installation of pipe mount, cabling and move of radio equipment.
  - o Plenum cable is to be used in the installation.
  - o Exterior hole to be filled/ sealed after installation is complete
- Radio Shop moves existing radio equipment and tests in new location

Am I missing anything?

Also, a couple of things...

In the dispatch room can we have a conduit going down in the wall to a mud ring so we can bring the cable down in between the walls easily after construction is complete? **Yes, but this is not something F&H can work on (union rules), if required, I would have to get a price from our electrical contractor.** Is there any way that an 6 awg ground (for lightning protection) can be provided at the antenna or at a minimum a grounding point where we can ground the antenna and cable? **Yes, but this is not something F&H can work on (union rules), if required, I would have to get a price from our electrical contractor.**

Lori, I will send you what I sent Theresa for charges of the move. Chris Petrie will more than likely be heading the install and move as I will not be here when this is scheduled to occur (FEB- MAR 2020). If you have any questions for us, please let us know. Thanks.

V/r,

Steve Salinas  
Systems Engineer  
SMCo. ISD- Radio Services  
650-363-4442  
[ssalinas@smcgov.org](mailto:ssalinas@smcgov.org)

## Brendan Corbett

---

**From:** Christopher Petrie <cpetrie@smcgov.org>  
**Sent:** Tuesday, September 24, 2019 1:49 PM  
**To:** Lori Morton-Feazell  
**Cc:** Brendan Corbett; Cassius Lockett; Todd LaRose; Robert Hennessy  
**Subject:** RE: Animal Shelter Radio  
**Attachments:** Installation Practices 2.pdf

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon everyone,

I ran these questions by my coworkers and see our answers in red. Please let me know if there's anything else you'd like clarified. Thanks for your time.

***Is it the owners intent to just ground the antenna in case of lightning or actually try and protect the antenna.***

What we've proposed is a standard antenna ground system similar to one that should be installed on any outdoor antenna structure including rooftop television antennas. The intent is to protect the building, building personnel, and the infrastructure within the building, including the radio equipment attached to the antenna if possible. If the antenna were to be struck by lightning, the radio and most, if not all associated equipment would need to be replaced. The intent here is to dissipate most of the electrical energy before it has opportunity to enter the building and cause additional significant damage.

***If just the antennae the a two ground conductor should run from the antenna to the perimeter of the building then down to a ground rod (opposite sides of the building). The ground conductor shall also bond to the service ground so all grounded surfaces are at the same potential.***

I'm not quite sure what you're asking here but the attached County of San Mateo Installation Standards and Practices guide discusses this in the section entitled Lightning Protection/Grounding.

***#2 Cu conductor minimum.***

6 AWG copper grounding cable is what we normally use to connect antennae to a ground buss, the ground buss is then connected to the building ground with a 6 AWG.

***If they want to protect the antenna then a lightning protection system will need to be installed (NFA 780).***

We will use a polyphaser to mitigate damage to the radio and inline equipment in case the antenna is struck with lightning. This is a device that acts as a fuse, opening the transmission line under high current conditions, such as a nearby lightning strike.

***I don't think they have much of a chance of a lightning strike in this area and with the tall building going up across the street.***

A nearby strike can induce considerable current into an antenna, and unless there's a way to dissipate that energy to ground before it reaches the equipment, you will mostly sustain damage. We've had lightning strikes a considerable distance away create damage in radio equipment.



Very respectfully,

**Chris Petrie**

IS Communications Specialist II

**Radio Services**

County of San Mateo | Information Services Department

1320 Marshall Street

Redwood City, CA

(650) 363-4442 – Main office

(650) 599-1053 – Desk phone

(650) 399-5137 – Work Cell

---

**From:** Lori Morton-Feazell

**Sent:** Tuesday, September 17, 2019 11:47 AM

**To:** Christopher Petrie <cpetrie@smcgov.org>

**Cc:** Brendan Corbett <bcorbett@f-hconst.com>; Cassius Lockett <clockett@smcgov.org>; Todd LaRose <TLarose@f-hconst.com>; Robert Hennessy <c\_rhennessy@smcgov.org>

**Subject:** FW: Animal Shelter Radio

Hi,

Can you please review the attached email and let us know if the antenna needs a ground.

Thanks,

Lori

**From:** Brendan Corbett <bcorbett@f-hconst.com>

**Sent:** Tuesday, September 17, 2019 7:29 AM

**To:** Lori Morton-Feazell <lmorton-feazell@smcgov.org>

**Cc:** Robert Hennessy <c\_rhennessy@smcgov.org>; Cassius Lockett <clockett@smcgov.org>; Todd LaRose <TLarose@f-hconst.com>

**Subject:** RE: Animal Shelter Radio

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

---

**Lori**

**Please read the attached email from or electrical contractor and provide a response so we can price this added ground**

**Thank you**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 CELL

---

**From:** Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>  
**Sent:** Monday, July 22, 2019 8:05 AM  
**To:** Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>  
**Cc:** Robert Hennessy <[rhennessy@smcgov.org](mailto:rhennessy@smcgov.org)>; Cassius Lockett <[clockett@smcgov.org](mailto:clockett@smcgov.org)>; Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>  
**Subject:** RE: Animal Shelter Radio

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Hi,

Thanks for clarifying these points..

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Bob, these items should have been included as Theresa worked with Steve from Radio Services in 2015.

Thanks,  
Lori

---

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**Sent:** Monday, July 22, 2019 7:19 AM  
**To:** Stevan Salinas <[ssalinas@smcgov.org](mailto:ssalinas@smcgov.org)>; Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>  
**Cc:** Christopher Petrie <[cpetrie@smcgov.org](mailto:cpetrie@smcgov.org)>; Todd LaRose <[TLarose@f-hconst.com](mailto:TLarose@f-hconst.com)>; Daniel Hoff <[dhoff@f-hconst.com](mailto:dhoff@f-hconst.com)>  
**Subject:** RE: Animal Shelter Radio

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*F&H Construction*  
*Project Manager/ Engineer*  
*Civil EIT, LEED AP BD+C*

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**Sent:** Friday, July 19, 2019 3:08 PM  
**To:** Lori Morton-Feazell <[lmorton-feazell@smcgov.org](mailto:lmorton-feazell@smcgov.org)>; Brendan Corbett <[bcorbett@f-hconst.com](mailto:bcorbett@f-hconst.com)>  
**Cc:** Christopher Petrie <[cpetrie@smcgov.org](mailto:cpetrie@smcgov.org)>  
**Subject:** Animal Shelter Radio

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V/r,

Steve Salinas  
Systems Engineer  
SMCo. ISD- Radio Services  
650-363-4442  
[ssalinas@smcgov.org](mailto:ssalinas@smcgov.org)





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 30**

**Date: 3/27/2020**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

**The Contract is changed as follows:**

Owner Change Order #030

8038.3 Temporary Generator during PG&E Shutdown REV 3	\$136,180.34
8040 Berm Grading and Relocation	\$24,581.02
8041 Layer Cake Excavation Method (SMP and ADMP)	\$12,644.58
8042 Add Epoxy to 2 Laundry Rooms	\$6,779.00
8043.1 Panic Alarm Panel Add REV 1	\$4,798.97
8044.1 Install of Landscape Sleeves	\$5,712.02
8045.4 Asphalt Paving ADD (PHASE IA)	\$121,209.66
8046 Class II Contaminated Soil Off Haul II	\$26,835.03
8047 Soil Import - ADMP and SMP	\$43,628.95
8048 Med Gas Relocation	\$10,792.26
8049 Temp Access and Fencing Add REV 3	\$10,927.95
8051 Cellular System for Fire Alarm	\$3,098.64
8052 Mail Box and Desk Gate ADD	\$4,455.32
8053.1 Asphalt Paving ADD (PHASE II B)	\$117,308.78
8055 Access and Accessibility Pathways	\$47,429.97
8057 Spoils Relocation, Grading and V-Ditch Clearing	\$43,663.62
8058 Asbestos DMP and SMP Enhanced Soil Measures	\$11,681.74
8059 AT&T Conduit Extension	\$18,118.56
<b>Total:</b>	<b>\$649,846.41</b>





**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Order

**Project:**

10-16-5466 ANIMAL SHELTER REPLACEMENT  
12 AIRPORT BLVD  
SAN MATEO, CA 94401

**Change Order: 30**

**Date: 3/27/2020**

**Architect's Project:**

**To Contractor:**

FH CONSTRUCTION  
PO BOX 2329  
LODI, CA 95241

Scott Gurley

4/16/2020

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

Robert Hennessy

4/16/2020

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

\$649,846.41

Sam Lin

Assistant Director

4/17/2020

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

\$648,846.41

Karen Rodgers

DocuSigned by:

*Karen Rodgers*  
C9CE582911BB4E0...

