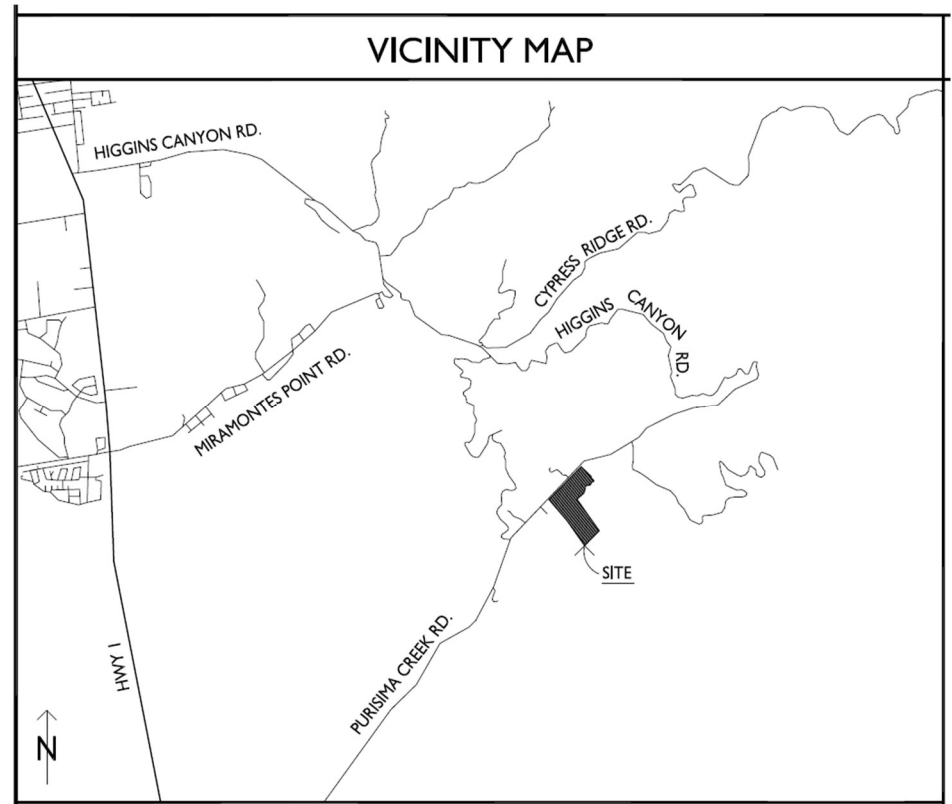
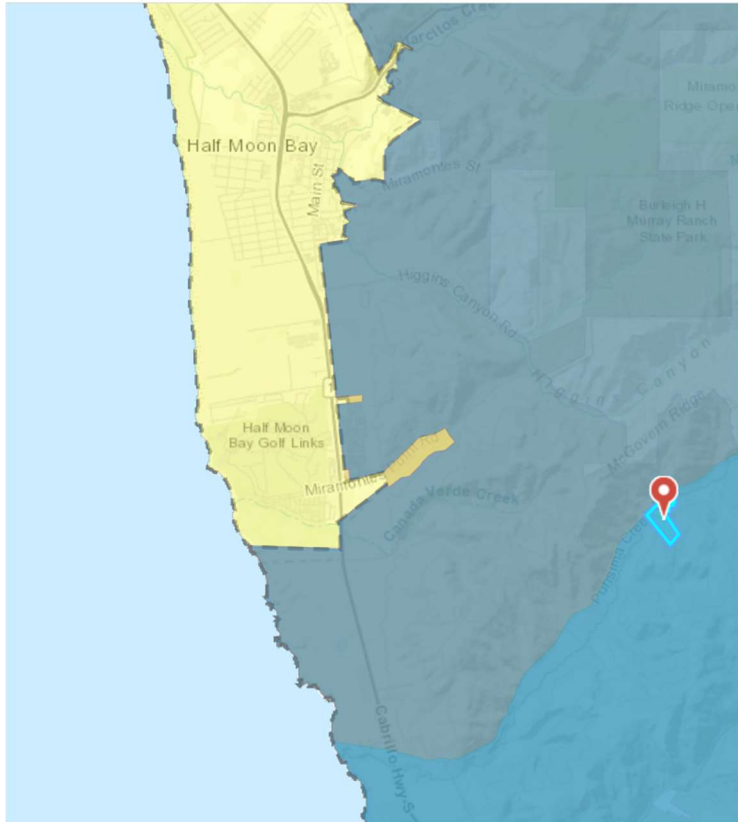


