

San Mateo County – Project Development Unit
San Mateo County Office Building 3 (COB-3) and Parking Structure 2 (PS2)

**AMENDMENT # 16 (COB-3 & PS2) TO AGREEMENT
BETWEEN COUNTY OF SAN MATEO AND
TRUEBECK CONSTRUCTION, INC.**

THIS 16th AMENDMENT TO THE AGREEMENT (AGREEMENT # 84700-18-R075918), entered this 3rd day of March 2020, by and between the COUNTY OF SAN MATEO, hereinafter called "County," and Truebeck Construction, Inc., hereinafter called "Contractor";

WITNESSETH

WHEREAS, pursuant to Government Code, Section 31000, County may contract with independent contractors for the furnishing of such services to or for the County or any Department thereof;

WHEREAS, the parties entered into an agreement for Construction Management at Risk services on June 26, 2018; and

WHEREAS, the parties wish to amend the Agreement to increase the contract amount by Six Million, Seventy-Seven Thousand, Nine Hundred and Forty Three Dollars (\$6,077,943) for incorporation of approved scope into the PS2 project. The revised contract value for PS2 is for the Guaranteed Maximum Price of \$47,339,858.

WHEREAS, Lathrop House is Zero dollars (\$0) of the above total.

WHEREAS, COB-3 is Zero dollars (\$0) of the above total.

NOW, THEREFORE, IT IS HEREBY AGREED BY THE PARTIES HERETO AS FOLLOWS:

1. Original Appendix A of the Project Manual Contract Document 005201 (Agreement) is now replaced with the following revised Appendix A Rev 16:
2. For the PS-2 project, Truebeck Construction Inc. and the County of San Mateo have negotiated to reduce the CMR Fee from 3.25% to 2.75%(of General Conditions, General Requirements, and Direct Costs of Construction) and to convert the method of management of the GR1 and GR2 costs to a lump sum basis.
3. The construction phase duration is updated to reflect Substantial Completion of the Parking Structure Work five hundred forty-six (546) calendar days from Notice to Proceed. The Notice To Proceed date is November 1, 2019 resulting in Substantial Completion on April 29, 2021.
4. The construction phase duration is updated to reflect Final Completion of the Parking Structure Work five hundred seventy-nine (579) calendar days from Notice to Proceed. The Notice To Proceed date is November 1, 2019 resulting in Final Completion on June 1, 2021.
5. Inclusion of Truebeck's Guaranteed Maximum Price (GMP) dated 02/19/20, Revision 4 which includes the detailed cost breakdown, project schedule dated 02/19/20(Tab 11 of the GMP) and Qualification and Clarifications(Tab 8 of the GMP).

San Mateo County – Project Development Unit
San Mateo County Office Building 3 (COB-3) and Parking Structure 2 (PS2)

Appendix A

CALCULATION OF CONTRACT SUM – COB-3 and PS2
CHANGE ORDER REQUEST #16 (Rev 16) 03/03/2020
PS-2 GMP Approval

Item	COB-3 (\$)	PS-2 (\$)	Lathrop House (\$)	Total (\$)
Pre-Construction Services	\$ 475,150	\$ 699,360	\$ -	\$ 1,174,510
CMR Fee (3.25% of General Conditions, General Requirements, and Direct Cost of Construction)	\$ 3,185,000	\$ 1,213,632	\$ 28,678	\$ 4,427,310
CMR General Conditions	\$ 3,547,606	\$ 2,246,682	\$ 120,682	\$ 5,914,970
CMR General Requirements *				\$ -
GR-1 (Lump Sum)	\$ 373,413	\$ 262,670	\$ 25,980	\$ 662,063
GR-2***	\$ 2,196,269	\$ 2,906,095	\$ -	\$ 5,102,364
Subcontractor and self-perform subtrade work **	\$ 8,985,578	\$ 38,726,179	\$ 1,033,662	\$ 48,745,419
Contingency (3% of Direct Cost of Construction)	\$ 2,932,808	\$ 1,248,682	\$ 30,867	\$ 4,212,357
Bonds, Insurance and Taxes (3.09% of Direct Cost of Construction)	\$ 3,028,200	\$ 36,558	\$ 31,803	\$ 3,096,561
REVISED CONTRACT SUM	\$ 24,724,024	\$ 47,339,858	\$ 1,271,672	\$ 73,335,554

* See Document 00 4001 Appendix B for the CMR General Requirements 1 and 2.

** Subject to any Trade Subcontractor adjustments shown above. Scope of this Amendment is per attached back up provided in Attachment A & B.

*** See Document 00 4001 Appendix B for the GR1 & GR-2 Cost Breakdown. Back up provided in Attachment A-D.

END OF APPENDIX A

San Mateo County – Project Development Unit
San Mateo County Office Building 3 (COB-3) and Parking Structure 2 (PS2)

6. Original Appendix B of the Project Manual Contract Document 00 5201 (AGREEMENT) is now replaced with revised Appendix B Rev 16 on the following pages:

Appendix B

TRADE SUBCONTRACTORS LIST

Rev 16 – 03/03/2020

COUNTY OFFICE BUILDING 3 (COB-3)

<u>BP#</u>	<u>SUBCONTRACTOR NAME</u>	<u>DESCRIPTION</u>
1420-EL	Thyssen Krupp Elevator	Elevators
0250-AB	Eco Bay Services, Inc	Abatement
0210-BD	Silverado Contractors	Building & Tree Demolition
3231-EF	Nor Cal Portable Services	Temporary Fencing
3300-UL	Cruz Brothers Locators	Utility Locating
0154-SC	Platinum Specialty	Scaffolding Sidewalk Protection
2600-EL-TP	Intermountain Electric	Site Temporary Power
	EarthCam.net	Construction WebCam
	Harris & Lee Environmental Sciences	Environmental Health & Safety Report
3163-DL	Foundation Constructors, Inc	Deep Foundations
0154-TC	Maxim Crane	Tower Crane
0154-MH	Cabrillo Hoist	Material Hoist
3122-GD	Ghilotti Construction Co.	Initial Grading & Site Demo
	F3 & Associates, Inc	Project Control
	Kier & Wright	Project Control Verification
3300-FL	Ghilotti Construction, Inc	Potholing
05212-SS	Concord Iron Works	Embedded Steel

PARKING STRUCTURE 2 (PS2)

<u>BP#</u>	<u>SUBCONTRACTOR NAME</u>	<u>DESCRIPTON</u>
1420-EL	Thyssen Krupp Elevator	Elevators
3163-DL	Condon-Johnson & Associates, Inc	Ground Improvements
0171-SS	BKF	Survey & Staking
0320-RS	Camblin Steel	Reinforcing Steel
0512-SS	Concord Iron Works, Inc	Steel, Misc Steel, Decking, Stairs
0742-MM	Pacific Erectors	Exterior Skin: Metal Mesh
0742-MP	Alumawall, Inc	Exterior Skin: Metal Panel
0760-FL	Omni Sheet Metal	Flashing & Sheet Metal
0991-PT	Valdez Painting	Painting & Coat
1115-PC	Amano McGann	Parking Control Equipment
1440-SI	Ad-Art Sign Company	Signage
2100-FP	Cosco Fire Protection	Fire Protection

San Mateo County – Project Development Unit
San Mateo County Office Building 3 (COB-3) and Parking Structure 2 (PS2)

2200-PL	Broadway Mechanical	Plumbing
2300-HV	Air Systems	HVAC Systems
3122-GD	O.C. Jones & Son	Earthwork, Grading, Paving, Site Demo
3216-SC	Ghilotti Constructions	Site Concrete
3291-LI	Eggli Landscape	Landscape & Irrigation
0742-VC	Eggli Landscape	Exterior Skin: Vine Cabling
3300-SU	Robert A. Bothman	Site Utilities
7310-ST	O.C. Jones & Son	Striping
0750-RF	Enterprise Roofing Service, Inc	Roofing & Waterproofing
0930-TL	California Tile Installers	Ceramic Tile
2600-EL	Del Monte Electric Co., Inc	Electrical
3231-FG	Truebeck Const / Nor Cal Port Svcs	Temp Fencing & Gates
3300-UL	Cruz Brothers Locators	Utility Locating
0154-MH	Cabrillo Hoist	Material Hoist
0331-SC	Largo Concrete	Structural Concrete
0920-DR	Level 5 Inc	Drywall & Metal Framing, Insulation
0154-SC	Platinum Specialty	Scaffolding Sidewalk Protection
0810-DS	Truebeck Construction	Door, Frame & Hardware
1020-MS	Truebeck Construction	Miscellaneous Specialties
2600-EL-TP	Intermountain Electric	Temporary Power

LATHROP HOUSE RELOCATION

<u>BP#</u>	<u>SUBCONTRACTOR NAME</u>	<u>DESCRIPTION</u>
1130-SS	Kier & Wright	Surveying
0241-SD	Duran and Venables	Site Demolition, Grading, Paving
0320-SC	McGuire and Hester	Structural & Site Concrete, Reinf. Steel
0550-MM	Westco Iron Works	Misc. Metals, Handrails
0991-PT	Valdez Painting	Painting
1344-MT	Montgomery Contractors	House Relocation/Moving
2200-PL	Accel Air Systems	Plumbing
2600-EL	Prime Electric	Electrical
3217-ST	Cee-Gee, Inc.	Parking Lot Striping
3290-LI	Eggli Landscaping	Landscape / Irrigation
3300-SU	Granite Rock Construction	Site Utilities

END OF APPENDIX B

San Mateo County – Project Development Unit
San Mateo County Office Building 3 (COB-3) and Parking Structure 2 (PS2)

7. All other terms and conditions of the Agreement dated June 26, 2018, between the County and Contractor shall remain in full force and effect.

THIS CONTRACT IS NOT VALID UNTIL SIGNED BY ALL PARTIES. NO WORK WILL COMMENCE UNTIL THIS DOCUMENT HAS BEEN SIGNED BY THE COUNTY PURCHASING AGENT OR AUTHORIZED DESIGNEE.

For Contractor:



Contractor Signature

03/03/20

Date

Truebeck Construction, Inc.

Contractor Name (please print)

For County:



APPROVED BY
PDU Executive 1

3/4/2020

Date



APPROVED BY
PDU Executive 2

3/4/20

Date

Signed and Certified that a copy of this document has
Been delivered by electronic or other means to the
President, Board of Supervisors

President of the Board of Supervisors

Date

Clerk of the Board of Supervisors

Date

San Mateo County PS2

February 19th, 2020 | Guaranteed Maximum Price (GMP) Revision 4



TRUEBECK

CONSTRUCTION

February 24, 2020

COUNTY OF SAN MATEO PROJECT DEVELOPMENT UNIT (PDU)
1402 Maple Street
Redwood City, Ca. 94063

Attention: Adam Ely

Reference: County of San Mateo Parking Structure No. 2
Truebeck Construction Project Number 419006

Subject: Guaranteed Maximum Price Proposal

Dear Adam:

It is with great pleasure that Truebeck Construction, Inc. presents the CM at Risk Guaranteed Maximum Price (GMP) Proposal for the County of San Mateo Parking Structure No 2(PS-2). As you are aware, our team has been working on getting the project set up for construction, received competitive subcontractor proposals for the subcontracted scopes of work, and worked with the County staff to overcome some of the permitting challenges presented by the City of Redwood City to get to this point in the project. we are very excited to be finally building this truly wonderful structure and believe it will be a great asset for the County for years to come.

The GMP consists of the following documents:

- a.) Truebeck summary and detailed information regarding the anticipated costs, including the summation of the low responsible subcontractor bid for each trade, the Site Requirements for the project (GR-1's and GR-2's per the contract), Truebeck's Project Management expenses, various allowances to cover scopes that fall outside of the subcontractor bids or for which design information is not completed yet, and the Contract stipulated Contractor's Contingency amounts and Liability Insurance costs for the project. As we have previously agreed, due to the increase in the anticipated volume of the PS-2 and COB-3 projects, in the interests of our continuing partnership, Truebeck Construction has agreed to reduce our Overhead and Profit percentage from 3.25% to 2.75%. This reduction is reflected in the current proposal and will be included in the COB3 GMP as well.
- b.) The list of Assumptions, Clarifications, Exclusions, bid questions clarifications and Constructability comments which detail the specifics regarding the design and scope for the project.
- c.) The list of Contract Documents that the GMP is based upon

RAISE THE BAR.

951 Mariners Island Blvd., Ste. 700, San Mateo, CA 94404
T 650.227.1957 F 650.227.1958 CA License # 903798
truebeck.com

d.) The Project Schedule, which shows a current anticipated Temporary Certificate of occupancy date of April 29, 2021, and a Final Completion date of June 1, 2021 based upon the current scope and qualifications.

Truebeck Construction, Inc. hereby commits to the County of San Mateo that the attached Guaranteed Maximum Price shall not be exceeded, based upon the current Design Documents and scope of the project, the attached clarifications regarding our proposal, and the current schedule parameters. Of course, should there be changes to the scope or schedule, these may impact the final contract price or completion date, but these items will be at the discretion of the County to authorize to proceed or not during the course of the project.

Please sign in the space below indicating the County of San Mateo's acceptance of the Guaranteed Maximum Price (GMP) proposal, upon which a formal Contract Amendment will be issued.

Please contact me if you have any questions or require additional information.

Very Truly Yours
TRUEBECK CONSTRUCTION, INC.