Reviewed

PDU Confirmed correction to  
\$649,846.47

The original Contract Amount was	\$19,699,197.00
Net change by previously authorized Change Orders	\$4,795,219.71
The Contract Amount prior to this Change Order was	\$24,494,416.71
The Contract will be increased by this Change Order in the amount of	\$649,846.41
The new Contract Amount including this Change Order will be	\$25,144,263.12
The Contract Time will be unchanged.	
The date of Substantial Completion as of the date of this Change Order therefore is	

LDA PARTNERS  
ARCHITECT

FH CONSTRUCTION  
CONTRACTOR  
PO BOX 2329  
LODI, CA 95241

Jacobs  
OWNER

(Signature)

(Signature)

See Attached CRs  
(Signature)

By

By

By

Date

Date

Date

4/10/20

See Attached CRs

See Attached CRs



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8038.3 – Temp Generator during PGE Shutdown P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 7, 2020****Issued by:** Scott Gurley**SCOPE of WORK:** P23G6-FH-CR 8038.3 Temp Generator during PGE Shutdown**Ref:****DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**☐ See attached documents

The PDU has reviewed CR 8038.3 and this CR is approved for full and final amount of \$136,180.34 for full and final amount including all labor, material, equipment, and incidentals to furnish and install all work associated with PGE coordination, redesign, generator costs, delay, etc. FH has reduced initial cost submission and provided additional back up validating the meter application error and additional on site coordination leading to redesign on PGE part as a result of their error ultimately leading to the delay. Delay costs rates verified per previously approved CR delays and coordination w/ FH.

**ADJUSTMENT:**Cost: ☐ TBD ☐ Add ☐ DeductSchedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/7/2020

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$136,180.34



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 611

**Date:** 3/24/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8038.3: Temporary Generator during PG&E Shutdown REV 3

**WE ARE SENDING YOU**

☐ Attached ☐ Under separate cover via the following items:

- ☐ Shop drawings    ☐ Prints    ☐ Plans    ☐ Samples  
☐ Copy of letter    ☐ Change order    ☐ Specifications    ☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	10/30/19	8038.3	Temporary Generator during PG&E Shutdown REV 3

**THESE ARE TRANSMITTED as checked below:**

- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted            | <input type="checkbox"/> Resubmit ____ copies for approval   |
| <input type="checkbox"/> For your use            | <input type="checkbox"/> Approved as noted                | <input type="checkbox"/> Submit ____ copies for distribution |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for corrections         | <input type="checkbox"/> Return ____ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> Other                            |  |
| <input type="checkbox"/> FOR BIDS DUE            | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |  |

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8038.3  
**Date:** 10/30/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Temporary Generator during PG&E Shutdown REV 3

Reason: Unforeseen Condition

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the scope of work to provide a temporary generator during PG&E shutdown AND temporary electrical feed from New building to Existing building due to PG&E design only being able to feed 1 building at a time.

Work needed to re-feed existing Animal Shelter with new service due to PG&E only energizing one building

We will  
use the PV breaker in our new 480V MSB to feed the existing animal shelter  
provide/install 2/0 temp power cord free air(to keep wire size and costs down) running  
~450' to existing service area  
provide/install 112.5kva transformer skid to feed existing 208V service for ~4 months  
provide/install new 200amp nema3R service disconnect at transformer location  
provide/install various cable supports along the way

Robert Hennessy

4/7/2020

Once PG&E has completed their work and new Animal Shelter is online

We will  
disconnect temp power generator(generator will feed transformer skid installed per this scope)  
connect feed from new service to disconnect at transformer skid  
test voltage and rotation

DocuSigned by:

*Robert Hennessy*  
AB3B77D60A0D483...

OK to Pay  
\$136,180.34

Once existing Animal Shelter is ready for demolition,

We will disconnect all temporary power components including cables, supports, transformer skids, and ground rods  
All items to be removed from site

See attached PCO from Intermountain electric for details

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100	Electrical				\$39,629.93		\$39,629.93
01-0950	Extended GCs (31 Calendar Days @ \$2,936.80 per)					\$91,040.80	\$91,040.80
Sam Lin						Subtotal:	\$130,670.73
				COMPONENT 3 - BIT	\$130,670.73	2.70 %	\$3,528.11
Assistant Director				COMPONENT 1 - SELF PERFORM MARK-UP	\$0.00	15.00 %	\$0.00
4/7/2020				COMPONENT 2 - SUB MARK-UP	\$39,629.93	5.00 %	\$1,981.50
				Karen Rodgers		Total:	\$136,180.34

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

DocuSigned by:

*Karen Rodgers*

C9CE582911BB4E0...

OK to Pay  
\$136,180.34

Reviewed





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

*Change Request*

**To:** Robert Hennessy  
Jacobs

**Number:** 8038.3  
**Date:** 10/30/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

If you have any questions, please contact me at .

Submitted by:

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8040 – Hydroseed P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date:** February 26, 2020  
**Issued by:** Scott Gurley

**SCOPE of WORK:** P23G6-FH-CR 8040-Hydroseed

**Ref:** Field Direction Email

### DISPOSITION:

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

### NARRATIVE:

☐ See attached documents

The PDU has reviewed CR 8040 for Hydroseed and the Berm relocation and grading and this CR is approved for the full and final amount of \$24,581.02 for all labor, material, equipment, and incidentals whether direct or indirect as it relates to Hydroseed and berm grading/relocation scope described herein.

### ADJUSTMENT:

Cost: ☐ TBD ☒ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition stated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

02/26/2020

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$24,581.02

Re: CR 8040 Hydroseed

Brent Hipsher <brentjhipsher@gmail.com>

Tue 2/25/2020 5:52 PM

To: Scott Gurley <c\_sgurley@smcgov.org>

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

---

Yes we field directed F&H to hydro seed after they contoured they soil we had onsite.

Brent Hipsher CASp

Sent from my iPhone

On Feb 25, 2020, at 5:36 PM, Scott Gurley <c\_sgurley@smcgov.org> wrote:

Brent,

As discussed, please confirm field directive was provided on CR 8040 attached. There is no back up in the FH submission indicating the work directive and there are no TM tags provided even though its called out as TM scope. Based on our discussion, this work actually saved the county time and money so if there is no issue with the scope package attached in your observations, ill approve.

Best,

Scott

<CR 8040 Berm Grading and Hydroseed.pdf>



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8040

Date: 11/11/19

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Berm Grading and Relocation

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This CR is for the T&M work performed to grade and relocate stockpile berms. As part of this work tree removal, V-Ditch clearing and hydroseed were also needed

See attached T&M sheet and tags for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
06-0100 Berm Relocation	\$20,919.22					\$20,919.22 ✓
					Subtotal:	\$20,919.22
		COMPONENT 3 - BIT		\$20,919.22	2.70 %	\$564.82 ✓
		COMPONENT 1 - SELF PERFORM MARK-UP		\$20,919.22	15.00 %	\$3,137.88 ✓
		COMPONENT 2 - SUB MARK-UP		\$0.00	5.00 %	\$0.00
		Mark up on Rental Eq. Tax CREDIT		\$0.00		\$-40.90 ✓
					Total:	\$24,581.02 ✓

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: 

Date: 2/26/20





Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8041.2 – Layer Cake Excavation Method P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: March 30, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8041.2-20200303 Layer Cake Excavation

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed CR 8041.2 and this CR is approved for full and final amount of \$12,644.58 for all labor, material, equipment, and incidentals whether direct or indirect related to layer cake excavation.