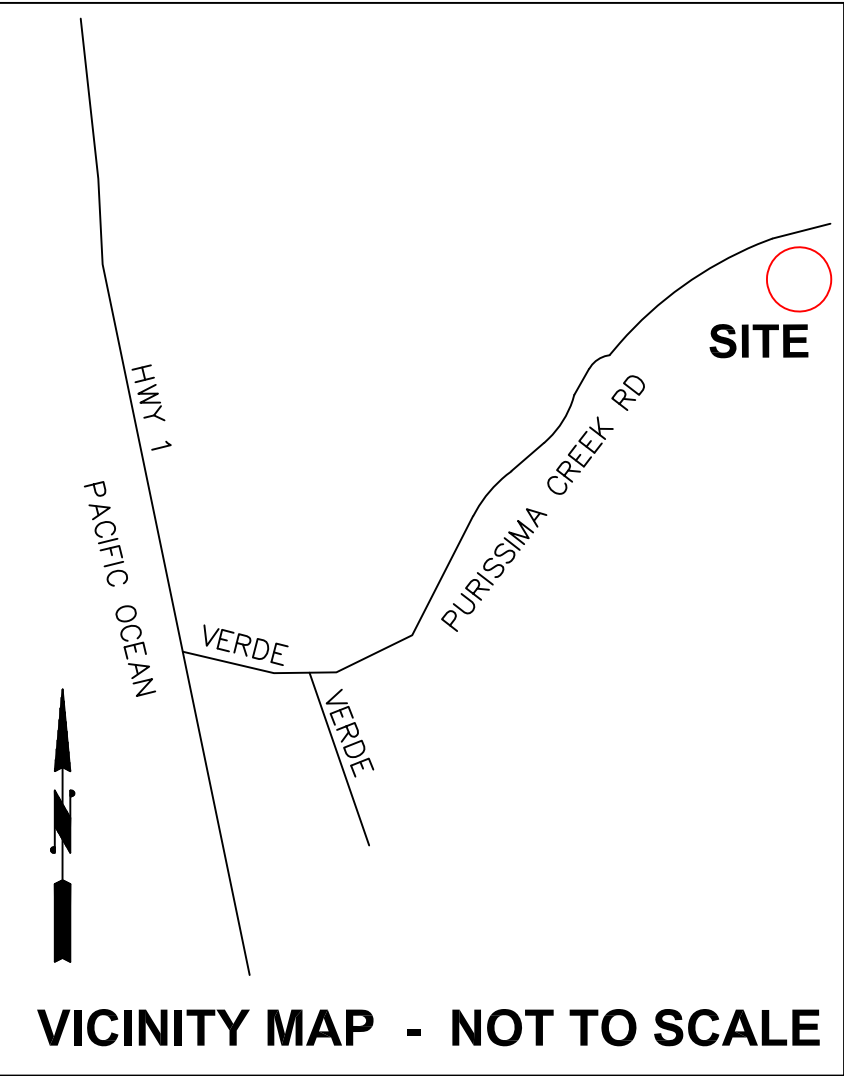
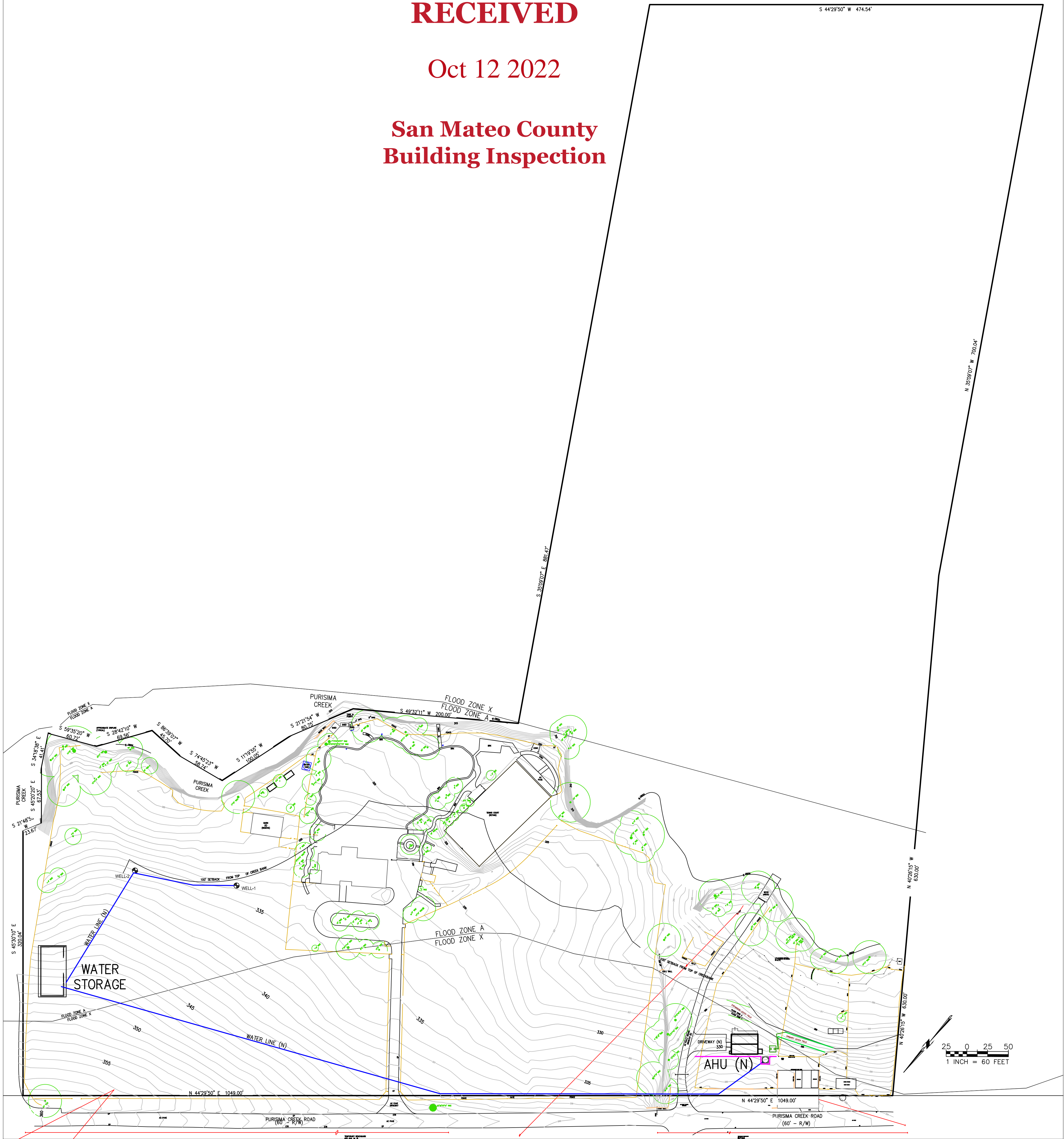
Vicinity Map – PLN2020-00133 - Joswiak Residence, Affordable Housing Unit, and Barn and Horse Barn