Mike Anderson
Sr. Vice President, Operations

Acceptance of the PS-2 Guaranteed
Maximum Price Proposal

By: _____

Name/Title: _____

Date: _____

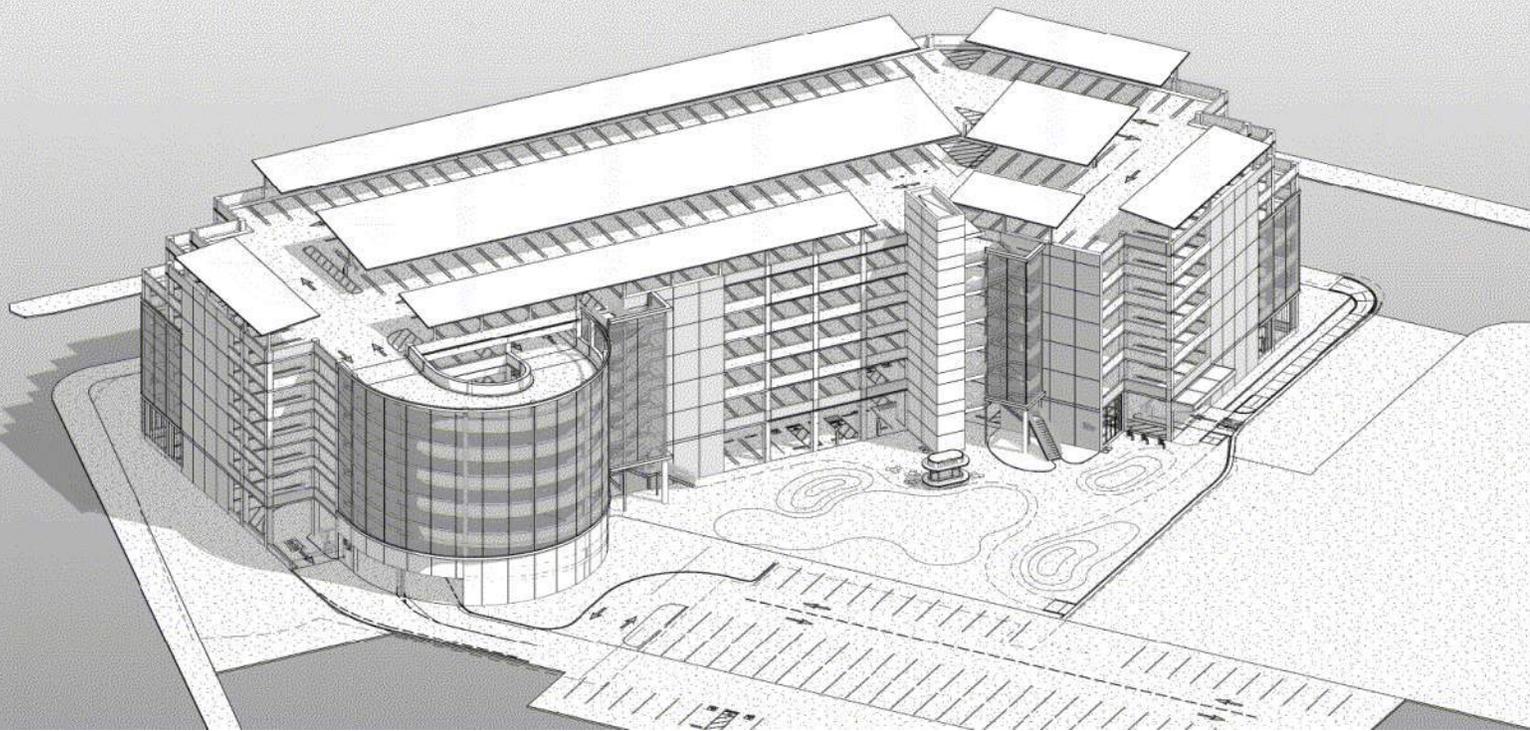


TABLE OF CONTENTS

- 01/ Overall Project Executive Summary**
- 02/ System Summary**
- 03/ Allowances**
- 04/ Amendment Summary**
- 05/ GR-1 / GR-2 Estimate Breakdowns**
- 06/ GC and Precon Extension Breakdown**
- 07/ Value Engineering and Alternate Options**
- 08/ Qualifications**
- 09/ List of Contract Documents**
- 10/ Site Logistics**
- 11/ Project Schedule**
- 12/ Constructability Review Comments**
- 13/ Pre-Bid RFI's**

1/ Overall Project Executive Summary

TRUEBECK
CONSTRUCTION

EXECUTIVE SUMMARY

Parking Structure 2, GMP Estimate 01 27 20

Parking Structure 2 GMP Estimate		GMP Cost	340,496 SF
			\$/SF
Direct Construction Costs - PS2		\$ 41,024,227	\$120.48
Add for Bussing Program (Bus + Sub Costs)	Allowance	\$ 353,885	\$1.04
Subtotal Direct Construction		\$ 41,378,112	\$121.52
Accepted Value Engineering		\$ (67,900)	(\$0.20)
Accepted Alternate Scope Adds		\$ 312,505	\$0.92
Total Direct Construction		\$ 41,622,717	\$122.24
Pre-Construction Services: Original Scope	Lump Sum	\$ 203,623	\$0.60
Preconstruction: Delayed Start/Make Ready Work		\$ 495,724	\$1.46
CMR Fee (General Conditions, General Requirements, and Direct Construction)	2.75%	\$ 1,213,632	\$3.56
CMR Project Management: Original Scope	Lump Sum	\$ 1,491,706	\$4.38
CMR Project Management (Extended Duration):	Lump Sum	\$ 754,976	\$2.22
CMR General Requirement (GR-1):	Not To Exceed	\$ 183,470	\$0.54
CMR General Requirement (GR-1 Extended Duration):	Not To Exceed	\$ 79,200	\$0.23
GR-1 County Directed Reimbursables:	Lump Sum	\$ 9,570	\$0.03
Construction Contingency (Direct Construction):	3.00%	\$ 1,248,682	\$3.67
Bonds, Insurance & Taxes (Direct Construction):	3.09%	\$ 1,286,558	\$3.78
CCIP Worker's Comp Credit	Lump Sum	\$ (1,250,000)	(\$3.67)
Total GMP Value		\$ 47,339,858	\$139.03

Notes:

Value Engineering Listed as Pending (Mark Ups Not Included)	\$	(111,720)	(\$0.33)
Alternates Adds Listed as Pending (Mark Ups Not Included)	\$	338,630	\$0.99

2/ Systems Summary



SYSTEM SUMMARY

Parking Structure 2

GMP

Project: **San Mateo PS-2**
 Location: Redwood City, CA
 Owner: PDU / County of San Mateo

Total Building Area (sqft): 340,696 SF
 Architect: Watry Design
 Date: January 27, 2020

DESCRIPTION	COST	\$/SF
Parking Structure 2 GMP 340,696 SF 1,022 Stalls		
00 Demolition	-	0.00
01 Sitework	2,744,908	8.06
02 Foundations	5,015,794	14.72
03 Substructure	738,785	2.17
04 Superstructure	18,792,952	55.16
05 Exterior Skin	2,074,105	6.09
06 Roofing	102,125	0.30
07 Interior Construction	1,816,801	5.33
08 Equipment	47,460	0.14
09 Conveying	1,112,176	3.26
10 Fire Protection	1,010,900	2.97
11 Plumbing	602,640	1.77
12 HVAC	119,505	0.35
13 Electrical	6,599,962	19.37
Allowance For Escalation Due to Delayed Start	600,000	1.76
TOTAL DIRECT COSTS	41,378,112	121.45
	Cost / Stall	40,487
Breakdown of Cost		
Subcontracted Scopes of Work		
01 Contracted Subcontractor Work	34,616,622	101.61
02 Subcontractor Allowances	797,135	2.34
05 Bussing Program	353,885	1.04
Allowances - Current Pending Costs Outside of Design Documents	2,104,375	6.18
Allowance for Escalation Due to Delayed Start	600,000	1.76
Subtotal	38,472,017	112.92
GR2 Costs	2,906,095	8.53
Subtotal	2,906,095	8.53
TOTAL DIRECT COSTS	41,378,112	121.45

3/ Allowances



**GMP Allowance Summary
SMC Parking Structure 2**

BP#	Amendment	Description	Proposed Subcontractor	Value	Notes
0154-SC		Scaffolding Sidewalk Protection	Platinum Specialty		N/A
0171-SS		Survey & Staking	BKF		N/A
0320-RS		Reinforcing Steel	Camblin		
	5	Rebar Allowance Per Specs		\$ 10,000	Listed in Specs
	5	Post Tensioning Allowance Per Specs		\$ 5,000	Listed in Specs
	5	Form Saver Allowance		\$ 50,000	2,050 LF of Cj / 24" o.c. X \$50/each
	5	Non Contact Splices for Shotcrete Wall Allowance		\$ 65,000	Reference Camblin email for recommended allowance
	5	Embed Coordination Allowance		\$ 25,000	160 man hours X \$125/hr + \$5,000 material
0331-SC		Structural Concrete	Largo Concrete		
	7	Credit if Soil is assumed Clean in lieu of Class II		\$ (59,205)	Alternate provided by Largo
	7	Man Lift Foundation		\$ 15,000	96 man hours X \$100/hr + 5,400 material
	7	Slab Crack Repair Allowance		\$ 50,000	Listed in Specs
0512-SS		Steel, Decking, Misc Metal & Stairs	Concord Iron Works		
	5	Shimming at Exterior Skin Support Steel Allowance		\$ 20,000	80 man hours X \$125/hr + \$10,000 material
	5	Exterior Skin Support Steel Upgrade Allowance		\$ 30,000	6 tons x \$5,000/ton
0611-RC		Rough Carpentry	Truebeck		
	GMP	Rough Carpentry Allowance - Plywood Backboards		\$ 11,000	60 man hours X \$100/hrs + \$4,000 material
	GMP	Noise Mitigation Barrier - Installation/Removal		\$ 175,000	Approved via email dated 7/11/19
0742-MM		Metal Mesh	Pacific Erectors		N/A
0742-MP		Metal Panel	Alumawall		
	5	Aluminum Flashing Coordination Allowance		\$ 25,000	80 man hours X \$125/hr + \$15,000 material
0742-VC		Vine Cabling	Eggli Landscape		N/A
0750-RF		Roofing & Waterproofing	Enterprise Roofing		
	6	Roofing & Waterproofing Patching Allowance		\$ 7,500	40 man hours X \$125/hr + \$2,500 material
0760-FL		Flashing & Sheet Metal	Omni		N/A
0810-DS		Doors, Frames & Hardware	Truebeck		N/A
	9	Knox Box		\$ 1,500	5 man hours X \$100/hr + \$1,000 materials
0920-DR		Drywall, Framing & Insulation	Level 5		
	7	Backing Allowance		\$ 2,500	15 man hours X \$125/hr + \$625 materials
0930-TL		Ceramic Tile	Cal Tile Installers		N/A
0991-PT		Painting & Coatings	Valdez Painting		
	5	Painting Allowance (Misc Paint & Prime Touch Up of Steel Components)		\$ 15,000	80 man hours X \$125/hr + \$5,000 material
1020-MS		Misc Specialties	Truebeck		N/A
1115-PC		Parking Control Equipment	Amano McGann		
	5	Electrical Coordination Allowance		\$ 5,000	40 man hours X \$125/hr
1440-SI		Signage	Ad Art		N/A
1420-EL		Elevators	ThyssenKrupp		N/A
2100-FP		Fire Protection	Cosco Fire Protection		
	5	Beam Coordination / No Fly Zone Allowance		\$ 8,100	60 man hours X \$135/hr
	GMP	Temporary Dry Stand Pipe - Requested by Fire Department		\$ 10,400	40 man hours X \$135/hr + \$5,000 materials
2200-PL		Plumbing	Broadway Mechanical		
	5	Beam & Footing Coordination Allowance		\$ 6,840	60 man hours X \$114/hr
2300-HV		HVAC Systems	Air Systems		N/A
2600-EL		Electrical	Del Monte Electric		
	6	Temp Power & Lighting		\$ -	Cost carried in GR-2's
	6	PG&E Transformer Protective Bollards (14 Total)		\$ 13,300	14 X \$950/each (Concord Iron Works Unit Cost)
3122-GD		Earthwork, Grading, Paving & Site Demo	OC Jones		
	5	Ground Improvement Spoil Off haul Allowance		\$ 180,000	2,000 cu yds X \$90/cuyd
	GMP	Additional Spoil Off Haul Allowance		\$ 45,000	500 cuyd X \$90/cuyd
3163-DL		Ground Improvements	Condon Johnson		
	3	Ground Improvements for Crane Path		\$ 43,200	24 Outrigger Locations
3216-SC		Site Concrete	Ghillotti		N/A
	GMP	Existing Curb Repair due to Haul Route Modifications		\$ 9,000	150 FT X \$60/LF
3231-EG		Temp Fencing	Truebeck		N/A
3290-LI		Landscaping & Irrigation	Eggli Landscape		N/A
3300-SU		Site Utilities	Bothman		



**GMP Allowance Summary
SMC Parking Structure 2**

BP#	Amendment	Description	Proposed Subcontractor	Value	Notes
	5	Site Utility Coordination / Offset Allowance		\$ 20,000	80 man hours X \$125/hr + \$10,000 material
3300-UL		Utility Locating	Cruz Brothers		N/A
7310-ST		Striping	OC Jones		
	6	Parking Directional Devices & Painting Allowance		\$ 8,000	Listed in Specs
		Sub Total		\$ 797,135	
General		Offsite Parking	Corinthian Transport		
	GMP	Subcontractor Alternate Pricing		\$ 62,356	To be reconciled / Reference backup
	GMP	Shuttle Allowance		\$ 256,054	(2) 25 person shuttles + Standby Costs - 12 months
	GMP	Facility Allowance		\$ 35,475	Shading / Temporary Toilets at Offsite Parking Lot
		Sub Total		\$ 353,885	
		Current Pending Costs Outside of Design Documents			
		Purchase Base Scope EV Chargers		\$ 300,000	
		Furnish/Rough-in/Install Additional Chargers		\$ 850,000	
		Lime Treat Building Pad (5% Lime 18" Deep)		\$ 96,222	
		OC Jones support to install lime treated pad		\$ 30,000	
		OC Jones Impact to Re-Grade Lime Treated Pad		\$ 30,000	
		PG&E Service Contract		\$ 54,866	
		Electrical Revision - Additional Rough-in and Panels per CB002.1		\$ 162,225	
		Off-site Infrastructure for PG&E Temp Power Service		\$ 111,831	
		Off-haul Contaminated Soil from Initial Grading		\$ 81,113	
		Additional SD Line Removal - Discovered During Utility Locating		\$ 10,000	
		Remobilization for OC Jones on 10/31/19		\$ 13,518	
		Site Signage Electrical		\$ 29,600	
		Contaminated Soil Disposal for FDTNS, General Site Grading		\$ 250,000	
		Re-Work Existing Sewer Line during Re-location		\$ 10,000	
		Data Connection Line to R.O.C per CB004.1		\$ 75,000	
		Sub Total		\$ 2,104,375	
		Total		\$ 3,255,395	