**ADJUSTMENT:**

 Cost: ☐ TBD ☐ Add ☐ Deduct

 Schedule: Impact: ☐ Yes ☐ No ☐ TBD

The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS

**Owner/County:**

DocuSigned by:

3/30/2020

D149DF838FE04D7

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	3,035,293.00
This Change Amount	\$12,644.58



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

This is actually 8041.2 submitted  
20200303.

**To:** Robert Hennessy  
Jacobs

**Number:** 8041  
**Date:** 11/21/19  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Layer Cake Excavation Method (SMP and ADMP)

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the forced means and methods to excavate the mat slab foundation with the windrows in layers, per the SMP and ADMP

See attached CO and drawings for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200 Grading				\$11,812.08		\$11,812.08
					Subtotal:	\$11,812.08
		COMPONENT 3 - BIT		\$11,812.08	2.70 %	\$318.93
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$10,271.37	5.00 %	\$513.57
					<b>Total:</b>	<b>\$12,644.58</b>
	Robert Hennessy					
	3/30/2020			Karen Rodgers		Sam Lin
	DocuSigned by:			DS		Project Development U
	Robert Hennessy			kr		Assistant Director
	AB3B77D60A0D483...					3/31/2020
				Reviewed		DocuSigned by:
						Sam Lin
						EE1B7F4B372C432...
						OK to Pay
						\$12,644.58

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8042 – Add Epoxy to 2 Laundry Rooms P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 19, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8042-20191125 Add Epoxy to 2 Laundry Rooms

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed CR 8042 and this CR is approved for the full and final amount of \$6,779.00 for all labor, equipment, material, and incidentals whether direct or indirect to be paid for by County Health funds as described in CR 8042 backup.

**ADJUSTMENT:**

Cost: ☐ TBD ☒ Add ☐ Deduct

Schedule Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**
**02/19/2020**

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$6,779.00 <input checked="" type="checkbox"/>



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8042

**Date:** 11/25/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Add Epoxy to 2 Laundry Rooms

Reason: Proposal Request

Initiated by: Brendan Corbett (F & H Construction)

We are pleased to offer the following specifications and pricing to make the following changes:

The attached CO is to add epoxy into the Laundry rooms - 608 nad 404

F&H is paying for \$2,000, Health is paying for remiander

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
09-6200 Specialty Flooring				\$8,779.00		\$8,779.00
					Subtotal:	\$8,779.00
		COMPONENT 3 - BIT		\$8,779.00	2.70 %	\$237.03
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$8,779.00	5.00 %	\$438.95
		Deduct from 01-0950		\$0.00		\$-2,675.98
					<b>Total:</b>	<b>\$6,779.00</b>

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_





Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8043.1 - Panic Alarm Panel P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 7, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8043.1 Panic Alarm Panel

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed CR 8043.1 and this CR is approved for full and final amount of \$4,798.97 for all labor, material, equipment, and incidentals whether direct or indirect for the fire alarm panel add scope described herein.

**ADJUSTMENT:**

 Cost: ☐ TBD ☐ Add ☐ Deduct

 Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/7/2020

D149DF838FE04D7

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$4,798.97



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 621

**Date:** 3/27/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8043.1: Panic Alarm Panel Add REV 1

**WE ARE SENDING YOU**

☐ Attached ☐ Under separate cover via the following items:

- ☐ Shop drawings    ☐ Prints    ☐ Plans    ☐ Samples  
☐ Copy of letter    ☐ Change order    ☐ Specifications    ☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	12/3/19	8043.1	Panic Alarm Panel Add REV 1

**THESE ARE TRANSMITTED as checked below:**

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted            | <input type="checkbox"/> Resubmit ___ copies for approval   |
| <input type="checkbox"/> For your use            | <input type="checkbox"/> Approved as noted                | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for corrections         | <input type="checkbox"/> Return ___ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> Other                            |   |
| <input type="checkbox"/> FOR BIDS DUE            | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |   |

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8043.1

**Date:** 12/3/19

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Panic Alarm Panel Add REV 1

Reason: Design Change

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

Panic Alarm:

Pricing increased on the intrusion system side due to having to add a standalone intrusion panel when originally, we had connected the intrusion devices to the access control system as is done throughout the County to communicate with the Sheriffs Office for dispatch assistance. Intrusion Detection system was Value engineered out of the project, so this panel needs to be added

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical				\$4,672.80		\$4,672.80
					Subtotal:	\$4,672.80
		COMPONENT 3 - BIT		\$4,672.80	2.70 %	\$126.17
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$0.00	5.00 %	\$0.00
					<b>Total:</b>	<b>\$4,798.97</b>
<div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 30%;"> <p>Robert Hennessy 4/7/2020</p> <p>DocuSigned by: <i>Robert Hennessy</i> AB3B77D60A0D483... \$4,798.97</p> </div> <div style="width: 30%;"> <p>Karen Rodgers</p> <p>DocuSigned by: <i>Karen Rodgers</i> C9CE582911BB4E0... Reviewed</p> </div> <div style="width: 30%;"> <p>Sam Lin</p> <p>Assistant Director 4/10/2020</p> <p>DocuSigned by: <i>Sam Lin</i> EE1B7F4B372C432... \$4,798.97</p> </div> </div>						
If you have any questions, please contact me at (209)931-3738.						

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8044.1 – Irrigation Sleeves P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 16, 2020**  
**Issued by: Scott Gurley**

**SCOPE of WORK:** P23G6-FH-CR 8044.1-20200201 Irrigation Sleeves **Ref: Stamp FH agreement**

### DISPOSITION:

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

### NARRATIVE:

☐ See attached documents

The PDU has reviewed the updated CR 8044.1 back up submission and approves the agreed to correction of full and final amount \$5,712.02 for all labor, material, equipment, and incidentals whether direct or indirect for work associated with irrigation sleeves stated herein. PDU has reviewed and agrees that the updated not stamp by Daniel Hoff is sufficient for this agreement and approves CR for COR submission.

### ADJUSTMENT:

Cost: ☐ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

4/16/2020

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$5,712.02



CR 8044						
INV S1892035.001	19.10.29					
Material	Cost					
6SDR35 PVC Sewer Stop	\$ 22.53					
4 SDR35 PVC Swere San Tee	\$ 7.63					
4 no hub coupling	\$ 6.47					
6x20 SDR35 PVC Swere pipe	\$ 61.00					
4x20 SDR35 PVC Sewer Pipe	\$ 26.80					
	\$ 124.43					
Tax (9.75%)	\$ 12.13					
	\$ 136.56					
INV S1887902.001	19.10.15					
	Cost					
	\$ 72.00					
	\$ 9.44					
	\$ 95.20					
	\$ 16.44					
	\$ 520.80					
	\$ 39.71					
	\$ 17.54					
	\$ 16.73					
	\$ 4.22					
	\$ 96.70					
	\$ 38.73					
	\$ 13.70					
	\$ 74.80					
	\$ 52.10					
	\$ 18.89					
	\$ 1,087.00					
Tax	\$ 105.98					
	\$ 1,192.98					
Material	\$ 1,329.54					
Ray B	\$ 104.51	13	\$ 1,358.63			
	\$ 98.54	5	\$ 492.70			
	\$ 67.60	10	\$ 676.00			
	\$ 95.23	8	\$ 761.84			
			\$ 3,289.17			
Mini Ex	\$ 31.51	8	\$ 252.08			
Operator Truck	\$ 27.77	8	\$ 222.16	Included in component 2 per 01 2600 2.03.B.5.	all Design-Build Entity's motor vehicles used by any Design-Build Entity's personnel, and all costs thereof;	
			\$ 474.24			
				\$ 1,329.54	\$ 1,329.54	
				\$ 3,289.17	\$ 3,289.17	
				\$ 474.24	\$ 252.08	
Robert Hennessy				\$ 5,092.95	\$ 4,870.79	
4/16/2020				\$ 4,974.84	\$ 4,752.68	
				\$ 134.32	\$ 128.32	
				\$ 746.23	\$ 712.90	
DocuSigned by:						
Robert Hennessy				\$ 5,973.50	\$ 5,712.02	
AB3B77D60A0D483						

\$5,712.02

Sam Lin  
Assistant Director  
4/16/2020

DocuSigned by:  
Sam Lin  
EE1B7F4B372C432...