County of San Mateo – Planner: Camille Leung, Senior Planner

April 16, 2021



RECEIVED
Oct 12 2022
San Mateo County
Building Inspection



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:
GREG JOSWIAK, OWNER
2. TOPOGRAPHY BY MACLEOD AND ASSOC., SURVEYED AUGUST, 2019.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.
5. THE GEOTECHNICAL REPORT: PENDING.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME (650-728 3590) TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

FEMA FLOOD ZONE NOTES

1. A LETTER OF MAP AMMENDMENT HAS BEEN APPROVED BY FEMA.
2. THE APPROVED BASE FLOOD ELEVATION ADJACENT TO THE MAIN HOUSE SITE IS 320.1 FEET.
3. THE PROPOSED FF ELEVATION OF THE MAIN FLOOR IS 334.75 FEET.

CIVIL PLAN SHEET INDEX

C-1: SITE PLAN
C-2: DRAINAGE PLAN
C-3: GRADING PLAN
C-4: EROSION AND SEDIMENT CONTROL PLAN
C-5: WATER TO AHU

DATE: 7-21-22 DRAWN BY: CMK CHECKED BY: AZG REV. DATE: 10-6-22 REV. DATE: REV. DATE:	Sigm Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593	SITE PLAN AFFORDABLE HOUSING UNIT (AHU) JOSWIAK PROPERTY 2450 PURISSIMA CREEK ROAD HALF MOON BAY APN 066-230-050	SHEET C-1

RECEIVED

Oct 12 2022
HONOMOBO - HO530 (FALVEY)
2450 PURISIMA CREEK ROAD, HALF MOON BAT, CALIFORNIA, 94019

San Mateo County

Building Inspection

GENERAL CODE COMPLIANCE

THESE PLANS ARE IN COMPLIANCE WITH THE FOLLOWING CALIFORNIA STATE REGULATIONS. ANY ERRORS OR OMISSIONS DO NOT WAIVE CODE REQUIREMENTS.

- 2019 CH.11A PART 2 CA BUILDING CODE
 - 2019 CH.11B PART 2 CA BUILDING COD
 - 2019 PART 2.5 CA RESIDENTAIL CODE
 - 2019 PART 3 CA ELECTRICAL CODE
 - 2019 PART 4 CA MECHANICAL CODE
 - 2019 PART 5 CA PLUMBING CODE
 - 2019 PART 6 CA ENERGY CODE
 - 2019 PART 10 CA EXISTING BUILDING CODE
 - 2019 PART 11 CA GREEN BUILDING STANDARDS-CODE (CALGREEN)
- ALONG WITH ALL OTHER APPLICABLE STATE AND LOCAL LAWS ORDINANCES AND REGULATIONS.

VENTILATION COMPLIANCE

WHOLE HOUSE VENTILATION USING A HEAT RECOVERY VENTILATION SYSTEM.

1. LOCATION OF CONTROLS. CONTROLS FOR ALL VENTILATION SYSTEMS SHALL BE READILY ACCESSIBLE BY THE OCCUPANT.
2. INSTRUCTIONS. OPERATING INSTRUCTIONS FOR WHOLE-HOUSE VENTILATION SYSTEMS SHALL BE PROVIDED TO THE OCCUPANT BY THE INSTALLER OF THE SYSTEM.
3. ALL DUCT WORK IN HEAT RECOVERY SYSTEMS SHALL BE SIZED AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
4. HEAT RECOVERY VENTILATION SYSTEMS SHALL HAVE A FILTER ON THE UPSTREAM SIDE OF THE HEAT EXCHANGER IN BOTH THE INTAKE AND EXHAUST AIRSTREAMS WITH A MINIMUM EFFICIENCY RATING VALUE (MERV) OF 6.
5. ALL SUPPLY DUCTS IN THE CONDITIONED SPACE INSTALLED UPSTREAM OF THE HEAT EXCHANGER SHALL BE INSULATED TO A MINIMUM OF R-4.
6. INLETS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL. OUTDOOR AIR INLETS SHALL BE LOCATED SO AS NOT TO TAKE AIR FROM THE FOLLOWING AREAS:
 - CLOSER THAN 10 FEET FROM AN APPLIANCE VENT OUTLET, UNLESS SUCH VENT OUTLET IS 3 FEET ABOVE THE OUTDOOR AIR INLET.
 - WHERE IT WILL PICK UP OBJECTIONABLE ODORS, FUMES OR FLAMMABLE VAPORS.
 - A HAZARDOUS OR UNSANITARY LOCATION.
 - A ROOM OR SPACE HAVING ANY FUEL-BURNING APPLIANCES THEREIN.
 - CLOSER THAN 10 FEET FROM A VENT OPENING OF A PLUMBING DRAINAGE SYSTEM UNLESS THE VENT OPENING IS AT LEAST 3 FEET ABOVE THE AIR INLET.
 - ATTIC, CRAWL SPACES, OR GARAGES.
7. FLOW RATE REQUIREMENT 60 CFM. VENTILATION SYSTEM SET TO CONTINUOUS OPERATION.