**Shuttle Parking Alternate
SMC Parking Structure 2**

BP#	Description	Proposed Subcontractor	Value
0154-MH	Material Hoist	Cabrillo	\$ -
0154-SC	Scaffolding Sidewalk Protection	Platinum Specialty	\$ -
0171-SS	Survey & Staking	BKF	\$ -
0320-RS	Reinforcing Steel	Camblin	\$ (9,215)
0331-SC	Structural Concrete	Largo Concrete	\$ 178,877
0512-SS	Structural Steel	Concord Iron Works	\$ (2,880)
0742-MM	Metal Mesh	Pacific Erectors	\$ -
0742-MP	Metal Panel	Alumawall	\$ (4,500)
0742-VC	Vine Cabling	Eggli Landscape	\$ -
0750-RF	Roofing & Waterproofing	Enterprise Roofing Services	\$ (200)
0760-FL	Flashing & Sheet Metal	Omni	\$ (634)
0810-DS	DFH	Truebeck	\$ -
0920-DR	Drywall & Metal Framing	Level 5	\$ (47,000)
0930-TL	Ceramic Tile	California Tile Installers	\$ (43)
0991-PT	Painting & Coatings	Valdez Painting	\$ (7,949)
1020-MS	Misc. Specialties	Truebeck	\$ -
1115-PC	Parking Control Equipment	Amano McGann	\$ -
1420-EL	Elevators	Thyssen Krupp	\$ -
1440-SI	Signage	Ad Art	\$ -
2100-FP	Fire Protection	Cosco Fire Protection	\$ -
2200-PL	Plumbing	Broadway Mechanical	\$ -
2300-HV	HVAC	Air Systems	\$ -
2600-EL	Electrical	Del Monte	\$ (36,700)
3122-GD	Earthwork	OC Jones	\$ (1,000)
3163-DL	Ground Improvements	Condon Johnson	\$ -
3216-SC	Site Concrete	Ghilotti	\$ -
3231-FG	Fences & Gates	Truebeck / Nor Cal Port Svcs	\$ -
3290-LI	Landscaping & Irrigation	Eggli Landscape	\$ (1,400)
3300-SU	Site Utilities	Bothman	\$ (5,000)
3300-UL	Utility Locate	Cruz Brother Locators	\$ -
7310-ST	Striping	OC Jones	\$ -
Subcontractor Total			\$ 62,356

Shuttle Allowance

Number of months	Qty	12	Duration (mos)	Rate		
Shuttle rates						
25 person shuttle (Corinthian)	2	12	\$	8,524	\$	204,578
OT Allowance(20%)	2	12	\$	1,705	\$	40,916
Standby costs(Ride Share)	88	12	\$	10	\$	10,560

Subtotal \$ 256,054 Corinthian Transport

	Qty	Duration (mos)	Rate			
Shuttle rates						
25 person shuttle (Metro)	2	12	\$	675	\$	356,400
OT Allowance(20%)	2	12	\$	135	\$	71,280
Standby costs(Ride Share)	88	12	\$	10	\$	10,560

Subtotal \$ 438,240 Metropolitan Shuttle

Facility Allowance

Number of months	Qty	12	Duration (mos)	Weeks/mo	Rate		
Shade/Weather (canopy)	12	1		1	300	\$	3,600.00
Temporary Toilets	5	12		4.25	\$ 125.00	\$	31,875.00

Subtotal \$ 35,475.00

Nate Lohman

From: John Brehm <john@corinthianparking.com>
Sent: Thursday, May 30, 2019 11:49 AM
To: Nate Lohman
Subject: Truebeck Shuttle Proposal
Attachments: Truebeck Shuttle Proposal.pdf

Hi Nate,

I hope you are doing well. It was a pleasure chatting with you yesterday regarding the TRUBECK upcoming shuttle needs. I have attached a proposal that should cover the needs we discussed. Once you have an opportunity to review the info, please give me a call and we can further discuss the details you want.

Thank you for your consideration and I look forward to hearing from you soon.

Cheers,
John

John Brehm
Business Development Manager
Corinthian Ground Transportation
C: (408)593-4076
O:(408)377-5466 Ex 114
F: (408)370-2198
www.corinthianparking.com

Corinthian Ground Transportation Commuter Shuttle Program



Presented to Nate Lohman



Corinthian
Ground Transportation Services

Prepared by

John Brehm-Business Development Manager Wk: 408-370-7768 Cel:408-593-4076, john@corinthianparking.com



Corinthian
Ground Transportation Services

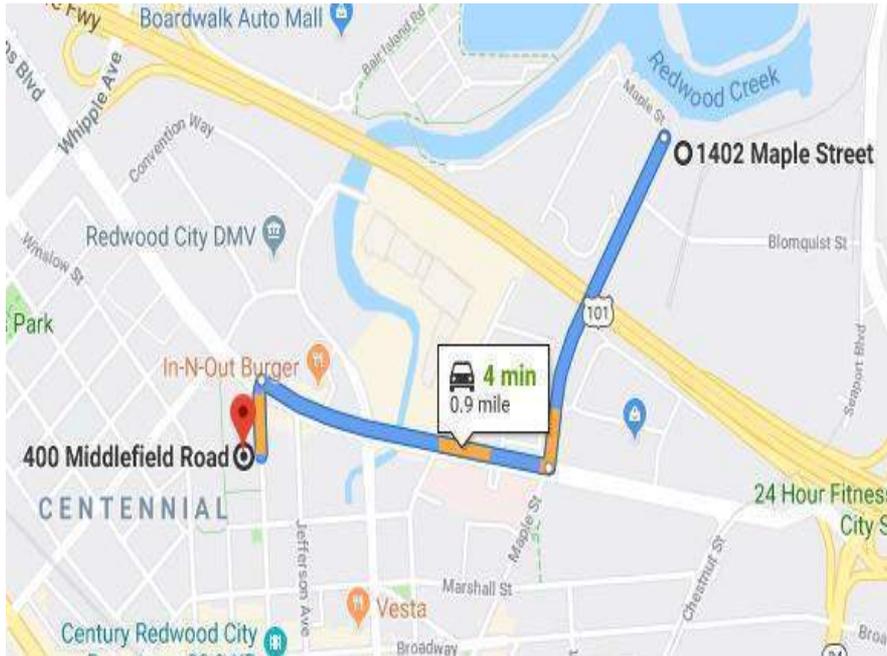
TRUEBECK
CONSTRUCTION

All pricing in this proposal is all inclusive and contains no “pass through” costs. Everything in this proposal can be modified to best suit TRUBECK’s management and associates.





Remote Parking Shuttle-Redwood City



Route:

Shuttle 1:

AM Departures:

6:30am, 6:40am, 6:50am

PM Departure:

3:00pm, 3:10pm, 3:20pm, 3:30pm, 3:40,
3:50pm

Operating Monday –Friday

<u>Route</u>	<u>Capacity</u>	<u>Cost/Month</u>
RWC1	25 pax	\$8,524.10



Corinthian
Ground Transportation Services

TRUEBECK
CONSTRUCTION

COMMAND CENTER

State of the art, 24 hour Command Center is specifically designed to monitor and resolve potential issues before they become problems. TRUBECK's management and ridership will have direct access to this Center 24 hours per day.



TRUBECK HOTLINE

A unique TRUBECK Hotline number will be issued to TRUBECK Mgmt and Riders that will directly connect them to Command Center. This # will also be posted in all TRUBECK Buses.



Notes

- We encourage an open conversation with TRUEBECK to make modifications on any/all of the proposal so that it reflects exactly what TRUEBECK needs.
- This proposal represents just a snapshot of what is possible. This can be tailored any way TRUEBECK prefers to reflect the needs of their associates.
- Corinthian has been a premiere corporate transportation and valet services provider in the Bay Area for 27 years. We thank you for your consideration and look forward to hearing from you soon.





Corinthian
Ground Transportation Services

TRUEBECK
CONSTRUCTION

References:

ORACLE®

Oracle
Santa Clara, CA
Contact: Katie Merideth
Title: Facilities Manager
Phone: 650-799-8948

SAP center
at san jose

SAP Center
San Jose, CA
Contact: James Hamnett
Title: Director of Booking & Events
Phone: 408-287-7070

Walmart 
Save money. Live better.

Walmart Corporate
San Bruno, CA
Contact: Carol Gentilini
Title: Sr Mgr Amenities and Workplace
Phone: 650-837-5508



San Francisco 49ers/Levi's Stadium
Santa Clara, CA
Contact: Tony Vroman
Title: Events Operations Manager
Phone: 408-673-2123



Nate Lohman

From: Dave Lee <davin@metropolitanshuttle.com>
Sent: Friday, May 31, 2019 9:12 AM
To: Nate Lohman
Subject: Nate Lohman, here's your Metropolitan Shuttle® Estimate #00141968
Attachments: MetropolitanShuttleBrochure.pdf; Shuttle in Redwood City, CA_V1.pdf



Dear Nate,

Thank you for your interest in Metropolitan Shuttle for your ground charter. I am pleased to present this price estimate.

Attached is your quote based on the travel information provided. To reserve the vehicles, please call me or reply to this email to request a contract. If you have any questions about the quote, I would be happy to go over it with you.

Since 2001, Metropolitan Shuttle has transported millions of people and served clients small and large. I hope to serve you and have you join the group of Metropolitan Shuttle's esteemed clients that already include Walmart, UPS, Salvation Army, Girl Scouts of America and Lowe's just to mention a few.

To ensure a positive experience, we at Metropolitan Shuttle® promise you the following:

- Your own point of contact to help you with all your trip-related questions
- Courteous drivers and clean and comfortable charter buses on every trip
- Safe vehicles that meet the highest safety ratings and insurance requirements per the Department of Transportation

We're really proud of our track record and created a short video that tells a little more about us:

<https://www.metropolitanshuttle.com/video>

PLEASE NOTE - this is only a quote and is NOT a confirmation of service.

RECEIVED A LOWER ESTIMATE? Provide a written quote and we will try to beat any competitor's price.

Sincerely,

Dave Lee
Sales Operations Manager
Metropolitan Shuttle
Direct Dial: (240) 833-4062
Toll Free: (866) 556-3545 ext. 314
Fax: (202) 318-3002
davin@metropolitanshuttle.com
<https://www.metropolitanshuttle.com>
<https://www.facebook.com/metropolitanshuttle>





Estimate

Metropolitan Shuttle, Inc.
 2730 W. University Blvd
 Suite 204
 Wheaton, MD 20902
 Phone: 866-556-3545
 Fax: 202-318-3002
 Web: www.metropolitanshuttle.com
 E-Mail: info@metropolitanshuttle.com

Created Date 5/31/2019
 Quote Number 00141968
 Expiration Date 6/7/2019
 Sales Rep DHL

Customer Billing Name / Address

Account Name Truebeck Construction
 Contact Name Nate Lohman
 Phone 415.855.5969
 Email nate.lohman@truebeck.com

Itinerary Information

Product	Details	Quantity	Sales Price	Total Price
Itinerary Info	<p>Group Leader Contact: Number of Passengers: Up to 75</p> <p>Pickup Date: 9/1/2019 Pickup Time: 6:30AM-7:00am Pickup Address: 1402 Maple Street, Redwood City, CA, USA, ,</p> <p>Additional Stops:</p> <p>Destination Address: 400 Middlefield Road, Redwood City, CA, USA, , Return Date: 9/1/2020 Return Time: 3:30PM-4:00PM</p> <p>We are looking to setup transportation for a construction project that does not have parking available on site.</p> <p>We would like to shuttle approximately 75 worker's on a daily basis at 6:30 AM from 1402 Maple St. in Redwood city ca to 400 middlefield rd, redwood city, ca. Then return the employees from 400 middlefield rd back to 1402 maple st at 3:30pm.</p> <p>We are looking for this service for 12 months</p>	1.00	\$0.00	\$0.00
Passenger Van	<p>Van - seats up to 11-13 adults Passenger Vans feature Bench style seating</p> <p>***DAILY RATE***</p>	1.00	\$550.00	\$550.00
Minibus	<p>Minibus seats up to 24-25 passengers Features individual, high back reclining seats, climate control and tinted windows. Not all models are equipped with lavatory.</p> <p>***DAILY RATE***</p>	1.00	\$675.00	\$675.00
	<p>Minibus seats up to 34-36 passengers Features individual, high back reclining seats, climate control</p>			

Minibus	and tinted windows. Not all models are equipped with lavatory.	1.00	\$750.00	\$750.00
	DAILY RATE			

Totals

Total \$1,975.00

Rate Description

Rates are inclusive of applicable taxes. Rates are based upon vehicle availability. Additional hours will be charged at \$150.00/hr for motor coach and \$100.00/hr for minibus. Parking fees and tolls are the responsibility of customer. Group to provide single room for driver for overnight trips. Vehicles and prices are confirmed with returned contract and 20 percent deposit. Payment in full is due 30 days prior to departure.

A 15 percent service fee will be assessed upon time of contract to include currently applicable fuel charges, 24 hour customer support, DOT/Insurance compliance verification, minimal driver gratuity, and trip customer service support.

Payment. Bookings more than 30 days prior to the event require a 20 percent deposit paid upon confirmation of the service. Final payment for charter service is due and payable at least thirty (30) days in advance of the first date of service.

Any bookings within 30 days of the event require full payment

PLEASE NOTE - this is only a quote and will not be confirmed until we have received a signed contract.

Rep Note

Sincerely,

Dave Lee
 Sales Operations Manager
 Direct Dial: (240) 833-4062
 Toll Free: (866) 556-3545 ext. 314
 Fax: (202) 318-3002
 Email: davin@metropolitanshuttle.com
www.metropolitanshuttle.com



THE MOST TRUSTED CHARTER BUS RESERVATION SERVICE

COVERAGE:

Metropolitan Shuttle® offers you the highest quality of service to be found in the industry through its network of nearly 1,000 charter transportation companies in hundreds of cities throughout the U.S. and Canada. Our 24/7 support will provide you the assurance you need to make your project a success!