FH to confirm

\$5,712.02 Cost  
Confirmed by F&H  
Daniel Hoff



**NOT REJECTED: CR 8044 directed revise and resubmit to correct mark up. FH provided confirmation on CR 8044.1 on log stamped on previous page. PDU accepts the stamp confirmation in lieu of revise CR as scope and cost match PDU review**

Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8044 – Irrigation Sleeves P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 19, 2020**  
**Issued by: Scott Gurley**

**SCOPE of WORK:** P23G6-FH-CR 8044-20200201 Irrigation Sleeves

**Ref:**

### DISPOSITION:

- ☐ Approved  
☒ Revise and Resubmit  
☐ Rejected

### NARRATIVE:

☐ See attached documents

The PDU has reviewed CR 8044 and this CR is revise and resubmit. Per 01 2600 2.03.B.5 all Design-Build Entity's motor vehicles used by any Design-Build Entity's personnel, and all costs thereof. This scope is submitted as self perform and thus the DBE trucking motor vehicle costs are to be removed. Please see attached mark up and confirm this corrected amount is accepted for final submission.

### ADJUSTMENT:

Cost: ☒ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

02/19/2020

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	NA

<b>CR 8044</b>						
<b>INV S1892035.001</b>	<b>19.10.29</b>					
<b>Material</b>	<b>Cost</b>					
6SDR35 PVC Sewer Stop	\$ 22.53					
4 SDR35 PVC Swere San Tee	\$ 7.63					
4 no hub coupling	\$ 6.47					
6x20 SDR35 PVC Swere pipe	\$ 61.00					
4x20 SDR35 PVC Sewer Pipe	\$ 26.80					
	\$ 124.43					
Tax (9.75%)	\$ 12.13					
	\$ 136.56					
<b>INV S1887902.001</b>	<b>19.10.15</b>					
	<b>Cost</b>					
	\$ 72.00					
	\$ 9.44					
	\$ 95.20					
	\$ 16.44					
	\$ 520.80					
	\$ 39.71					
	\$ 17.54					
	\$ 16.73					
	\$ 4.22					
	\$ 96.70					
	\$ 38.73					
	\$ 13.70					
	\$ 74.80					
	\$ 52.10					
	\$ 18.89					
	\$ 1,087.00					
Tax	\$ 105.98					
	\$ 1,192.98					
Material	\$ 1,329.54					
Ray B	\$ 104.51	13	\$ 1,358.63			
	\$ 98.54	5	\$ 492.70			
	\$ 67.60	10	\$ 676.00			
	\$ 95.23	8	\$ 761.84			
			\$ 3,289.17			
Mini Ex	\$ 31.51	8	\$ 252.08			
Operator Truck	\$ 27.77	8	\$ 222.16	Included in component 2 per 01 2600 2.03.B.5.	all Design-Build Entity's motor vehicles used by any Design-Build Entity's personnel, and all costs thereof;	
			\$ 474.24			
				\$ 1,329.54	\$	1,329.54
				\$ 3,289.17	\$	3,289.17
				\$ 474.24	\$	252.08
				\$ 5,092.95	\$	4,870.79
				\$ 4,974.84	\$	4,752.68
				\$ 134.32	\$	128.32
				\$ 746.23	\$	712.90
				\$ 5,973.50	\$	<b>5,712.02</b>

FH to confirm



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 570

**Date:** 1/2/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8044: Install of Landscape Sleeves

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	1/2/20	8044	Install of Landscape Sleeves

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** 





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8044

**Date:** 1/2/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Install of Landscape Sleeves

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

**SUPERSEDED: CR 8044 directed revise and resubmit to correct mark up. FH provided confirmation on CR 8044.1 on log stamped**

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the landscape sleeves installed by F&H due to no Landscaping included in current design or contract. This work had to be done prior to sidewalks being installed

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
06-0100 Landscape sleeves	\$3,289.17	\$1,329.52	\$474.24			\$5,092.93
					Subtotal:	\$5,092.93
		COMPONENT 3 - BIT (no tax)		\$4,974.82	2.70 %	\$134.32
		COMPONENT 1 - SELF PERFORM MARK-UP (no tax)		\$4,974.82	15.00 %	\$746.22
		COMPONENT 2 - SUB MARK-UP		\$0.00	5.00 %	\$0.00
					<b>Total:</b>	<b>\$5,973.47</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8045.3 – Paving and Striping Phase 1A P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 3, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8045.3 Paving and Striping

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

PDU has reviewed CR 8045.3 and this CR is approved for full and final amount of \$121,209.66 and extension of 7 days for asphalt and paving needed to complete phase 1A of the additional asphalt and paving scope.

**ADJUSTMENT:**

Cost: ☐ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/8/2020

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$121,209.66



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 610

**Date:** 3/24/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8045.3: Asphalt Paving ADD (PHASE IA)

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	1/2/20	8045.3	Asphalt Paving ADD (PHASE IA)

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** 



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8045.3

**Date:** 1/2/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Asphalt Paving ADD (PHASE IA)

**Reason:** Owner Request

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for adding paving of the existing parking lots and drive isles to scope of contract labeled PHASE IA on attached map. This is including Demo, paving, striping and an additional move in to do this extra work in 2 phases to have access to the new shelter while Phase II work is completed. This revised COR also includes a breakdown of the F&H self-performed work along with half of the extended GCs required to complete this extra work.

Work included but not charged:

- Onsite design meetings for paving scope to make as economical as possible: Met 3 times with Teichert - John Bridges, Josh Kelly and Chris McBride
- Coordinating delivery of equipment, base rock and AC truck
- PHS coordination of the shutdown parking areas
- Add these 2 paving Phases in to the CPM Schedule

See attached CO for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200 Paving				\$93,138.00		\$93,138.00
01-0950 Striping				\$3,585.00		\$3,585.00
02-4100 Demolition move in				\$1,000.00		\$1,000.00
03-3000 Concrete move in				\$1,000.00		\$1,000.00
01-0950 Temp Delineators specific for paving/striping	\$2,894.58	\$931.36				\$3,825.94
01-0950 Extended GCs (7 days @ 2936.80)					\$20,557.60	\$20,557.60
					Subtotal:	\$123,106.54
			COMPONENT 3 - BIT	\$123,106.54	2.70 %	\$3,323.88
			COMPONENT 1 - SELF PERFORM MARK-UP	\$3,825.94	15.00 %	\$573.89
			COMPONENT 2 - SUB MARK-UP	\$84,106.95	5.00 %	\$4,205.35
					<b>Total:</b>	<b>\$131,209.66</b>

Robert Hennessy  
Sam Lin  
Assistant Director

Please note that FH CONSTRUCTION will require an extra 7 days to complete this work. 4/8/2020

If you have any questions, please contact me at (209)931-3738.

DocuSigned by:  
Robert Hennessy  
4/10/2020

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Karen Rodgers

DocuSigned by:

*Karen Rodgers*

C9CE582911BB4E0...