BUILDING INFORMATION:

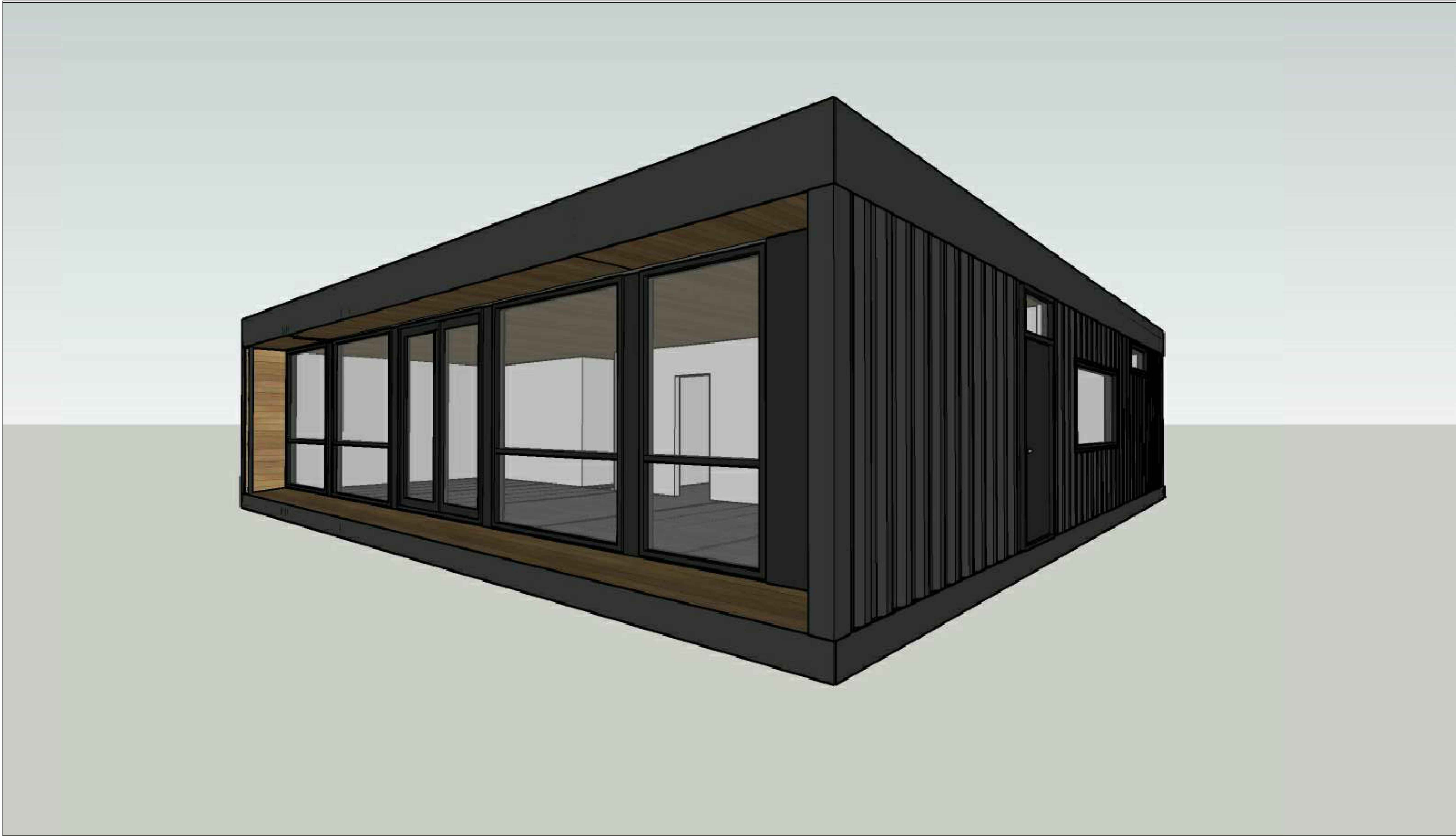
MODULE SIZE: 8'-0" X 22'-0" (X4)
TOTAL UNIT SIZE: 32'-0" X 22'-0"
OCCUPANCY TYPE: SINGLE FAMILY RESIDENTIAL
OCCUPANCY LOAD:8(198 SF X/-PER OCCUPANT)
BUILDING LIMITATIONS: N/A
FOOTPRINT SIZE: 704SF
TRUE INTERIOR LIVING SPACE: 663 SQ. FT