TECHNOLOGY:

Metropolitan Shuttle® has proven itself a pioneer in the industry through its development of MetroTrac, a mobile device application allowing clients the ability to track vehicles, access itinerary information, contract details, driver numbers, etc. on their personal mobile devices.

UNPARALLELED EXPERIENCE:

2014-2016 Holiday season shuttle contractor for the southeast region of **UPS**.

2014-2016 Daily shuttle services of the **FBI**.

2012- 2016 providing in excess of 500 trips per day for the **VA Hospital Association** in multiple markets around the country.

2013-2015 daily shuttle services provider for **Kraft Foods** for headquarters staff in the Chicago area.

Only transportation services company in the U.S. with a **Walmart** vendor number. Provided daily shuttle services for **Walmart** 2010-2015.

Prime contractor for the **City of New York** in aftermath of Hurricane Sandy; provided transportation services for school children from flooded, non-functioning school districts.

The major transportation contractor for **BP** and environmental companies during oil spill crisis of 2010.

Primary contractor for **2008 & 2012 Presidential Inaugurations**, servicing **FEMA, State Dept., FBI, Washington DC Metropolitan Police**, among others.

SAFETY:

Metropolitan Shuttle® closely monitors the transportation operators it works with in the Federal Motor Carrier Safety Administration (FMCSA) database and/or the Surface Deployment and Distribution Command database of the US military. Our network of experienced and reputable partners ensures your group will always arrive safely.

ACCREDITATIONS:

GSA Approved vendor for the U.S. Government
A+ Better Business Bureau rating.



WE DELIVER RESULTS:

Trusted by the biggest names
in business and government.



Your *one-stop shop* for your
group transportation needs
anywhere in North America

Contact Us for a FREE Quote

Toll Free: 1-866-556-3545
Tel: (301) 933 7000
Fax: (301) 933 7211

www.metropolitanshuttle.com
info@metropolitanshuttle.com
www.facebook.com/metropolitanshuttle

2730 W University Blvd., Ste. 204
Silver Spring, MD 20902

4/ Amendment Summary



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
Amendment 01					
1420-EL Elevators					
9.000 CONVEYING					
9.020 Traction Elevators					
MRL Elevator - 3500lb Passenger - 7 Stop	01 Contract	2.00 each	378,000.00 /each	756,000	Thyssen Krupp, Amend 1
Alt 5: Provide SS #4 Entrance Frames & Doors	01 Contract	2.00 each	8,400.00 /each	16,800	Thyssen Krupp, Amend 1
Alt 10: Inc Height from 7'-4" to 8'-10" Cab Height	01 Contract	2.00 each	3,600.00 /each	7,200	Thyssen Krupp, Amend 1, (8'-4" Ceiling)
<i>Additional Cab Finish Allowance</i>	02 Allowance	2.00 each	/each		Excluded
<i>Temporary Elevator Usage Rental</i>	04 GR 2's	0.00 Isum	0.00 /Isum		0 Not Required
<i>Temporary Elevator Operator Costs</i>	04 GR 2's	0.00 Isum	/Isum		Not Required
<i>Cage Rider at Elevator</i>	04 GR 2's	0.00 Isum	/Isum		Not Required
Traction Elevators		340,696.00 sqft	2.29 /sqft	780,000	
CONVEYING		340,696.00 sqft	2.29 /sqft	780,000	
1420-EL Elevators		340,696.00 sqft	2.29 /sqft	780,000	
Amendment 01		340,696.00 sqft	2.29 /sqft	780,000	
Amendment 03					
3163-DL Ground Improvements					
2.000 FOUNDATIONS					
2.045 Foundation Support System					
Aggregate Piers	01 Contract	49,534.00 sqft	14.12 /sqft	699,600	Condon Johnson, Amend 3
Add Ground Improvement at Crane Path	02 Allowance	24.00 each	1,800.00 /each	43,200	Outrigger Locations
Tier 4 Crane Requirements	01 Contract	1.00 Isum	55,220.00 /Isum	55,220	Condon Johnson, Amend 3
(5) Additional CPT per Engeo Memo	01 Contract	1.00 Isum	7,800.00 /Isum	7,800	Condon Johnson, Amend 3
Foundation Support System		340,696.00 sqft	2.37 /sqft	805,820	
FOUNDATIONS		340,696.00 sqft	2.37 /sqft	805,820	
3163-DL Ground Improvements		340,696.00 sqft	2.37 /sqft	805,820	
Amendment 03		340,696.00 sqft	2.37 /sqft	805,820	
Amendment 05					
0171-SS Survey & Staking					
4.000 SUPERSTRUCTURE					
4.010 Layout and Survey					
Survey & Staking	01 Contract	340,496.00 sqft	0.17 /sqft	58,544	BKF Engineers, Amend 5
Bio Retention Basins - Surveying	01 Contract	340,496.00 sqft	0.01 /sqft	1,612	BKF Engineers, Amend 5
FG Curb - Surveying	01 Contract	340,496.00 sqft	0.01 /sqft	3,020	BKF Engineers, Amend 5
FG Hardscape - Surveying	01 Contract	340,496.00 sqft	0.01 /sqft	3,438	BKF Engineers, Amend 5
Layout and Survey		340,696.00 sqft	0.20 /sqft	66,614	
SUPERSTRUCTURE		340,696.00 sqft	0.20 /sqft	66,614	
0171-SS Survey & Staking		340,696.00 sqft	0.20 /sqft	66,614	
0320-RS Rebar					
2.000 FOUNDATIONS					
2.050 Foundations					
Foundation Reinforcing Steel	01 Contract	1.00 Isum	1,111,834.00 /Isum	1,111,834	Camblin Steel, Amend 5
Foundations		340,696.00 sqft	3.26 /sqft	1,111,834	
FOUNDATIONS		340,696.00 sqft	3.26 /sqft	1,111,834	
3.000 SUBSTRUCTURE					
3.100 Slab-On-Grade					
SOG Reinforcing Steel	01 Contract	1.00 Isum	61,496.00 /Isum	61,496	Camblin Steel, Amend 5
Slab-On-Grade		340,696.00 sqft	0.18 /sqft	61,496	
SUBSTRUCTURE		340,696.00 sqft	0.18 /sqft	61,496	
4.000 SUPERSTRUCTURE					

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTALTI AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
4.030 Post Tensioned Decks					
Suspended Slab Reinforcing w/ Beams	01 Contract	1.00 Isum	450,875.00 /Isum	450,875	Camblin Steel, Amend 5
Post Tensioned Reinforcing	01 Contract	1.00 Isum	494,357.00 /Isum	494,357	Camblin Steel, Amend 5
Post Tensioned Decks		340,696.00 sqft	2.77 /sqft	945,232	
4.050 Concrete Walls					
Shear Wall Reinforcing Steel	01 Contract	1.00 Isum	1,547,548.00 /Isum	1,547,548	Camblin Steel, Amend 5
Non Shear Wall Reinforcing Steel	01 Contract	1.00 Isum	13,203.00 /Isum	13,203	Camblin Steel, Amend 5
Concrete Walls		340,696.00 sqft	4.58 /sqft	1,560,751	
4.060 Concrete Columns					
Column Reinforcing	01 Contract	1.00 Isum	334,652.00 /Isum	334,652	Camblin Steel, Amend 5
<i>Stud Rails</i>	<i>01 Contract</i>	<i>0.00 each</i>	<i>0.00 /each</i>		<i>0 Not Req'd per Design Team</i>
Concrete Columns		340,696.00 sqft	0.98 /sqft	334,652	
4.900 Miscellaneous					
Alternate Bid 2: Rebar Hoisting	01 Contract	1.00 Isum	172,338.00 /Isum	172,338	Camblin Steel, Amend 5
Rebar Allowance per Specs	02 Allowance	1.00 Isum	10,000.00 /Isum	10,000	Camblin Steel, Amend 5
PT Allowance per Specs	02 Allowance	1.00 Isum	5,000.00 /Isum	5,000	Camblin Steel, Amend 5
Form Saver Allowance	02 Allowance	1.00 Isum	50,000.00 /Isum	50,000	Camblin Steel, Amend 5
Non Contact Splices for Shotcrete Allowance	02 Allowance	1.00 Isum	65,000.00 /Isum	65,000	Camblin Steel, Amend 5
Embed Coordination Allowance	02 Allowance	1.00 Isum	25,000.00 /Isum	25,000	Camblin Steel, Amend 5
Miscellaneous		340,696.00 sqft	0.96 /sqft	327,338	
SUPERSTRUCTURE		340,696.00 sqft	9.30 /sqft	3,167,973	
0320-RS Rebar		340,696.00 sqft	12.74 /sqft	4,341,303	
0512-SS Steel, Metals, Stairs, Decking					
4.000 SUPERSTRUCTURE					
4.100 Structural Steel					
Struct Steel, Decking, Misc Steel, Stairs & Rails	01 Contract	1.00 Isum	2,099,840.00 /Isum	2,099,840	Concord Iron Works, Amend 5
Shimming at Exterior Skin Support Steel	02 Allowance	1.00 Isum	20,000.00 /Isum	20,000	Concord Iron Works, Amend 5 Allow
Exterior Skin Support Steel Upgrade	02 Allowance	1.00 Isum	30,000.00 /Isum	30,000	Concord Iron Works, Amend 5 Allow
Structural Steel		340,696.00 sqft	6.31 /sqft	2,149,840	
SUPERSTRUCTURE		340,696.00 sqft	6.31 /sqft	2,149,840	
0512-SS Steel, Metals, Stairs, Decking		340,696.00 sqft	6.31 /sqft	2,149,840	
0742-MM Metal Mesh					
5.000 EXTERIOR SKIN					
5.130 Metal Panels					
Cambridge System	01 Contract	24,393.00 sqft	44.03 /sqft	1,074,000	Pacific Erectors, Amend 5
Metal Panels		340,696.00 sqft	3.15 /sqft	1,074,000	
EXTERIOR SKIN		340,696.00 sqft	3.15 /sqft	1,074,000	
0742-MM Metal Mesh		340,696.00 sqft	3.15 /sqft	1,074,000	
0742-MP Metal Panel					
5.000 EXTERIOR SKIN					
5.130 Metal Panels					
Metal Panels	01 Contract	9,224.00 sqft	71.00 /sqft	654,930	Alumawall, Amend 5
Drainage Mat per RFI Log 132 Response	01 Contract	9,224.00 sqft	3.23 /sqft	29,800	Alumawall, Amend 5
Aluminum Flashing Coordination Allowance	02 Allowance	9,224.00 sqft	2.71 /sqft	25,000	Alumawall, Amend 5
Metal Panels		340,696.00 sqft	2.08 /sqft	709,730	
EXTERIOR SKIN		340,696.00 sqft	2.08 /sqft	709,730	
0742-MP Metal Panel		340,696.00 sqft	2.08 /sqft	709,730	
0742-VC Vine Cabling					
5.000 EXTERIOR SKIN					
5.130 Metal Panels					

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
5.130 Metal Panels					
Stainless Cable System / Vine Cable	01 Contract	2,468.00 Inft	13.60 /Inft	33,570	Eggli Landscape, Amend 5
Metal Panels		340,696.00 sqft	0.10 /sqft	33,570	
EXTERIOR SKIN		340,696.00 sqft	0.10 /sqft	33,570	
0742-VC Vine Cabling		340,696.00 sqft	0.10 /sqft	33,570	
0760-FL Flashing					
4.000 SUPERSTRUCTURE					
4.200 Expansion Joints					
Expansion Joint at Ramp	01 Contract	1.00 Isum	17,946.00 /Isum	17,946	Omni Sheet Metal, Amend 5
Expansion Joints		340,696.00 sqft	0.05 /sqft	17,946	
SUPERSTRUCTURE		340,696.00 sqft	0.05 /sqft	17,946	
6.000 ROOFING					
6.110 Flashing and Sheet Metal					
Flashing & Sheetmetal	01 Contract	1.00 Isum	111,842.00 /Isum	111,842	Omni Sheet Metal, Amend 5
Aluminum Flashings carried by 0742-MP	01 Contract	(1.00) Isum	37,006.00 /Isum	(37,006)	Omni Sheet Metal, Amend 5
Flashing and Sheet Metal		340,696.00 sqft	0.22 /sqft	74,836	
ROOFING		340,696.00 sqft	0.22 /sqft	74,836	
0760-FL Flashing		340,696.00 sqft	0.27 /sqft	92,782	
0991-PT Painting					
5.000 EXTERIOR SKIN					
5.280 Exterior Painting					
Ext Painting (outside Face of Structure Only)	01 Contract	1.00 Isum	165,341.00 /Isum	165,341	Valdez Painting, Amend 5
Painting Allowance (Misc Paint & Touch Up)	02 Allowance	1.00 Isum	15,000.00 /Isum	15,000	Valdez Painting, Amend 5
Exterior Painting		340,696.00 sqft	0.53 /sqft	180,341	
EXTERIOR SKIN		340,696.00 sqft	0.53 /sqft	180,341	
7.000 INTERIOR CONSTRUCTION					
7.285 Floor Sealers					
Elastomeric Coating over Rooms	01 Contract	1,951.00 sqft	8.93 /sqft	17,412	Valdez Painting, Amend 5
Floor Sealers		340,696.00 sqft	0.05 /sqft	17,412	
7.300 Painting					
<i>Paint Stairs, Bike Area Steel</i>	<i>01 Contract</i>	<i>ivs</i>	<i>/ivs</i>		<i>Valdez Painting, Amend 5, Included</i>
<i>Paint Pipe Bollards & HM DFH</i>	<i>01 Contract</i>	<i>ivs</i>	<i>/ivs</i>		<i>Valdez Painting, Amend 5, Included</i>
<i>Paint Concrete Columns,</i>	<i>02 Allowance</i>	<i>sqft</i>	<i>/sqft</i>		<i>Excluded</i>
<i>Paint Underside of Slab & Soffits</i>	<i>02 Allowance</i>	<i>sqft</i>	<i>/sqft</i>		<i>Excluded</i>
Painting		340,696.00 sqft	/sqft		
INTERIOR CONSTRUCTION		340,696.00 sqft	0.05 /sqft	17,412	
0991-PT Painting		340,696.00 sqft	0.58 /sqft	197,753	
1115-PC Parking Control Equipment					
8.000 EQUIPMENT					
8.240 Parking & Traffic Equipment					
Vehicle Gate Arms	01 Contract	7.00 each	6,065.71 /each	42,460	Amano McGann, Amend 5
Electrical Coordination Allowance	02 Allowance	1.00 Isum	5,000.00 /Isum	5,000	Amano McGann, Amend 5
<i>Vehicle Management System</i>	<i>02 Allowance</i>	<i>Isum</i>	<i>/Isum</i>		<i>BP 1115 Alternate 1</i>
Parking & Traffic Equipment		340,696.00 sqft	0.14 /sqft	47,460	
EQUIPMENT		340,696.00 sqft	0.14 /sqft	47,460	
1115-PC Parking Control Equipment		340,696.00 sqft	0.14 /sqft	47,460	