Reviewed

Approved by:

Date:

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

\$121,209.66

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

\$121,209.66





Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8046 – Class 2 Contaminated Soil Off Haul P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 19, 2020****Issued by: Scott Gurley****SCOPE of WORK:** P23G6-FH-CR 8046-20200120 Class 2 Offhaul**Ref:****DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**☐ See attached documents

The PDU has reviewed Change Request 8046 Class 2 Contaminated Soil Off Haul II and this CR is approved at the full and final cost of \$26,835.03 for all labor, material, equipment, and incidentals whether direct or indirect.

**ADJUSTMENT:**Cost: ☐ TBD ☒ Add ☐ DeductSchedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:****02/19/2020**

(signature)

**Scott Gurley**

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$26,835.03



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8046

**Date:** 1/2/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Class II Contaminated Soil Off Haul II

**Reason:** Unforeseen Condition


**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This CR is for the Class II Contaminated Soil Off Haul from 9.25-9.27.2019

See attached CO for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200 Haul off				\$24,916.47		\$24,916.47 ✓
					Subtotal:	\$24,916.47
		COMPONENT 3 - BIT		\$24,916.47	2.70 %	\$672.74 ✓
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$24,916.47	5.00 %	\$1,245.82 ✓
					<b>Total:</b>	<b>\$26,835.03 ✓</b>

  
 2/9/2020

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8047 – Soil Import P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 14, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8047 Soil Import

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed Change Request 8047 for Soil Import and this CR is Approved for full and final cost of \$43,628.95 for all labor, material, equipment, and incidentals, whether direct or indirect for Soil Import ADMP and SMP.

**ADJUSTMENT:**

Cost: ☐ TBD ☒ Add ☐ Deduct      Schedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**
**02/14/2020**

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$43,628.95



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8047  
Date: 1/2/20  
Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT  
Phone: 650-363-4100

**Description:** Soil Import - ADMP and SMP

Reason: Unforeseen Condition

We are pleased to offer the following specifications and pricing to make the following changes:

This CR is for importing clean soils due to the off haul of Class II Contaminated soil per ADMP and SMP

See attached CR for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
31-2200 Import Soil				\$40,509.70		\$40,509.70
					Subtotal:	\$40,509.70
		COMPONENT 3 - BIT		\$40,509.70	2.70 %	\$1,093.76
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$40,509.70	5.00 %	\$2,025.49
					Total:	\$43,628.95

If you have any questions, please contact me at (209)931-3738.

*OK, Sami 2/14/20*

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_





Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8048.1 – Med Gas Relo P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 14, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK: P23G6-FH-CR 8048.1-20200213 Med Gas Relo**
**Ref: RFI 031**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed Change Request 8048.1 Med Gas Relocation received 20.02.13 and this CR is approved for the full and final amount of \$10,792.26 for all labor, material, equipment, and incidentals whether direct or indirect related to RFI 031.

**ORIGINAL RESPOSNE:**

The PDU has reviewed Change Request 8048 Med Gas Relocation and this CR is Revise and Resubmit. Please resubmit with contractor markup on direct cost of work only. \$8,931.93 includes FMB costs that are not direct hard costs. The component 2 – Sub Mark up of 5% should only be applied to direct cost of work as described in 01 2600 2.01 components 1-3.

**ADJUSTMENT:**

Cost: ☐ TBD ☒ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County**
**02/14/2020**

(signature)

**Scott Gurley**

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$10,792.26

RE: P23G6-FH-CR 8048-20200203 Med Gas Relo

Brendan Corbett <bcorbett@f-hconst.com>

Thu 2/13/2020 5:48 PM

To: Scott Gurley <c\_sgurley@smcgov.org>; Daniel Hoff <dhoff@f-hconst.com>

Cc: Sam Lin <slin@smcgov.org>; Adam Ely <aely@smcgov.org>; Karen Rodgers <krodgers@smcgov.org>; Robert Hennessy <c\_rhennessy@smcgov.org>

1 attachments (4 MB)

CR 8048.1 Med Gas Relocation (FMB) REV 1.pdf;

**CAUTION:** This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

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**Scott**

**Thank you for the clear review. See attached revised CO with corrected mark up**

**Keep the reviews coming. Lead times for material and time to do this work is running out!**

**Thank you**

**Brendan Corbett**

*F&H Construction*

*Project Manager/ Engineer*

*Civil EIT, LEED AP BD+C*

(209) 331-6686 [CELL](#)

---

**From:** Scott Gurley <c\_sgurley@smcgov.org>

**Sent:** Wednesday, February 12, 2020 2:04 PM

**To:** Brendan Corbett <bcorbett@f-hconst.com>; Daniel Hoff <dhoff@f-hconst.com>

**Cc:** Sam Lin <slin@smcgov.org>; Adam Ely <aely@smcgov.org>; Karen Rodgers <krodgers@smcgov.org>; Robert Hennessy <c\_rhennessy@smcgov.org>

**Subject:** P23G6-FH-CR 8048-20200203 Med Gas Relo

**Importance:** High

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Team,

Please see the attached revise and resubmit CR 8048 Med Gas Relocation. The entitlement is not in question however the FH mark up can only be applied to sub-contractor direct costs of work.

Best,

Scott



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**

1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8048.1  
**Date:** 2/13/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Med Gas Relocation

**Reason:** Owner Request

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the request to move 4 Med Gas Ports from the locations indicated on RFI #031

See attached CO for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
15-0500 Med Gas				\$8,931.93		\$8,931.93
01-0950 Floor and Ceiling Protection / Damage					\$1,000.00	\$1,000.00
					<b>Subtotal:</b>	\$9,931.93
		COMPONENT 3 - BIT		\$9,931.93	2.70 %	\$268.16
		COMPONENT 1 - SELF PERFORM MARK-UP		\$1,000.00	15.00 %	\$150.00
		COMPONENT 2 - SUB MARK-UP		\$8,843.49	5.00 %	\$442.17
					<b>Total:</b>	\$10,792.26

If you have any questions, please contact me at (209)931-3738.

**Submitted by:** Brendan Corbett  
F & H CONSTRUCTION

**Approved by:** 

**Date:** 2/14/20



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8049.3 – Temp Access and Fencing Add P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: March 2, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8049.3 Temp Access and Fencing Add

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed Change Request 8049.3 for Temp Access and Fencing add and this request is approved for full and final amount of \$10,927.95 for all labor, material, equipment and incidentals whether direct or indirect.

**ADJUSTMENT:**

 Cost: ☐ TBD ☒ Add ☐ Deduct

 Schedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**
**03/02/2020**

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	Pending Board Review
Total Commits/Spends	\$20,138,662.78
Available Budget	Pending Board Review
This Change Amount	10,927.95 <input checked="" type="checkbox"/>





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8049  
**Date:** 2/3/20  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Temp Access and Fencing Add REV 3

**Reason:** Owner Request

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

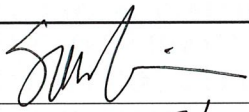
This COR is for the additional 125 feet of fencing, PHS requested sliding gate (safety at isolation kennel) and the 2 gates requested for temporary access

See attached COR for details and plans

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
32-3100 Fences & Gates				\$6,800.00		\$6,800.00
01-0950 Demo of 290' of Fence					\$2,500.00	\$2,500.00
01-0950 Custom Gate Handle (Iso)					\$600.00	\$600.00
					Subtotal:	\$9,900.00
		COMPONENT 3 - BIT		\$9,900.00	2.70 %	\$267.30
		COMPONENT 1 - SELF PERFORM MARK-UP		\$3,100.00	15.00 %	\$465.00
		COMPONENT 2 - SUB MARK-UP		\$5,913.00	5.00 %	\$295.65
					Total:	\$10,927.95

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 3/3/2020

**APPROVED AMOUNT: \$10,927.95**

  
ROBERT J. HENNESSY P.E.