- LOCATION: STATE OF CALIFORNIA
1. BUILDING SHALL NOT BE LOCATED IN A FLOOD HAZARD AREA
 2. INSPECTION LABELS AND DATA PLATES TO BE LOCATED AT THE ELECTRICAL PANEL
 3. THIS UNIT SHALL NOT BE LOCATED IN AN AREA THAT EXCEEDS ITS DESIGN LOADS
 4. THIS BUILDING SHALL NOT BE USED AS AN ADDITION TO ANOTHER BUILDING
 5. THIS BUILDING SHALL BE POSITIONED ON THE SITE NO CLOSER TO 10' FROM ANY OTHER UNIT

UNIT LABELS:
STATE OF CALIFORNIA HCD COMPLIANCE DECALS

SEALED DRAWINGS:

PROVIDED AND SEALED BY APPLICABLE
STATE/PROVINCE REGISTERED ENGINEER FOR
STRUCTURAL STEEL COMPONENTS ONLY



* IMAGE FOR ILLUSTRATION PURPOSES ONLY. FINAL PRODUCT MAY NOT BE EXACTLY AS SHOWN

ITEMS TO BE COMPLETED ON SITE

THE FOLLOWING ARE THE WORK THAT IS TO BE PERFORMED AT THE SITE AND NOT INCLUDED IN FACTORY BUILT PORTION OF THE BUILDING:

- PLACE HOUSE FOUNDATION
- HOME CONNECTION TO FOUNDATION
- HOOK UP UTILITIES:
 - POWER-BY OTHERS
 - WATER-BY OTHERS
 - SEWER/SEPTIC-BY OTHERS
 - STORM WATER BY OTHERS
- EXTERIOR :
 - MODULE TO MODULE STRUCTURAL CONNECTIONS
 - AT MODULE CONNECTIONS
 - ROOFING INTERCONNECT
 - BOLT PARAPET
 - SPRAY FOAM CAVITY VOID
 - PLACE PLYWOOD SHEATHING STRIP
 - WELD ROOFING MEMBRANE
 - INSTALL SOFFITS AND DOWN SPOUTS
 - INSTALL REAR FLASHING, BLUE SKIN AND FOAM - VERTICAL
 - INSTALL REAR ROOF FLASHING
 - INSTALL FRONT FLASHING/BLUE SKIN - BETWEEN WINDOWS