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
1440-SI Signage					
1.000 SITEWORK					
1.230 Site Signage					
<i>Exterior Signage - S-DIR-20 (Wayfinding 01 Contract</i>		<i>each</i>	<i>/each</i>		<i>Ad Art Sign Co., Amend 5, Incl</i>
	Site Signage	340,696.00 sqft	/sqft		
	SITEWORK	340,696.00 sqft	/sqft		
7.000 INTERIOR CONSTRUCTION					
7.400 Interior Signage					
Garage Signage / Wayfinding Allowance	01 Contract	340,496.00 sqft	1.22 /sqft	415,800	Ad Art Sign Co., Amend 5
<i>Additional Signage Allowance</i>	02	<i>Isum</i>	<i>/Isum</i>		<i>Excluded</i>
	Allowance	340,696.00 sqft	1.22 /sqft	415,800	
	INTERIOR CONSTRUCTION	340,696.00 sqft	1.22 /sqft	415,800	
	1440-SI Signage	340,696.00 sqft	1.22 /sqft	415,800	
2100-FP Fire Protection					
10.000 FIRE PROTECTION					
10.010 Fire Protection					
Design, Engineering, and Precon Services	01 Contract	1.00 Isum	44,000.00 /Isum	44,000	Cosco FP, Amendment 5
Fire Protection Construction Bid	01 Contract	340,496.00 sqft	2.79 /sqft	951,400	Cosco FP, Amendment 5
Beam Coordination / No Fly Zone Allowance	02 Allowance	1.00 Isum	8,100.00 /Isum	8,100	Cosco FP, Amendment 5
CCIP Manual GL Credit	01 Contract	(1.00) Isum	3,000.00 /Isum	(3,000)	Cosco FP, Amendment 5
	Fire Protection	340,696.00 sqft	2.94 /sqft	1,000,500	
	FIRE PROTECTION	340,696.00 sqft	2.94 /sqft	1,000,500	
	2100-FP Fire Protection	340,696.00 sqft	2.94 /sqft	1,000,500	
2200-PL Plumbing					
11.000 PLUMBING & PROCESS PIPING					
11.900 Plumbing Systems					
Plumbing Construction Costs	01 Contract	340,496.00 sqft	1.66 /sqft	565,500	Broadway Mech, Amend 5
Alternate Bid No. 1 - Temp Const Water	04 GR 2's	1.00 Isum	25,500.00 /Isum	25,500	Broadway Mech, Amend 5
Beams & Footing Coordination Allowance	02 Allowance	1.00 Isum	6,840.00 /Isum	6,840	Broadway Mech, Amend 5
	Plumbing Systems	340,696.00 sqft	1.76 /sqft	597,840	
	PLUMBING & PROCESS PIPING	340,696.00 sqft	1.76 /sqft	597,840	
	2200-PL Plumbing	340,696.00 sqft	1.76 /sqft	597,840	
2300-HV HVAC					
12.000 H.V.A.C.					
12.020 HVAC System					
HVAC Construction Cost	01 Contract	340,496.00 sqft	0.35 /sqft	119,505	Air System, Amendment 5
	HVAC System	340,696.00 sqft	0.35 /sqft	119,505	
	H.V.A.C.	340,696.00 sqft	0.35 /sqft	119,505	
	2300-HV HVAC	340,696.00 sqft	0.35 /sqft	119,505	
3122-GD Earthwork, Grading, Site Demo, Paving					
1.000 SITEWORK					
1.080 Earthwork					
Earthwork, Site Demolition, Site Paving Bid	01 Contract	49,534.00 sqft	11.42 /sqft	565,700	OC Jones & Son, Amend 5
	Earthwork	340,696.00 sqft	1.66 /sqft	565,700	
	SITEWORK	340,696.00 sqft	1.66 /sqft	565,700	
2.000 FOUNDATIONS					
2.900 Foundation Miscellaneous					
Ground Improvement Spoil Offhaul Allow	02 Allowance	2,000.00 cuyd	90.00 /cuyd	180,000	OC Jones & Son, Amend 5
	Foundation Miscellaneous	340,696.00 sqft	0.53 /sqft	180,000	

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
FOUNDATIONS					
3122-GD Earthwork, Grading, Site Demo, Paving		340,696.00 sqft	0.53 /sqft	180,000	
3216-SC Site Concrete		340,696.00 sqft	2.19 /sqft	745,700	
1.000 SITEWORK					
1.255 Site Concrete					
Site Concrete	01 Contract	1.00 Isum	118,130.00 /Isum	118,130	Ghilotti, Amendment 5
Dowel Pedestrian Paving to Pkg Structure	01 Contract	1.00 Isum	3,000.00 /Isum	3,000	Ghilotti, Amendment 5
Site Concrete		340,696.00 sqft	0.36 /sqft	121,130	
SITEWORK		340,696.00 sqft	0.36 /sqft	121,130	
3216-SC Site Concrete		340,696.00 sqft	0.36 /sqft	121,130	
3290-LI Landscape & Irrigation					
1.000 SITEWORK					
1.200 Landscaping					
Landscaping & Irrigation	01 Contract	15,207.00 sqft	22.73 /sqft	345,720	Egglis Landscape, Amend 5
Landscaping		340,696.00 sqft	1.02 /sqft	345,720	
SITEWORK		340,696.00 sqft	1.02 /sqft	345,720	
7.000 INTERIOR CONSTRUCTION					
7.490 Bicycle Racks					
<i>Exterior Bike Racks</i>	<i>01 Contract</i>	<i>3.00 each</i>	<i>/each</i>		<i>Inhcluded with BP 3290:-Li</i>
Bicycle Racks		340,696.00 sqft	/sqft		
INTERIOR CONSTRUCTION		340,696.00 sqft	/sqft		
3290-LI Landscape & Irrigation		340,696.00 sqft	1.02 /sqft	345,720	
3300-SU Site Utilities					
1.000 SITEWORK					
1.130 Domestic & Fire Water					
Site Utilities	01 Contract	1.00 Isum	399,000.00 /Isum	399,000	R. Bothman, Amend 5
Site Utility Coordination / Offset Allowance	02 Allowance	1.00 Isum	20,000.00 /Isum	20,000	R. Bothman, Amend 5
Domestic & Fire Water		340,696.00 sqft	1.23 /sqft	419,000	
SITEWORK		340,696.00 sqft	1.23 /sqft	419,000	
3300-SU Site Utilities		340,696.00 sqft	1.23 /sqft	419,000	
Amendment 05		340,696.00 sqft	36.63 /sqft	12,478,247	
Amendment 06					
0750-RF Roofing & Waterproofing					
3.000 SUBSTRUCTURE					
3.150 Waterproofing					
Waterproofing & Roofing	01 Contract	1.00 Isum	19,788.50 /Isum	19,789	Enterprise Roofing, Amend 6
Allow: Roofing/Waterproofing Patching	02 Allowance	1.00 Isum	7,500.00 /Isum	7,500	Enterprise Roofing, Amend 6
RF - Workers Comp Deduct	03 WC Credit	(1.00) Isum	1,100.00 /Isum	(1,100)	Enterprise Roofing, Amend 6
Waterproofing		340,696.00 sqft	0.08 /sqft	26,189	
SUBSTRUCTURE		340,696.00 sqft	0.08 /sqft	26,189	
6.000 ROOFING					
6.080 Single Ply Roofing					
Single-Ply Roofing and Insulation at Elevator	01 Contract	1.00 Isum	19,788.50 /Isum	19,789	Enterprise Roofing, Amend 6
Single Ply Roofing		340,696.00 sqft	0.06 /sqft	19,789	
ROOFING		340,696.00 sqft	0.06 /sqft	19,789	
0750-RF Roofing & Waterproofing		340,696.00 sqft	0.14 /sqft	45,977	
0930-TL Tile					
7.000 INTERIOR CONSTRUCTION					
7.900 Miscellaneous					

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
7.900 Miscellaneous					
Tile at Elevator Flooring	01 Contract	1.00 Isum	6,985.00 /Isum	6,985	Cal Tile, Amend 6
Tile - Workers Comp Deduct	03 WC Credit	(1.00) Isum	52.00 /Isum	(52)	Cal Tile, Amend 6
Miscellaneous		340,696.00 sqft	0.02 /sqft	6,933	
INTERIOR CONSTRUCTION					
0930-TL Tile		340,696.00 sqft	0.02 /sqft	6,933	
2600-EL Electrical, Fire Alarm, Low Voltage & Security					
13.000 ELECTRICAL					
13.010 Electrical Systems					
Electrical	01 Contract	1.00 Isum	4,149,600.00 /Isum	4,149,600	Del Monte Elec, Amend 6
Pkg Control System Power & Infrastructure	01 Contract	1.00 Isum	47,500.00 /Isum	47,500	Del Monte Elec, Amend 6
Conduit for Future EV Charging - 60 stalls	01 Contract	1.00 Isum	24,400.00 /Isum	24,400	Del Monte Elec, Amend 6
Site Cameras - Infrastructure	01 Contract	1.00 Isum	9,200.00 /Isum	9,200	Del Monte Elec, Amend 6
Site Cameras - Furnish and Install	01 Contract	1.00 Isum	23,400.00 /Isum	23,400	Del Monte Elec, Amend 6
Mobile Coffee Cart - Conduit	01 Contract	1.00 Isum	1,460.00 /Isum	1,460	Del Monte Elec, Amend 6
Dual Service Option	01 Contract	1.00 Isum	97,700.00 /Isum	97,700	Del Monte Elec, Amend 6
PG&E Bollard Allowance	02 Allowance	1.00 Isum	13,300.00 /Isum	13,300	Del Monte Elec, Amend 6
CCIP Workers Comp Credit	03 WC Credit	(1.00) Isum	12,950.00 /Isum	(12,950)	Del Monte Elec, Amend 6
Electrical Systems		340,696.00 sqft	12.78 /sqft	4,353,610	
13.070 Temp Power & Lighting					
Temp Power Site Install - Allowance	04 GR 2's	1.00 Isum	300,000.00 /Isum	300,000	2600-EL
Temp Power & Lighting		340,696.00 sqft	0.88 /sqft	300,000	
ELECTRICAL		340,696.00 sqft	13.66 /sqft	4,653,610	
2600-EL Electrical, Fire Alarm, Low Voltage & Security		340,696.00 sqft	13.66 /sqft	4,653,610	
3231-EF Temp Fencing					
1.000 SITEWORK					
1.050 Site Preparation					
Site Fencing, BP 3231-EF	04 GR 2's	1.00 Isum	42,916.00 /Isum	42,916	Truebeck/Mor Cal Port, Amend 6
Site Preparation		340,696.00 sqft	0.13 /sqft	42,916	
SITEWORK		340,696.00 sqft	0.13 /sqft	42,916	
3231-EF Temp Fencing		340,696.00 sqft	0.13 /sqft	42,916	
3231-FG Fencing & Gates					
1.000 SITEWORK					
1.030 Subsurface Investigation					
Utility Locating, 3300-UL	04 GR 2's	1.00 Isum	5,220.00 /Isum	5,220	Cruz Bros, Amend 6
Subsurface Investigation		340,696.00 sqft	0.02 /sqft	5,220	
SITEWORK		340,696.00 sqft	0.02 /sqft	5,220	
3231-FG Fencing & Gates		340,696.00 sqft	0.02 /sqft	5,220	
3310-ST Striping					
7.000 INTERIOR CONSTRUCTION					
7.310 Parking Lot Striping					
Stall Striping	01 Contract	1.00 Isum	115,000.00 /Isum	115,000	OC Jones & Son, Amend 6
Remove Alt Striping at New Lot from Base Bid	01 Contract	(1.00) Isum	17,800.00 /Isum	(17,800)	OC Jones & Son, Amend 6
Parking Directional Devices & Painting Allow	02 Allowance	1.00 Isum	8,000.00 /Isum	8,000	OC Jones & Son, Amend 6
Parking Lot Striping		340,696.00 sqft	0.31 /sqft	105,200	
INTERIOR CONSTRUCTION		340,696.00 sqft	0.31 /sqft	105,200	
3310-ST Striping		340,696.00 sqft	0.31 /sqft	105,200	
Amendment 06		340,696.00 sqft	14.26 /sqft	4,859,856	