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8051.2 – Cellular Add to FA P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: February 25, 2020****Issued by:** Scott Gurley**SCOPE of WORK:** P23G6-FH-CR 8051.2 Cellular Add to FA**Ref:****DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**☐ See attached documents

The PDU has reviewed CR 8051.2 and additional follow up correspondence and this CR is approved for full and final amount of \$3,098.64 for all labor, material, equipment, and incidentals whether direct or indirect for added Cellular System for Fire Alarm as described herein.

**ADJUSTMENT:**Cost: ☐ TBD ☒ Add ☐ DeductSchedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

02/25/2020

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$3,098.64



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

To: Robert Hennessy  
Jacobs

Transmittal #: 586

Date: 2/18/2020

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Subject: Change Request - 8051: Cellular System for Fire Alarm

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	2/11/20	8051	Cellular System for Fire Alarm

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

Remarks:

Copy To:

From: Brendan Corbett (F & H Construction)

Signature: \_\_\_\_\_



**F&H CONSTRUCTION**  
Spaces for life

California Main Office:

1115 E. Lockeford St.

Lodi, CA. 95240

(209) 931-3738

## Change Request

To: Robert Hennessy  
Jacobs

Number: 8051

Date: 2/11/20

Job: 10-16-5466 ANIMAL SHELTER REPLACEMENT

Phone: 650-363-4100

**Description:** Cellular System for Fire Alarm

Reason: Unforeseen Condition

Initiated by: Brendan Corbett (F & H Construction)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is to add cellular to the fire alarm system. Both for testing and as a backup to the telecom connection

(1) GSM cellular DACT

Included is all engineering, drafting, programming, testing & certification.

ALL cell service has been excluded.

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
16-0100 Electrical				\$2,881.00		\$2,881.00
					Subtotal:	\$2,881.00
		COMPONENT 3 - BIT		\$2,881.00	2.70 %	\$77.79
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$2,797.00	5.00 %	\$139.85
					Total:	\$3,098.64

If you have any questions, please contact me at (209)931-3738.

OK - Sam

2/15/20

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_





## CR 8052 – Added Mail Boxes and Desk Gates P23G6 – (R075045)

**Owner:**

County Manager's Office  
 1402 Maple Street  
 Redwood City, CA 94063

**Date: February 21, 2020****Issued by:** Scott Gurley**SCOPE of WORK:** P23G6-FH-CR 8052 Mail Boxes and Desk Gates**Ref:****DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**☐ See attached documents

The PDU has reviewed Change Request 8052 for Mail Boxes and Desk Gates and this CR is Approved for full and final cost of \$4,455.32 for all labor, material, equipment, and incidentals, whether direct or indirect for Mill work added mail boxes and gates

**ADJUSTMENT:**Cost: ☐ TBD ☒ Add ☐ DeductSchedule: Impact: ☐ Yes ☒ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:****02/21/2020**

(signature)

**Scott Gurley**

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$20,138,662.78
Available Budget	Adjustment Pending BOS Approval
This Change Amount	\$4,455.32



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8052

**Date:** 2/19/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Mail Box and Desk Gate ADD

**Reason:** Owner Request

**Initiated by:** Lori Morton-Feazell (San Mateo County)

We are pleased to offer the following specifications and pricing to make the following changes:

See attached CO from River City Millwork for added Mail boxes and desk gates

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
06-2000 Casework				\$4,162.00		\$4,162.00
					Subtotal:	\$4,162.00
		COMPONENT 3 - BIT		\$4,162.00	2.70 %	\$112.37
		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$3,619.00	5.00 %	\$180.95
					<b>Total:</b>	<b>\$4,455.32</b>

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by:   
Date: 2/21/20



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8053.1 – Paving and Striping Phase 2B P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 3, 2020**
**Issued by: Scott Gurley**
**SCOPE of WORK:** P23G6-FH-CR 8053.1 Paving and Striping Phase 2B

**Ref:**
**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**
☐ See attached documents

The PDU has reviewed CR 8053.1 Paving and Striping phase 2 B and this change is approved at full and final amount of \$117,308.78 for all labor, material, equipment, and incidentals whether direct or indirect for scope of work related to the phase 2B

**ADJUSTMENT:**

Cost: ☐ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/8/2020

D149DF838EF04D7...

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$117,308.78



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 609

**Date:** 3/24/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8053.1: Asphalt Paving ADD (PHASE II B)

**WE ARE SENDING YOU**

- ☐ Attached
 ☐ Under separate cover via the following items:  
☐ Shop drawings
 ☐ Prints
 ☐ Plans
 ☐ Samples  
☐ Copy of letter
 ☐ Change order
 ☐ Specifications
 ☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	3/10/20	8053.1	Asphalt Paving ADD (PHASE II B)

**THESE ARE TRANSMITTED as checked below:**

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted            | <input type="checkbox"/> Resubmit ___ copies for approval   |
| <input type="checkbox"/> For your use            | <input type="checkbox"/> Approved as noted                | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for corrections         | <input type="checkbox"/> Return ___ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> Other                            |   |
| <input type="checkbox"/> FOR BIDS DUE            | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |   |

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:**  \_\_\_\_\_





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8053.1  
**Date:** 3/10/20  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Asphalt Paving ADD (PHASE II B)

**Reason:** Owner Request

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for adding paving of the existing parking lots and drive isles to scope of contract labeled PHASE II B on attached map. This is including Demo, paving, striping and an additional move in to do this extra work in 2 phases to have access to the new shelter while Phase II work is completed. This revised COR also includes a breakdown of the F&H self-performed work along with half of the extended GCs required to complete this extra work.

Work included but not charged:

- Onsite design meetings for paving scope to make as economical as possible: Met 3 times with Teichert - John Bridges, Josh Kelly and Chris McBride
- Coordinating delivery of equipment, base rock and AC truck
- PHS coordination of the shutdown parking areas
- Add these 2 paving Phases in to the CPM Schedule

See attached CO for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
32-3000 Paving				\$99,204.38		\$99,204.38
01-0950 Extended GCs (7 days @ \$2,936.80)					\$20,557.60	\$20,557.60
						<b>Subtotal:</b> \$119,761.98
Robert Hennessy		COMPONENT 3 - BIT		\$119,761.98	2.70 %	\$3,233.57
4/8/2020		COMPONENT 1 - SELF PERFORM MARK-UP		\$0.00	15.00 %	\$0.00
		COMPONENT 2 - SUB MARK-UP		\$86,264.67	5.00 %	\$4,313.23
						<b>Total:</b> \$127,308.78
DocuSigned by:  AB3B77D60A0D483... \$117,308.78						Sam Lin
						Assistant Director
						4/8/2020
Please note that FH CONSTRUCTION will require an extra 7 days to complete this work. If you have any questions, please contact me at (209)931-3738.						DocuSigned by:  EE1B7F4B372C432...

Reduce by \$10k per coordination w/ FH and PDU to \$117,308.78

**Submitted by:** Brendan Corbett  
F & H CONSTRUCTION

**Karen Rodgers**

DocuSigned by:  
  
 C9CE582911BB4E0...

**Reviewed**

**Approved by:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

PDU Confirmed \$117,308.78 per Change Order 030 cover submission



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8055 – Access and Accessibility Pathways P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 3, 2020**  
**Issued by:** Scott Gurley

**SCOPE of WORK:** P23G6-FH-CR 8055 Access and Accessibility Pathways

**Ref:**

**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**

☐ See attached documents

The PDU has reviewed CR 8055 Access and Accessibility Pathways and this change request is approved at full and final amount of \$47,429.97 for all labor, material, equipment, and incidentals whether direct or indirect for scope of work related to work herein. Labor rates verified per previously approved Animal Shelter CRs. No CDs included herein as direction for scope provided on site to facilitate work needed to expedite for access and ribbon cutting which was ultimately postponed for virus issues.