- LANDINGS, DECKS AND/OR GUARDS BY OTHERS PRAY FOAM INSULATE UNDER SIDE OF HOME
- INTERIOR :
 - AT MODULE CONNECTIONS
 - FLOORING INTERCONNECT
 - INSTALL APPROX. 200 SQFT OVER INTERCONNECT
 - STAND UP FRIDGE SET INTO PLACE
 - PLACE KITCHEN ISLAND
 - CONNECT DUCTWORK BETWEEN MODULES ELECTRICIAN TO CONNECT WIRING BETWEEN MODULES AND TO HOME-BY OTHERS
 - BLOWER DOOR TESTING AND CERTIFICATION
 - CEILING SPRINKLERS INSTALLED BY OTHER
 - INTERIOR CEDAR CEILING

- ELECTRICAL:
 - TEMP POWER SERVICE
 - PERMANENT SERVICE LINE AND METER PANEL
 - UFER GROUND CONNECTION
 - MODULE TO MODULE ELECTRICAL CONNECTIONS
 - HEAT PUMP CONNECTION
- FIRE SUPPRESSION
 - FIRE EXTINGUISHERS TO BE SUPPLIED AND INSTALLED ON SITE BY OTHERS IN ACCORDANCE WITH 2012 IBC
 - FIRE SUPPRESSION SYSTEMS TO BE SITE INSTALLED BY/LICENSED CONTRACTOR IN ACCORDANCE WITH THE 2012 IBC AND 2012 IFC

DRAWING LIST

A1.1 - FLOOR PLAN
A1.2 - REFLECTED CEILING PLAN
A1.3 - COLOUR SCHEDULE
A1.4 - EQUIPMENT PLAN
A1.5 - FRAMING PLAN
A1.6 - DETAILS
A1.7 - INTERIOR ELEVATIONS
A1.8 - EXTERIOR ELEVATIONS
P1.1 - PLUMBING PLAN
E1.1 - HIGH VOLTAGE ELECTRICAL PLAN
E1.3 - LOW VOLTAGE ELECTRICAL PLAN
M1.1 - MECHANICAL PLAN

ABBREVIATIONS

TYP. - TYPICAL
U/S - UNDERSIDE
T/O - TOP OF
A.F.F. - ABOVE FLOOR FINISH
N.I.C. - NOT IN CONTRACT
T.B.D. - TO BE DETERMINE
N/A - NOT APPLICABLE

CONTAINER NOTE

ALL SHIPPING CONTAINERS USED FOR THIS BUILDING ARE TO BE NEW, SHIPPED DIRECTLY FROM THE MANUFACTURER

HONOMOBO

MANUFACTURED BY:

HONOMOBO- 2102 5th ST.
NISKU, AB
T9E 7X3
HCD APPROVED

THIS DRAWING CONTAINS CONFIDENTIAL AND PROPRIETARY INFORMATION. ITS CONTENTS SHALL NOT BE DISCLOSED TO OTHER PARTIES, NOR MAY ITS CONTENTS BE REPRODUCED OR DISCLOSED IN WHOLE OR IN PART, OR BE USED TO MANUFACTURE FOR USE OF SALE BY ANY OTHER PERSON WITHOUT PRIOR WRITTEN CONSENT HONOMOBO.

Oct 12 2022

DEPARTMENT:

SEAL/STAMP:

REVISIONS/ISSUE DATA

[illegible]

PROJECT:

HONOMOBO
HO530 FALVEY
250 PURISIMA CREEK RD
LOCATION:
HALF MOON BAY, CA. 94019

SHEET TITLE:

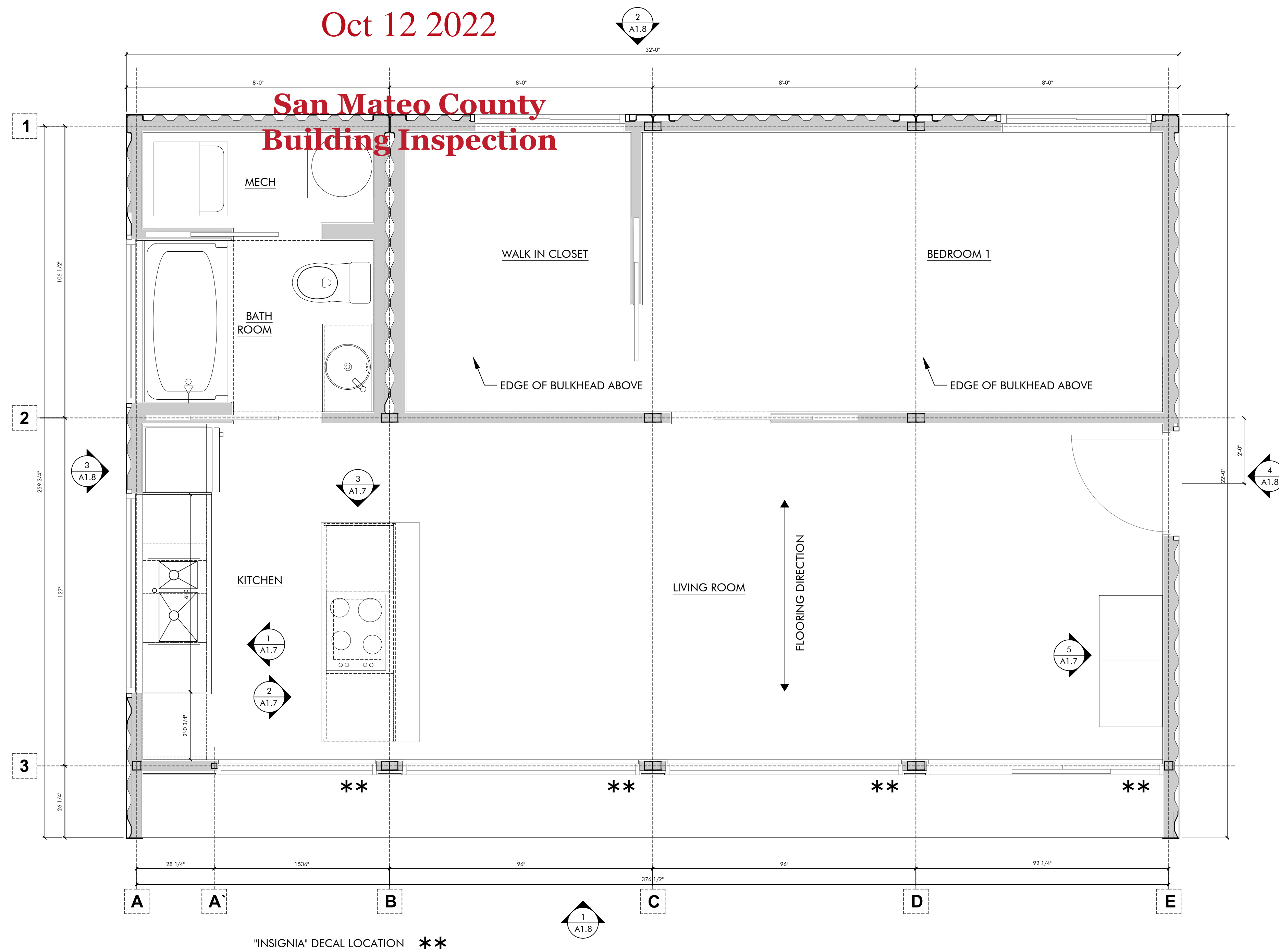
FLOOR PLAN

CAD FILE:

HO530 FLAVEY

DRAWN BY:	RC	DATE:	04.08.2022
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CHECKED BY:	SHEET NO:
--	A1.1



"INSIGNIA" DECAL LOCATION **

FLOOR PLAN
A1.1 SCALE: 1/2" = 1'-0"

Approved: State of CA
 Certified Design Approval Agency - NTA, Inc. 926288
 Approved: Factory Built Housing

NTA Plan Approval # HONO070722-12
 Approval Date: 9/13/2022
 Expiration Date: 9/13/2025