Amendment 07

0154-MH Material Hoist
9.000 CONVEYING

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
9.080 Hoists and Cranes					
Manlift Operator	04 GR 2's	8.00 mos	24,938.00 /mos	199,504	0154-MH, Cabrillo, Amend 7
Manlift - Erection / Dismantle	04 GR 2's	1.00 lsum	33,400.00 /lsum	33,400	0154-MH, Cabrillo, Amend 7
Manlift Monthly Rental Items	04 GR 2's	8.00 mons	8,860.00 /mons	70,880	0154-MH, Cabrillo, Amend 7
Manlift - Other Labor Items	04 GR 2's	1.00 lsum	7,566.00 /lsum	7,566	0154-MH, Cabrillo, Amend 7
Manlift Tax & Freight	04 GR 2's	1.00 lsum	8,826.00 /lsum	8,826	0154-MH, Cabrillo, Amend 7
Manlift - Alt 3: Steel Dock & Ramp Access	04 GR 2's	1.00 lsum	2,000.00 /lsum	2,000	0154-MH, Cabrillo, Amend 7
Hoists and Cranes		340,696.00 sqft	0.95 /sqft	322,176	
CONVEYING		340,696.00 sqft	0.95 /sqft	322,176	
0154-MH Material Hoist		340,696.00 sqft	0.95 /sqft	322,176	
0154-SC Scaffold Sidewalk Protection					
4.000 SUPERSTRUCTURE					
4.160 Rough Carpentry					
Scaffolding Sidewalk Protection, 0154-SC	04 GR 2's	1.00 lsum	55,488.28 /lsum	55,488	Platinum Specialty, Amend 7
<i>Scaffolding</i>	<i>04 GR 2's</i>	<i>lsum</i>	<i>/lsum</i>		<i>Covered in Individual Sub Scopes, where needed</i>
Rough Carpentry		340,696.00 sqft	0.16 /sqft	55,488	
SUPERSTRUCTURE		340,696.00 sqft	0.16 /sqft	55,488	
0154-SC Scaffold Sidewalk Protection		340,696.00 sqft	0.16 /sqft	55,488	
0331-SC Structural Concrete					
2.000 FOUNDATIONS					
2.050 Foundations					
Foundation Concrete	01 Contract	1.00 lsum	2,586,937.00 /lsum	2,586,937	Largo Concrete, Amend 7
Credit if soil is assumed clean and not Class II	02 Allowance	(1.00) lsum	59,205.00 /lsum	(59,205)	Largo Concrete, Amend 7 Allow
Foundations		340,696.00 sqft	7.42 /sqft	2,527,732	
FOUNDATIONS		340,696.00 sqft	7.42 /sqft	2,527,732	
3.000 SUBSTRUCTURE					
3.100 Slab-On-Grade					
Slab on Grade	01 Contract	1.00 lsum	650,000.00 /lsum	650,000	Largo Concrete, Amend 7
Slab-On-Grade		340,696.00 sqft	1.91 /sqft	650,000	
SUBSTRUCTURE		340,696.00 sqft	1.91 /sqft	650,000	
4.000 SUPERSTRUCTURE					
4.030 Post Tensioned Decks					
Deck Concrete Assemblies	01 Contract	1.00 lsum	6,750,000.00 /lsum	6,750,000	Largo Concrete, Amend 7
Concrete Slab Crack Repair Allow per Specs	02 Allowance	1.00 lsum	50,000.00 /lsum	50,000	Largo Concrete, Amend 7
Post Tensioned Decks		340,696.00 sqft	19.96 /sqft	6,800,000	
4.050 Concrete Walls					
Concrete Walls	01 Contract	1.00 lsum	1,800,000.00 /lsum	1,800,000	Largo Concrete, Amend 7
Eliminate Form Tape at Plywood Joints	01 Contract	1.00 lsum	/lsum	(119,609)	Largo Concrete, Amend 7 @ CIP Walls
Concrete Walls		340,696.00 sqft	4.93 /sqft	1,680,391	
4.060 Concrete Columns					
Concrete Columns	01 Contract	1.00 lsum	850,000.00 /lsum	850,000	Largo Concrete, Amend 7
Concrete Columns		340,696.00 sqft	2.50 /sqft	850,000	
4.065 Structural Concrete Beams					
Concrete Beams	01 Contract	1.00 lsum	1,800,000.00 /lsum	1,800,000	Largo Concrete, Amend 7
Structural Concrete Beams		340,696.00 sqft	5.28 /sqft	1,800,000	
4.140 Stairs					
Installation of Stair Nosing	01 Contract	1.00 lsum	48,722.00 /lsum	48,722	Largo Concrete, Amend 7
Stairs		340,696.00 sqft	0.14 /sqft	48,722	

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
4.250 Concrete Equip Pads and Curbs					
Rails, Pads, and Curbs	01 Contract	1.00 lsum	1,300,000.00 /lsum	1,300,000	Largo Concrete, Amend 7
Manlift Concrete Pad	02 Allowance	1.00 lsum	15,000.00 /lsum	15,000	Largo Concrete, Amend 7
<i>Struct Concr: Wrks Comp Credit (CCIP) 03 WC Credit</i>		<i>lsum</i>	<i>/lsum</i>		<i>Largo Concrete, Amend 7</i>
Concrete Equip Pads and Curbs		340,696.00 sqft	3.86 /sqft	1,315,000	
SUPERSTRUCTURE		340,696.00 sqft	36.67 /sqft	12,494,113	
9.000 CONVEYING					
9.085 Mobile Crane					
<i>Mobile Crane Rental</i>	<i>04 GR 2's</i>	<i>0.00 each</i>	<i>0.00 /each</i>		<i>0 Included with BP 0331-SC</i>
<i>Mobile Crane Operator</i>	<i>04 GR 2's</i>	<i>0.00 each</i>	<i>0.00 /each</i>		<i>0 Included with BP 0331-SC</i>
Mobile Crane		340,696.00 sqft	/sqft		
CONVEYING		340,696.00 sqft	/sqft		
0331-SC Structural Concrete		340,696.00 sqft	46.00 /sqft	15,671,845	
0920-DR Drywall					
5.000 EXTERIOR SKIN					
5.070 Metal Framing					
<i>Mtl Frmng behind Metal Panels & Soffits</i>	<i>01 Contract</i>	<i>vsf</i>	<i>/vsf</i>		<i>Level 5, Amend 7, Included in 7.190</i>
Metal Framing		340,696.00 sqft	/sqft		
5.260 Lath & Plaster					
<i>Lath and Plaster</i>	<i>01 Contract</i>	<i>ls</i>	<i>/ls</i>		<i>Level 5, Amend 7, Included in 7.190</i>
Exterior Caulking at Plastered Surface	01 Contract	1.00 ls	3,927.00 /ls	3,927	Level 5, Amend 7
Lath & Plaster		340,696.00 sqft	0.01 /sqft	3,927	
EXTERIOR SKIN		340,696.00 sqft	0.01 /sqft	3,927	
7.000 INTERIOR CONSTRUCTION					
7.190 Drywall Systems					
Metal Framing & Drywall	01 Contract	1.00 lsum	624,314.00 /lsum	624,314	Level 5, Amend 7
Deferred Submittal Cost - Drywall	01 Contract	1.00 lsum	7,500.00 /lsum	7,500	Level 5, Amend 7
Alt. 4: Drywall Scaffolding	01 Contract	1.00 lsum	46,800.00 /lsum	46,800	Level 5, Amend 7
Backing Allowance	02 Allowance	1.00 lsum	2,500.00 /lsum	2,500	Level 5, Amend 7
<i>Drywall - CCIP Worker's Comp Credit</i>		<i>03 WC</i>	<i>lsum</i>	<i>/lsum</i>	<i>Level 5, Amend 7</i>
<i>Credit</i>					
Drywall Systems		340,696.00 sqft	2.00 /sqft	681,114	
INTERIOR CONSTRUCTION		340,696.00 sqft	2.00 /sqft	681,114	
0920-DR Drywall		340,696.00 sqft	2.01 /sqft	685,041	
Amendment 07		340,696.00 sqft	49.12 /sqft	16,734,550	
Amendment 09					
0810-DS Doors, Frames & Hardware					
7.000 INTERIOR CONSTRUCTION					
7.110 Door Assemblies					
DFH Assemblies	01 Contract	12.00 each	2,583.92 /each	31,007	Truebeck SPW, Amend 9
Revised Hardware Assemblies	01 Contract	12.00 each	561.58 /each	6,739	Truebeck SPW, Amend 9
Coordination, Submittal Log, Sorting	01 Contract	12.00 each	66.67 /each	800	Truebeck SPW, Amend 9
Escalation	01 Contract	12.00 each	87.99 /each	1,056	Truebeck SPW, Amend 9
Knox Box Allowance	02 Allowance	1.00 each	1,500.00 /each	1,500	Truebeck, Amend 9
<i>Allowance for Changes</i>	<i>02</i>	<i>12.00 each</i>	<i>/each</i>		<i>Truebeck, Amend 9</i>
<i>Allowance</i>					

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
Door Assemblies		340,696.00 sqft	0.12 /sqft	41,102	
INTERIOR CONSTRUCTION		340,696.00 sqft	0.12 /sqft	41,102	
0810-DS Doors, Frames & Hardware		340,696.00 sqft	0.12 /sqft	41,102	
1020-MS Misc Specialties & Bike Racks					
7.000 INTERIOR CONSTRUCTION					
7.420 Fire Prot. Specialties					
Fire Protection Specialties	01 Contract	28.00 each	425.09 /each	11,903	Truebeck SPW, Amend 9
AED Cabinets	01 Contract	4.00 each	2,996.85 /each	11,987	Truebeck SPW, Amend 9
Coordination, Submittal Log, Sorting	01 Contract	32.00 each	15.63 /each	500	Truebeck SPW, Amend 9
Fire Prot. Specialties		340,696.00 sqft	0.07 /sqft	24,390	
7.490 Bicycle Racks					
Int Bike Racks (Double Decker Single Sided)	01 Contract	18.00 each	715.88 /each	12,886	Truebeck SPW, Amend 9
Bike Fixation	01 Contract	1.00 each	1,644.10 /each	1,644	Truebeck SPW, Amend 9
Coordination, Submittal Log, Sorting	01 Contract	19.00 each	15.79 /each	300	Truebeck SPW, Amend 9
Bicycle Racks		340,696.00 sqft	0.04 /sqft	14,830	
INTERIOR CONSTRUCTION		340,696.00 sqft	0.12 /sqft	39,220	
1020-MS Misc Specialties & Bike Racks		340,696.00 sqft	0.12 /sqft	39,220	
2600-EL Electrical, Fire Alarm, Low Voltage & Security					
13.000 ELECTRICAL					
13.070 Temp Power & Lighting					
Temp Power Site Install - Premium Cost	04 GR 2's	1.00 lsum	79,300.00 /lsum	79,300	Intermountain Electric
Temp Power & Lighting		340,696.00 sqft	0.23 /sqft	79,300	
ELECTRICAL		340,696.00 sqft	0.23 /sqft	79,300	
2600-EL Electrical, Fire Alarm, Low Voltage & Security		340,696.00 sqft	0.23 /sqft	79,300	
Amendment 09		340,696.00 sqft	0.47 /sqft	159,622	
Amendment 14					
3163-DL Ground Improvements					
2.000 FOUNDATIONS					
2.045 Foundation Support System					
Aggregate Piers Design dated 9/24/19	Direct Cost	1.00 lsum	79,371.29 /lsum	79,371	
Saturday Premium - Asphalt Demo on 8/24/19	Direct Cost	1.00 lsum	8,538.44 /lsum	8,538	
CPT Testing on Saturday 3/30/19	Direct Cost	1.00 lsum	2,157.59 /lsum	2,158	
C6.0 Updates dated 10/3/19	Direct Cost	1.00 lsum	71,692.64 /lsum	71,693	
Foundation Support System			/sqft	161,760	
FOUNDATIONS			/sqft	161,760	
3163-DL Ground Improvements			/sqft	161,760	
Amendment 14				161,760	
Future Amendment					
0150-TC Cleaning / Debris					
7.000 INTERIOR CONSTRUCTION					
7.500 Interim Cleaning					
Interim Cleaning: 2 Laborers 20hrs/wk	93 Future GR 2's	16.00 mos	13,856.00 /mos	221,696	
Final Clean (4 Laborers)	93 Future GR 2's	1.00 mos	38,400.00 /mos	38,400	
Trash Removal and Hauling, 2x/wK Service	93 Future GR 2's	16.00 mos	10,392.00 /mos	166,272	
Int Cleaning Materials: Brooms/Garbage Bags	93 Future GR 2's	16.00 mos	300.00 /mos	4,800	
Final Clean Materials	93 Future GR 2's	1.00 mos	1,500.00 /mos	1,500	
Dump Permits / Fees	93 Future GR 2's	16.00 mos	/mos		<i>Included in Line 53</i>
Equipment - Gradall/Blower	93 Future GR 2's	16.00 mos	4,000.00 /mos	64,000	
Equipment - Pressure Washer/Lift	93 Future GR 2's	1.00 mos	3,300.00 /mos	3,300	
Interim Cleaning			/sqft	499,968	

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
INTERIOR CONSTRUCTION			/sqft	499,968	
13.000 ELECTRICAL					
13.070 Temp Power & Lighting					
PG&E Substructure for Temp Power	93 Future GR 2's	1.00 Isum	88,230.00 /Isum	88,230	Del Monte
PG&E Substructure for Permanent Power	93 Future GR 2's	1.00 Isum	131,150.00 /Isum	131,150	Del Monte
Temp Power & Lighting			/sqft	219,380	
ELECTRICAL			/sqft	219,380	
0150-TC Cleaning / Debris			/sqft	719,348	
0154-MH Material Hoist					
9.000 CONVEYING					
9.080 Hoists and Cranes					
Crane for Manlift Jump to Level 5 & 7	93 Future GR 2's	1.00 Isum	10,000.00 /Isum	10,000	
Hoists and Cranes			/sqft	10,000	
CONVEYING			/sqft	10,000	
0154-MH Material Hoist			/sqft	10,000	
0154-TC Tower Crane					
9.000 CONVEYING					
9.085 Mobile Crane					
<i>Tower Crane Rental</i>	<i>93 Future GR 2's</i>	<i>0.00 each</i>	<i>0.00 /each</i>		<i>0 Not Required</i>
<i>Crane Raising / Jumping Costs</i>	<i>93 Future GR 2's</i>	<i>0.00 each</i>	<i>0.00 /each</i>		<i>0 Not Included / Not Applicable</i>
0611-RC Rough Carpentry					
6.000 ROOFING					
6.015 Rough Carpentry					
Rough Carpentry Allowance	91 Future Allowance	1.00 Isum	7,500.00 /Isum	7,500	
Rough Carpentry			/sqft	7,500	
ROOFING			/sqft	7,500	
7.000 INTERIOR CONSTRUCTION					
7.070 Rough Carpentry					
Plywood Backboards Allowance	91 Future Allowance	400.00 sqft	8.75 /sqft	3,500	
Temporary Barricades	93 Future GR 2's	13.00 mons	500.00 /mons	6,500	
Rough Carpentry			/sqft	10,000	
INTERIOR CONSTRUCTION			/sqft	10,000	
0611-RC Rough Carpentry			/sqft	17,500	
0650-OP Opening Protection					
5.000 EXTERIOR SKIN					
5.900 Miscellaneous					
Opening Protection (2 Carpenters, 3hrs/wk)	93 Future GR 2's	10.00 mos	2,597.99 /mos	25,980	
Opening Protection (Material)	93 Future GR 2's	372.00 Inft	2.25 /Inft	837	
Safety Railing (2 Carpenters, 5hrs/wk)	93 Future GR 2's	10.00 mos	4,329.98 /mos	43,300	
Safety Railing & Nets (Material)	93 Future GR 2's	720.00 Inft	2.25 /Inft	1,620	
Equipment - Harnesses / Fall Protection	93 Future GR 2's	4.00 each	200.00 /each	800	
Miscellaneous			/sqft	72,537	
EXTERIOR SKIN			/sqft	72,537	
0650-OP Opening Protection			/sqft	72,537	
0689-MS Miscellaneous Sitework					
1.000 SITEWORK					
1.020 Access Roads					