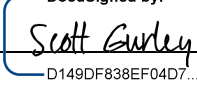
**ADJUSTMENT:**

Cost: ☐ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:  
  
(signature) \_\_\_\_\_ (date) 4/3/2020  
D149DF838EF04D7...  
Scott Gurley  
(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$47,429.97



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 623

**Date:** 3/31/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8055: Access and Accessibility Pathways

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	3/31/20	8055	Access and Accessibility Pathways

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** 



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8055

**Date:** 3/31/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Access and Accessibility Pathways

Reason: Owner Request


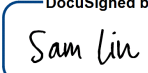
Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

Procuring material, equipment and labor for installation of Temporary access to the Phase I side of the Project. Including Paving the back access road, paving Accessible parking, installing a foot bridge to Coyote point and installing accessible path to Spay/neuter. The work detailed in this COR Occurred from 1.6.2020 - 3.4.2020, per PDU request. See attached map showing the locations of this work

This COR DOES NOT include demo of AC Paving, pathway or bridge, if required. WAG for the demo work is \$7,500

See attached COR, T&M Tags

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Access Paths	\$22,198.88	\$11,312.25	\$6,468.70			\$39,979.83
09-9000	Painting & Coating				\$545.00		\$545.00
						Subtotal:	\$40,524.83
			COMPONENT 3 - BIT		\$39,979.83	2.70 %	\$1,079.46
			COMPONENT 1 - SELF PERFORM MARK-UP		\$39,979.83	15.00 %	\$5,996.97
			COMPONENT 2 - SUB MARK-UP		\$545.00	5.00 %	\$27.25
			TAX MARKUP DEDUCT (15% of \$1,323.62 = \$198.54)		\$0.00		\$-198.54
						<b>Total:</b>	<b>\$47,429.97</b>
	Robert Hennessy					Sam Lin	
	4/4/2020					4/6/2020	
	DocuSigned by:					Assistant Director	
							
	AB3B77D60A0D483...						
	OK to Pay					DocuSigned by:	
	\$47,429.97						
						EE1B7F4B372C432...	
						OK to Pay	
						\$47,429.97	

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_





Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8057 – Spoils Relocation Grading and V-Ditch P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 4, 2020**  
**Issued by: Scott Gurley**

**SCOPE of WORK:** P23G6-FH-CR 8057

**Ref:**

**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**

☐ See attached documents

PDU has reviewed and approves CR 8057 for full and final amount of \$43,663.62 for all labor material, equipment, and incidentals whether direct or indirect for Spoil relocation, grading and V-ditch clearing scope stated herein. Labor rates and material costs have been verified against previously approved CRs and no CD is included as directive work and coordination will occur onsite

**ADJUSTMENT:**

Cost: ☐ TBD ☒ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/4/2020

*Scott Gurley*

D149DF838EF04D7...

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$43,663.62



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 625

**Date:** 4/1/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8057: Spoils Relocation, Grading and V-Ditch Clearing

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	4/1/20	8057	Spoils Relocation, Grading and V-Ditch Clearing

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** 



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8057  
**Date:** 4/1/20  
**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT  
**Phone:** 650-363-4100

**Description:** Spoils Relocation, Grading and V-Ditch Clearing

Reason: Owner Request

Initiated by: Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

Labor, Material and Equipment to move spoils, and grade into architectural mounds. Also to clear the north V-Ditch of trees and debris

Work included - Tree removal, berm grading and relocating, V-Ditch clearing, tree debris haul off, hydro seed

This work will eliminate the need to haul off Class 2 spoils to Ox Mountain disposal site. Assuming tree debris can be dumped at Coyote point

See attaced CO for details

Cost Code Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950 Grading/clearing	\$15,501.60	\$9,742.00	\$11,853.78			\$37,097.38
					Subtotal:	\$37,097.38
		COMPONENT 3 - BIT		\$37,097.38	2.70 %	\$1,001.63
		COMPONENT 1 - SELF PERFORM MARK-UP		\$37,097.38	15.00 %	\$5,564.61
		COMPONENT 2 - SUB MARK-UP		\$0.00	5.00 %	\$0.00
Robert Hennessy					<b>Total:</b>	<b>\$43,663.62</b>
4/4/2020	Karen Rodgers				Sam Lin	
DocuSigned by: <i>Robert Hennessy</i> AB3B77D60A0D483...	DocuSigned by: <i>Karen Rodgers</i> C9CE582911BB4E0...				Assistant Director 4/6/2020	
OK to Pay \$43,663.62	Reviewed				DocuSigned by: <i>Sam Lin</i> EE1B7F4B372C432...	
					OK to Pay \$43,663.62	

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8058 – Asbestos DMP and SMP Enhanced Soil Measures P23G6 – (R075045)

**Owner:**  
County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 6, 2020**  
**Issued by: Scott Gurley**

**SCOPE of WORK:** P23G6-FH-CR 8058 Asbestos and Enhanced Soil Measures

**Ref:**

**DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**

☐ See attached documents

The PDU has reviewed CR 8058 Asbestos and Enhanced Soil Measures and CR 8058 is approved for full and final amount of \$11,681.74 for all labor, material, equipment, and incidentals to furnish and install all enhanced measures required due to the SMP (Soils management Plan) and ADMP (Asbestos Dust Mitigation Plan) required on this project due to the NOA (Naturally Occurring Asbestos). All of the work detailed within this COR is over and above SWPPP BMP (Best Management Practices). Labor rates confirmed against the previously approved CRs and entitlement has been confirmed by PDU PM. No CD is included however site direction confirmed by 4leaf.

**ADJUSTMENT:**

Cost: ☐ TBD ☐ Add ☐ Deduct

Schedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

*Scott Gurley*

4/6/2020

(signature)

Scott Gurley

(date)

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$11,681.74





**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8058

**Date:** 4/3/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** Asbestos DMP and SMP Enhanced Soil Measures

**Reason:** Owner Request

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the enhanced measures required due to the SMP (Soils management Plan) and ADMP (Asbestos Dust Mitigation Plan) required on this project due to the NOA (Naturally Occurring Asbestos). All of the work detailed within this COR is over and above SWPPP BMP (Best Management Practices)

See attached costs and direction from Camille along with all the details and T&M sheets from 1.9.2020 - 1.23.2020

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	SMP and ADMP	\$7,663.60	\$2,287.86				\$9,951.46
						Subtotal:	\$9,951.46
			COMPONENT 3 - BIT		\$9,951.46	2.70 %	\$268.69
			COMPONENT 1 - SELF PERFORM MARK-UP		\$9,951.46	15.00 %	\$1,492.72
			COMPONENT 2 - SUB MARK-UP		\$0.00	5.00 %	\$0.00
			TAX MARKUP DEDUCT (15% of \$207.50 = \$31.13)		\$9,951.46		\$-31.13
						Total:	\$11,681.74
Robert Hennessy		Karen Rodgers		Sam Lin			
4/6/2020				Assistant Director			
DocuSigned by:		DocuSigned by:		4/10/2020			
Robert Hennessy		Karen Rodgers					
AB3B77D60A0D483...		C9CE582911BB4E0...					
OK to Pay		Reviewed					
\$11,681.74				DocuSigned by:			
				Sam Lin			
				EE1B7F4B372C432...			
				\$11,681.74			

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



Project Development Unit  
1402 Maple Street  
Redwood City, CA 94063  
[www.smcgov.org](http://www.smcgov.org)

## CR 8059 – ATT Conduit Extension P23G6 – (R075045)

**Owner:**

County Manager's Office  
1402 Maple Street  
Redwood City, CA 94063

**Date: April 6, 2020****Issued by: Scott Gurley****SCOPE of WORK:** P23G6-FH-CR 8059 ATT Conduit Extension**Ref:****DISPOSITION:**

- ☒ Approved  
☐ Revise and Resubmit  
☐ Rejected

**NARRATIVE:**☐ See attached documents

The PDU has reviewed CR 8059 ATT Conduit Extension and this CR is approved for full and final amount of \$18,118.56 for all labor, material, equipment, and incidentals to furnish and install the ATT conduit extension as described herein. Scope confirmed by 4leaf on site point of contact and PDU PM for entitlement

**ADJUSTMENT:**Cost: ☐ TBD ☐ Add ☐ DeductSchedule: Impact: ☐ Yes ☐ No ☐ TBD

*The Design Build Entity shall proceed per the disposition slated above and remains subject to all requirements set forth in Specification 01 2600 modification Procedures/Changed Work including but not limited to paragraph 3.04 Disputes Relating to Change Orders. Funds may not be transferred if change order amounts exceed BOS authorized amounts or pending authorizations have not been formally approved by CoSM BOS*

**Owner/County:**

DocuSigned by:

4/6/2020

D149DF838EF04D7...

(signature)

(date)

Scott Gurley

(printed)

Agreement No.	R075045
Unifier Cost Account	00 08 00
Current Budget Value	\$24,494,416.71
Total Commits/Spends	\$21,459,123.71
Available Budget	\$3,035,293.00
This Change Amount	\$18,118.56



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Letter of Transmittal

**To:** Robert Hennessy  
Jacobs

**Transmittal #:** 627

**Date:** 4/6/2020

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Subject:** Change Request - 8059: AT&T Conduit Extension

**WE ARE SENDING YOU**

☐ Attached

☐ Under separate cover via the following items:

☐ Shop drawings

☐ Prints

☐ Plans

☐ Samples

☐ Copy of letter

☐ Change order

☐ Specifications

☒ Change Request

Document Type	Copies	Date	No.	Description
Change Request	1	4/6/20	8059	AT&T Conduit Extension

**THESE ARE TRANSMITTED as checked below:**

☒ For approval

☐ Approved as submitted

☐ Resubmit \_\_\_ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit \_\_\_ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return \_\_\_ corrected prints

☐ For review and comment

☐ Other

☐ FOR BIDS DUE

☐ PRINTS RETURNED AFTER LOAN TO US

**Remarks:**

**Copy To:**

**From:** Brendan Corbett (F & H Construction)

**Signature:** 



**F&H CONSTRUCTION**  
Spaces for life

**California Main Office:**  
1115 E. Lockeford St.  
Lodi, CA. 95240  
(209) 931-3738

## Change Request

**To:** Robert Hennessy  
Jacobs

**Number:** 8059

**Date:** 4/6/20

**Job:** 10-16-5466 ANIMAL SHELTER REPLACEMENT

**Phone:** 650-363-4100

**Description:** AT&T Conduit Extension

**Reason:** Field Condition

**Initiated by:** Robert Hennessy (Jacobs)

We are pleased to offer the following specifications and pricing to make the following changes:

This COR is for the Extension of AT&T Conduit from Vault (initially directed to install conduit to) to vault with service. Including excavation, protection, conduit and backfill

See attached COR for Details

Cost Code	Description	Labor	Material	Equipment	Subcontract	Other	Price
01-0950	Trench Excavation and Backfill	\$3,423.04	\$3,512.02	\$1,709.60			\$8,644.66
16-0100	Conduit material and install				\$7,417.09		\$7,417.09
						Subtotal:	\$16,061.75
			COMPONENT 3 - BIT		\$16,061.75	2.70 %	\$433.67
			COMPONENT 1 - SELF PERFORM MARK-UP		\$8,644.66	15.00 %	\$1,296.70
			COMPONENT 2 - SUB MARK-UP		\$7,417.09	5.00 %	\$370.85
			TAX MARKUP DEDUCT (15% of \$296.09 = \$44.41)		\$0.00		\$-44.41
						<b>Total:</b>	<b>\$18,118.56</b>

Robert Hennessy

4/6/2020

DocuSigned by:

*Robert Hennessy*

AB3B77D60A0D483...

OK to pay  
\$18,118.56

karen Rodgers

DocuSigned by:

*karen Rodgers*

C9CE582911BB4E0...

Reviewed

Sam Lin

Assistant Director

4/6/2020

DocuSigned by:

*Sam Lin*

EE1B7F4B372C432...

OK to Pay  
\$18,118.56

Please note that FH CONSTRUCTION will require an extra 0 days to complete this work.

If you have any questions, please contact me at (209)931-3738.

Submitted by: Brendan Corbett  
F & H CONSTRUCTION

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



## Certificate Of Completion

Envelope Id: 3EC9920CD43142BB8E7150A4A426A3EE

Status: Completed

Subject: Please DocuSign: P23G6-FH-OCO30-20200416.pdf

Source Envelope:

Document Pages: 54

Signatures: 4

Envelope Originator:

Certificate Pages: 5

Initials: 0

Scott Gurley

AutoNav: Enabled

1402 Maple Street

Envelopeld Stamping: Enabled

Redwood City, CA 94063-1662

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

c\_sgurley@smcgov.org

IP Address: 72.208.88.41

## Record Tracking

Status: Original

Holder: Scott Gurley

Location: DocuSign

4/16/2020 12:14:15 PM

c\_sgurley@smcgov.org

Security Appliance Status: Connected

Pool: StateLocal

Storage Appliance Status: Connected

Pool: Project Development Unit

Location: DocuSign

## Signer Events

Scott Gurley

c\_sgurley@smcgov.org

Project Manager

Project Development Unit

Security Level: Email, Account Authentication  
(None)

## Signature

DocuSigned by:

*Scott Gurley*  
D149DF838EF04D7...

Signature Adoption: Pre-selected Style  
Using IP Address: 72.208.88.41

## Timestamp

Sent: 4/16/2020 12:18:43 PM

Viewed: 4/16/2020 12:20:57 PM

Signed: 4/16/2020 12:21:03 PM

## Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Robert Hennessy

c\_rhennessy@smcgov.org

Sr. Project Manager

Project Development Unit

Security Level: Email, Account Authentication  
(None)

DocuSigned by:

*Robert Hennessy*  
AB3B77D80A0D483...

Signature Adoption: Pre-selected Style  
Using IP Address: 99.9.96.145

Sent: 4/16/2020 12:21:14 PM

Viewed: 4/16/2020 1:03:14 PM

Signed: 4/16/2020 1:03:57 PM

## Electronic Record and Signature Disclosure:

Accepted: 4/4/2020 6:18:14 PM

ID: 58bdd141-78fb-480a-a1f4-5ad1eca74ec2

Sam Lin

slin@smcgov.org

Assistant Director

Project Development Unit

Security Level: Email, Account Authentication  
(None)

DocuSigned by:

*Sam Lin*  
EE1B7F4B372C432...

Signature Adoption: Pre-selected Style  
Using IP Address: 73.231.39.146

Sent: 4/16/2020 1:04:02 PM

Viewed: 4/17/2020 9:57:36 AM

Signed: 4/17/2020 9:57:53 AM

## Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Karen Rodgers

krodgers@smcgov.org

Administrative and Fiscal Manager

Project Development Unit

Security Level: Email, Account Authentication  
(None)

DocuSigned by:

*Karen Rodgers*  
C9CE582911BB4E0...

Signature Adoption: Pre-selected Style  
Using IP Address: 104.129.198.241

Sent: 4/17/2020 9:57:57 AM

Viewed: 4/17/2020 10:17:08 AM

Signed: 4/17/2020 10:17:54 AM

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In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
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Brendan Corbett bcorbett@f-hconst.com Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/17/2020 10:17:58 AM
Daniel Hoff dhoff@f-hconst.com Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/17/2020 10:17:59 AM
Karen Rodgers krodgers@smcgov.org Administrative and Fiscal Manager Project Development Unit Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/17/2020 10:18:00 AM
Jennifer Orellana jorellana@smcgov.org Project Development Unit Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/17/2020 10:18:01 AM
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	4/17/2020 10:18:01 AM
Certified Delivered	Security Checked	4/17/2020 10:18:01 AM
Signing Complete	Security Checked	4/17/2020 10:18:01 AM
Completed	Security Checked	4/17/2020 10:18:01 AM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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