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
1.020 Access Roads					
<i>Temporary Access Roads for Construct</i>					
	93 Future GR 2's	0.00 Isum	/Isum		Not Needed for Construction
Resurfacing of Crane Pad / Building Perimeter	93 Future GR 2's	48,316.00 sqft	1.25 /sqft	60,395	
Access Roads			/sqft	60,395	
1.050 Site Preparation					
<i>Contaminated Soil / Groundwater</i>					
	90 Future Contract	Isum	/Isum		Excluded
Dust Control: Laborer (20hrs/Wk)	93 Future GR 2's	8.00 mos	6,928.00 /mos	55,424	
Equipment: Water Buffalo + 200'	93 Future GR 2's	8.00 mos	950.00 /mos	7,600	
Noise Mitigation Barrier Allowance	91 Future Allowance	1.00 Isum	175,000.00 /Isum	175,000	
Site Preparation			/sqft	238,024	
1.060 Dewatering					
Wheel Wash Equipment	93 Future GR 2's	8.00 mons	1,500.00 /mons	12,000	
Water Meter Rental	93 Future GR 2's	8.00 mons	80.00 /mons	640	
Site Winterization / Localized Dewatering: 1 Laborer	93 Future GR 2's	10.00 mons	5,200.00 /mons	52,000	
Site Winterization / Localized Dewatering: Material	93 Future GR 2's	10.00 mons	300.00 /mons	3,000	
Site Winterization / Localized Dewatering: Equipment	93 Future GR 2's	10.00 mons	1,200.00 /mons	12,000	(Pumps, Hoses, Generators, Light Stands)
Dewatering			/sqft	79,640	
1.090 Erosion Control / SWPP					
SWPP Install, Maintenance: 1 Laborer, 20 hrs/wk	93 Future GR 2's	16.00 mos	6,928.00 /mos	110,848	
SWPP Material: Waddles / Stakes / Drain Covers	93 Future GR 2's	91,918.00 sqft	0.10 /sqft	9,192	
SWPP Inspection: QSP @ 2 Hrs/wk	93 Future GR 2's	16.00 mos	1,082.50 /mos	17,320	
SWPP Inspection: 1 Laborer, 15 hrs/wk	93 Future GR 2's	16.00 mos	5,196.00 /mos	83,136	
Erosion Control / SWPP			/sqft	220,496	
1.900 Miscellaneous Sitework					
<i>Site Security</i>					
	93 Future GR 2's	1.00 Isum	/Isum		Excluded - By Owner
Flagman and Traffic Control: 1 Laborer	93 Future GR 2's	13.00 mons	6,928.00 /mons	90,064	
Flagman and Traffic Control: Material	93 Future GR 2's	13.00 mons	500.00 /mons	6,500	
Miscellaneous Sitework			/sqft	96,564	
SITWORK			/sqft	695,119	
0689-MS Miscellaneous Sitework			/sqft	695,119	
0699-MS Miscellaneous Superstructure					
1.000 SITEWORK					
1.030 Subsurface Investigation					
Potholing Labor - 2 Laborers 3 weeks	93 Future GR 2's	1.00 Isum	19,200.00 /Isum	19,200	3300-UL, Cruz Bros, Amend 6
Equipment (Rotor Hammer, Shovels)	93 Future GR 2's	1.00 Isum	1,050.00 /Isum	1,050	3300-UL, Cruz Bros, Amend 6
Subsurface Investigation			/sqft	20,250	
SITWORK			/sqft	20,250	
4.000 SUPERSTRUCTURE					
4.140 Stairs					
Temporary Stairs (2)	93 Future GR 2's	10.00 mons	7,500.00 /mons	75,000	
Stairs			/sqft	75,000	
4.900 Miscellaneous					
<i>Trash Chute / Hopper</i>					
	93 Future GR 2's	Is	/Is		Not Needed for Construction
Vehicles - Directed Duration	93 Future GR 2's	12.00 mos	7,067.17 /mos	84,806	
Vehicles - Extended Duration	93 Future GR 2's	6.00 mos	6,788.86 /mos	40,733	
Vehicles Fuel Repairs Maint - Directed Duration	93 Future GR 2's	12.00 mos	1,957.08 /mos	23,485	
Vehicles Fuel Repairs Maint - Extended Duration	93 Future GR 2's	6.00 mos	1,688.83 /mos	10,133	



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
4.900 Miscellaneous					
Layout & Survey Checks: Labor: 1 Carpenter 15hrs/Wk	93 Future GR 2's	16.00 mos	6,495.00 /mos	103,920	
Layout & Survey Checks Mtl (Flags, Paint, Nails)	93 Future GR 2's	16.00 mos	300.00 /mos	4,800	
Layout and Survey Checks Equip (Total Station)	93 Future GR 2's	16.00 mos	4,000.00 /mos	64,000	
Layout and Survey Checks - Other	93 Future GR 2's	16.00 mos	900.00 /mos	14,400	
<i>Vehicles Fuel Repairs Maint - Comp / Pl</i>	<i>93 Future GR 2's</i>	<i>mos</i>	<i>/mos</i>		
<i>Forklift Rental</i>	<i>93 Future GR 2's</i>	<i>0.00 mons</i>	<i>0.00 /mons</i>		<i>0 Carried by subcontractors</i>
<i>Forklift Operator 1 Laborer 10hrs/Wk</i>	<i>93 Future GR 2's</i>	<i>0.00 mons</i>	<i>0.00 /mons</i>		<i>0 Carried by subcontractors</i>
Safety Inspections: 1 Laborer 10 Hrs/Wk	93 Future GR 2's	16.00 mons	4,113.50 /mons	65,816	
Miscellaneous			/sqft	412,093	
SUPERSTRUCTURE			/sqft	487,093	
0699-MS Miscellaneous Superstructure			/sqft	507,343	
2100-FP Fire Protection					
10.000 FIRE PROTECTION					
10.010 Fire Protection					
Temp Dry Stand Pipe - Requested by FD	91 Future Allowance	1.00 lsum	10,400.00 /lsum	10,400	
Fire Protection			/sqft	10,400	
FIRE PROTECTION			/sqft	10,400	
2100-FP Fire Protection			/sqft	10,400	
2200-PL Plumbing					
11.000 PLUMBING & PROCESS PIPING					
11.900 Plumbing Systems					
Monthly Water Usage	93 Future GR 2's	16.00 mos	300.00 /mos	4,800	
Plumbing Systems			/sqft	4,800	
PLUMBING & PROCESS PIPING			/sqft	4,800	
2200-PL Plumbing			/sqft	4,800	
2600-EL Electrical, Fire Alarm, Low Voltage & Security					
13.000 ELECTRICAL					
13.070 Temp Power & Lighting					
Temp Power/ Lighting Usage	93 Future GR 2's	16.00 mos	3,200.00 /mos	51,200	
Temp Power & Lighting			/sqft	51,200	
ELECTRICAL			/sqft	51,200	
2600-EL Electrical, Fire Alarm, Low Voltage & Security			/sqft	51,200	
3122-GD Earthwork, Grading, Site Demo, Paving					
2.000 FOUNDATIONS					
2.900 Foundation Miscellaneous					
Additional Spoil Offhaul Allowance	91 Future Allowance	500.00 cuyd	90.00 /cuyd	45,000	
Foundation Winterization / Mud Slab: 4 Laborers	93 Future GR 2's	2.00 mons	55,424.00 /mons	110,848	
Foundation Winterization / Mud Slab: 1 Carpenter	93 Future GR 2's	1.00 mons	16,000.00 /mons	16,000	
Foundation Winterization / Mud Slab: Over Excavator	93 Future GR 2's	220.00 cuyd	60.00 /cuyd	13,200	
Foundation Winterization / Mud Slab: Concrete Materi	93 Future GR 2's	220.00 cuyd	130.00 /cuyd	28,600	
Foundation Winterization / Mud Slab: Concrete Pump	93 Future GR 2's	3.00 each	5,000.00 /each	15,000	3 Mobilizations
Foundation Miscellaneous			/sqft	228,648	
FOUNDATIONS			/sqft	228,648	
3122-GD Earthwork, Grading, Site Demo, Paving			/sqft	228,648	
3216-SC Site Concrete					
1.000 SITEWORK					



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
1.255 Site Concrete					
Existing Curb Repair (Haul Route Mods) Allowance	91 Future Allowance	1.00	9,000.00 /sum	9,000	
Site Concrete			/sqft	9,000	
SITEWORK			/sqft	9,000	
3216-SC Site Concrete			/sqft	9,000	
Offsite Parking Bussing Program					
4.000 SUPERSTRUCTURE					
4.900 Miscellaneous					
Offsite Parking - Sub Alternate for Bussing	92 Bussing	1.00	62,356.00 /sum	62,356	
Offsite Parking - Shuttle Costs	92 Bussing	1.00	256,054.00 /sum	256,054	
Offsite Parking - Facility Costs	92 Bussing	1.00	35,475.00 /sum	35,475	
Miscellaneous			/sqft	353,885	
SUPERSTRUCTURE			/sqft	353,885	
Offsite Parking Bussing Program			/sqft	353,885	
Future Amendment				2,679,780	
New Allowances					
2600-EL Electrical, Fire Alarm, Low Voltage & Security					
13.000 ELECTRICAL					
13.010 Electrical Systems					
Purchase Base Scope EV Chargers	02 Allowance	1.00	300,000.00 /sum	300,000	
Furnish/Rough-in/Install Additional Chargers	02 Allowance	1.00	850,000.00 /sum	850,000	
PG&E Service Contract	02 Allowance	1.00	54,866.00 /sum	54,866	
Electrical Revision - Additional Rough-in and Panels	02 Allowance	1.00	162,225.00 /sum	162,225	
Off-site Infrastructure for PG&E Temp Power Service	02 Allowance	1.00	111,831.00 /sum	111,831	
Site Signage Electrical	02 Allowance	1.00	29,600.00 /sum	29,600	
Data Connection Line to R.O.C per CB004.1	02 Allowance	1.00	75,000.00 /sum	75,000	
Electrical Systems			/sqft	1,583,522	
ELECTRICAL			/sqft	1,583,522	
2600-EL Electrical, Fire Alarm, Low Voltage & Security			/sqft	1,583,522	
3122-GD Earthwork, Grading, Site Demo, Paving					
1.000 SITEWORK					
1.080 Earthwork					
Lime Treat Bldg Pad (5% Lime 18" Deep)	02 Allowance	1.00	96,222.00 /sum	96,222	
OC Jones Impact to Re-Grade Lime Treated Pad	02 Allowance	1.00	30,000.00 /sum	30,000	
Off-haul contaminated soil from initial grading	02 Allowance	1.00	81,113.00 /sum	81,113	
Additional SD Line Removal	02 Allowance	1.00	10,000.00 /sum	10,000	
Remobilization for OC Jones on 10/31/19	02 Allowance	1.00	13,518.00 /sum	13,518	
Contaminated Soil Disposal for FDTNS	02 Allowance	1.00	250,000.00 /sum	250,000	
Rework Existing Sewer Line during Re-location	02 Allowance	1.00	10,000.00 /sum	10,000	
OC Jones support to install Lime Treated Pad	02 Allowance	1.00	30,000.00 /sum	30,000	
Earthwork			/sqft	520,853	
SITEWORK			/sqft	520,853	
3122-GD Earthwork, Grading, Site Demo, Paving			/sqft	520,853	
New Allowances				2,104,375	
Worker's Comp					
0750-RF Roofing & Waterproofing					
3.000 SUBSTRUCTURE					
3.150 Waterproofing					
RF - Workers Comp - Add back	03 WC Credit	1.00	1,100.00 /sum	1,100	Per PDU Request
Waterproofing		340,696.00 sqft	0.00 /sqft	1,100	
SUBSTRUCTURE		340,696.00 sqft	0.00 /sqft	1,100	



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Spreadsheet Level	Element	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
0750-RF Roofing & Waterproofing		340,696.00 sqft	0.00 /sqft	1,100	
0930-TL Tile					
7.000 INTERIOR CONSTRUCTION					
7.900 Miscellaneous					
Tile - Workers Comp - Add Back	03 WC Credit	1.00 lsum	52.00 /lsum	52	Per PDU Request
Miscellaneous		340,696.00 sqft	/sqft	52	
INTERIOR CONSTRUCTION					
0930-TL Tile		340,696.00 sqft	/sqft	52	
2600-EL Electrical, Fire Alarm, Low Voltage & Security					
13.000 ELECTRICAL					
13.010 Electrical Systems					
CCIP Workers Comp - Add back	03 WC Credit	1.00 lsum	12,950.00 /lsum	12,950	Per PDU Request
Electrical Systems		340,696.00 sqft	0.04 /sqft	12,950	
ELECTRICAL		340,696.00 sqft	0.04 /sqft	12,950	
2600-EL Electrical, Fire Alarm, Low Voltage & Security		340,696.00 sqft	0.04 /sqft	12,950	
Worker's Comp		340,696.00 sqft	0.04 /sqft	14,102	



County of San Mateo Parking Structure 2 Amendment Summary

CONFIDENTIAL

LOCATION: Redwood City, CA,
OWNER: County of San Mateo
ARCHITECT: Watry

TRUEBECK JOB NO.: 419006.000
TOTAL GROSS AREA: 340,696 SF
TOTAL AREA: N/A
TOTAL SITE AREA: 91,918 SF

Estimate Totals

Description	Amount	Totals	Rate	Cost per Unit	
Subtotal	40,778,112	40,778,112		119.69	/SF
Design Contingency - Excluded					
Allowance for Escalation due to Delayed Start	600,000			1.76	/SF
Total		41,378,112		121.45	/SF

Parking Structure 2
Estimate of Labor Impact to Subcontractors due to Project Delay

Subcontractor/Scope	Bid Hours	Hours Moved to 2020	Anticipated Increase Per Hour	Budget Estimate For Escalation
Elevators:	400	400	\$7.50	\$3,000
Reinforcing Steel	13404	7000	\$7.50	\$52,500
Earthwork/Grading	2050	1025	\$7.50	\$7,688
Site Utilities	1000	500	\$7.50	\$3,750
Structural/Misc. Steel	9040	9040	\$7.50	\$67,800
Exterior Skin: Metal Mesh	1800	1800	\$7.50	\$13,500
Metal Panels	1200	1200	\$7.50	\$9,000
Vine Cabling	150	150	\$7.50	\$1,125
Flashing/Sheet Metal	200	200	\$7.50	\$1,500
Painting	1069	1069	\$7.50	\$8,018
Parking Control	70	70	\$7.50	\$525
Signage	2250	2250	\$7.50	\$16,875
Fire Protection	3176	3176	\$7.50	\$23,820
Plumbing	5400	4000	\$7.50	\$30,000
HVAC	500	500	\$7.50	\$3,750
Site Concrete	650	650	\$7.50	\$4,875
Landscape/Irrigation	795	795	\$7.50	\$5,963
Roofing	416	416	\$7.50	\$3,120
Structural Concrete	99,293	40,000	\$7.50	\$300,000
Doors/Hardware	114	114	\$7.50	\$855
Drywall	2843	2843	\$7.50	\$21,323
Ceramic Tile	16	16	\$7.50	\$120
Misc. Specialties	92	92	\$7.50	\$690
ManHoist Operator	1800	1800	\$7.50	\$13,500

Total

\$593,295

5/ GR-1/GR-2 Estimate Breakdown

TRUEBECK
CONSTRUCTION

**COUNTY OF SAN MATEO
PARKING STRUCTURE 2
UPDATED GENERAL REQUIREMENTS 1 BID FORM**

Note: Addendum #04 now states that if it is not specify listed under the GR1 form as duplicated below it is to be carried as part of GR2 which is not part of this proposal.

ORIGINAL PROPOSAL						
Parking Structure	One Time Cost	Unit	Quantity	Unit Cost	Total	
1	Office Trailer (Including Inspectors and Owners)	16,000	1,200	14	32,800	32,800
2	Storage Trailer and Tool Shed		500	14	7,000	7,000
3	Office Furniture and Equipment	6,500	1,200	14	23,300	23,300
4	Reproduction/Copy Machine		1,400	14	19,600	19,600
5	Postage		200	14	2,800	2,800
6	Photo	170	100	14	1,570	1,570
7	Temp Toilets		1,900	14	26,600	26,600
8	Project Signs		500	14	7,000	7,000
9	Telephone Installation	2,000		14	2,000	2,000
10	Telephone monthly charges		200	14	2,800	2,800
11	Electric Power Installation - Trailer only	2,500		14	2,500	2,500
12	Electric Power Monthly Charges - Trailer only		500	14	7,000	7,000
13	Water Service Installation - Trailer only	2,500		14	2,500	2,500
14	Water Service Monthly Charges - Trailer only		100	14	1,400	1,400
15	Project Management Software		40,000,000	0.0005	20,000	20,000
16	Trailer Maintenance		500	14	7,000	7,000
17	Daily Job Site Clean-up			14	0	0
18	Final Clean			14	0	0
19	Dump Permits and Fees			14	0	0
20	Trash Removal			14	0	0
21	Dust Control			14	0	0
22	SWPPP Installation and Maintenance			14	0	0
23	SWPPP Inspections			14	0	0
24	Drinking Water		700	14	9,800	9,800
25	Safety/First Aide		200	14	2,800	2,800
26	Fire Equipment (Office and Site)	5,000		14	5,000	5,000
27	Site Security			14	0	0
	GR NTE					183,470

REVISED SCHEDULE: (From 6-1-19 to 5-31-21)						
Parking Structure	One Time Cost	Unit	Quantity	Unit Cost	Total	
1	Office Trailer (Including Inspectors and Owners)	16,000	1,200	24	44,800	44,800
2	Storage Trailer and Tool Shed		500	18	9,000	9,000
3	Office Furniture and Equipment	6,500	1,200	24	35,300	35,300
4	Reproduction/Copy Machine		1,400	24	33,600	33,600
5	Postage		200	18	3,600	3,600
6	Photo	170	100	18	1,570	1,970
7	Temp Toilets (Trailer Toilets for 24 mos, job toilets for 18 mos)		1,900	20	38,000	38,000
8	Project Signs		500	14	7,000	7,000
9	Telephone Installation	2,000		24	2,000	2,000
10	Telephone monthly charges		200	24	4,800	4,800
11	Electric Power Installation - Trailer only	2,500		24	2,500	2,500
12	Electric Power Monthly Charges - Trailer only		500	24	12,000	12,000
13	Water Service Installation - Trailer only	2,500		24	2,500	2,500
14	Water Service Monthly Charges - Trailer only		100	24	2,400	2,400
15	Project Management Software		40,000,000	0.0008	30,000	30,000
16	Trailer Maintenance		500	24	12,000	12,000
17	Daily Job Site Clean-up			24	0	0
18	Final Clean			24	0	0
19	Dump Permits and Fees			24	0	0
20	Trash Removal			24	0	0
21	Dust Control			24	0	0
22	SWPPP Installation and Maintenance			24	0	0
23	SWPPP Inspections			24	0	0
24	Drinking Water		700	18	12,600	12,600
25	Safety/First Aide		200	18	3,600	3,600
26	Fire Equipment (Office and Site)	5,000		16	5,000	5,000
27	Site Security			24	0	0
	GR NTE					262,670

APPENDIX B - GENERAL REQUIREMENTS 2 - Addendum No. 2 12-24-19						Revised GR-2 (Removed GR-2 Previously Approved in Amendments)		
General Requirements 2 Temporary Utilities, Cleaning & Hoisting		GR2	Unit	Quantity	Unit Cost	Total	Total	Comments
1	Flagman and Traffic Control	X	Month	13	\$7,428	\$96,564	\$96,564	
2	Temporary Road Construction	N/A				N/A	N/A	
3	Scaffolding	N/A				By Sub	By Sub	
4	Temporary Fencing and Enclosures	X	Month	16	\$2,682	\$42,916	\$0	Approved in Amendment 6
5	Covered Walkways	X	Month	16	\$3,468	\$55,488	\$0	Approved in Amendment 7
6	Barricades	X	Month	13	\$500	\$6,500	\$6,500	
7	Temporary Stairs	X	Month	10	\$7,500	\$75,000	\$75,000	
8	Opening Protection	X	LF	372	\$72	\$26,817	\$26,817	
9	Safety Railing & Nets	X	LF	720	\$64	\$45,720	\$45,720	
10	Temporary Road Maintenance	X	SF	48,316	\$1.25	\$60,395	\$60,395	
11	Trash Chute & Hopper	N/A				N/A	N/A	
12	Electric Power Installation for Project Site	X	LS	1	\$598,680	\$598,680	\$219,380	Temp Electrical Removed; Approved in Amendment 6; PG&E Substructure work remains
13	Electric Power Monthly Charges / Allowance for Project Site	X	Month	16	\$3,200	\$51,200	\$51,200	
14	Water Service – Installation for Project Site	X	LS	1	\$25,500	\$25,500	\$0	Approved in Amendment 5
15	Water Service - Monthly Costs / Allowance for Project Site	X	Month	16	\$300	\$4,800	\$4,800	
16	Daily Job Site Clean-Up	X	Month	16	\$18,156	\$290,496	\$290,496	
17	Final Clean	X	WKS	3	\$14,400	\$43,200	\$43,200	
18	Dump Permits and Fees	N/A				N/A	N/A	
19	Trash Removal and Hauling	X	Month	16	\$10,392	\$166,272	\$166,272	
20	Dust Control	X	Month	8	\$9,458	\$75,664	\$75,664	
21	SWPP Installation & Maintenance	X	Month	16	\$7,503	\$120,040	\$120,040	
22	SWPP Inspection	X	Month	16	\$6,279	\$100,456	\$100,456	
23	Site Security	N/A				Excluded	Excluded	
24	Motor Vehicles	X	Month	18	\$6,974	\$125,539	\$125,539	
25	Utility Locating / Potholing	X	WKS	3	\$8,490	\$25,470	\$20,250	Utility Locating Removed; Approved in Amendment 6; Potholing remains
26	Layout & Survey Checks	X	Month	16	\$11,695	\$187,120	\$187,120	
27	Foundation Winterization / Mud Slab	X	LS	1	\$183,648	\$183,648	\$183,648	
28	Site Winterization / Localized Dewatering as Required	X	Month	10	\$6,700	\$67,000	\$67,000	
Hoisting		GR2	Unit	Quantity	Unit Cost	Total	Total	
29	Hoist & Tower Rental	X	Month	8	\$9,806	\$78,446	\$0	Approved in Amendment 7
30	Hoist Landing & Fronts	X	Month	8	\$1,353	\$10,826	\$0	Approved in Amendment 7
31	Hoist Operator	X	Month	8	\$24,938	\$199,504	\$0	Approved in Amendment 7
32	Hoist Material Skips/ Hoppers	N/A				N/A	N/A	
33	Erect & Dismantle Cranes and Hoists	X	LS	1	\$43,400	\$43,400	\$10,000	Erect/Dismantle Removed; Approved in Amendment 7; \$10K for Manlift Jump Crane
34	Crane Rental	N/A				By Sub	By Sub	
35	Crane Operators	N/A				By Sub	By Sub	
36	Crane Raising/ Jumping Costs	N/A				By Sub	By Sub	
37	Temporary Elevator Rental	N/A				N/A	N/A	
38	Elevator Operation Costs	N/A				N/A	N/A	
39	Cage Rider at Elevator	N/A				N/A	N/A	
40	Forklift Rental	N/A				By Sub	By Sub	
41	Forklift Operator	N/A				By Sub	By Sub	
42	Safety Inspections	X	Month	16	\$4,114	\$65,816	\$65,816	
43	Fuel, Repairs, Maintenance, Service	X	Month	19	\$1,769	\$33,618	\$33,618	
GENERAL REQUIREMENTS 2					\$2,906,095	\$2,075,495		

New Allowances in GMP

Rough Carpentry Allowance - Plywood Backboards	\$11,000
Noise Mitigation Barrier - Installation/Removal	\$175,000
Temporary Dry Stand Pipe	\$10,400
Additional Spoil Offhaul Allowance	\$45,000
Existing Curb Repair due to Haul Route Modifications	\$9,000
Bussing Program	\$353,885
Allowance for Escalation due to delayed start	600,000

New GR-2 + Allowances Total **\$3,279,780**

Description	UNIT COSTS										TOTAL COSTS						
	Takeoff Quantity		Labor Manhours		Labor Productivity		Labor Rate		Material Cost/Unit		Equip Cost/Unit		Labor	Material	Equipment	Other	Total
Reference 3300-UL Utility Locating for Additional Backup (Amendment 6)															\$5,220	\$5,220	
Potholing Labor (2 Laborers; 3 weeks)	3.0	WK	240	MH			\$80	MH					\$19,200				\$19,200
Equipment (Rotor Hammer, Shovels)	3.0	WK									\$350	WK		\$1,050			\$1,050
Line 26 - Layout & Survey Checks																	
Labor (1 Carpenter; 16 months) - 15 hrs/week			1,039	MH			\$100	MH					\$103,920				\$103,920
Material (Flags, Paint Cans, Nails)	16.0	MO							\$300.00	MO				\$4,800			\$4,800
Equipment (Total Station)	16.0	MO									\$4,000	MO		\$64,000			\$64,000
Other	16.0	MO									\$900	MO			\$14,400		\$14,400
Line 27 - Foundation Winterization / Mud Slab																	
Labor (4 Laborers; 1 month)	2.0	MO	1,386	MH			\$80	MH					\$110,848				\$110,848
Labor (1 Carpenter; 2 weeks)	4.0	WK	160	MH			\$100	MH					\$16,000				\$16,000
Material (Over-Excavation)	220.0	CY							\$60.00	CY				\$13,200			\$13,200
Material (Concrete)	220.0	CY							\$130.00	CY				\$28,600			\$28,600
Equipment (Concrete Pump) - 3 mobilizations	3.0	EA									\$5,000	EA			\$15,000		\$15,000
Line 28 - Site Winterization / Localized Dewatering as Required																	
Labor (1 Laborer; 10 months) - 15 hrs/week			650	MH			\$80	MH					\$52,000				\$52,000
Material	10.0	MO							\$300.00	MO				\$3,000			\$3,000
Equipment (Pumps, Hoses, Generators, Light Stands)	10.0	MO									\$1,200	MO			\$12,000		\$12,000
Line 29 - Hoist & Tower Rental (Manlift Only)																	
Reference 0154-MH Manlift for Additional Backup (Amendment 7)															\$78,446	\$78,446	
Line 30 - Hoist Landing & Fronts																	
Reference 0154-MH Manlift for Additional Backup (Amendment 7)															\$10,826	\$10,826	
Line 31 - Hoist Operator																	
Reference 0154-MH Manlift for Additional Backup (Amendment 7)															\$199,504	\$199,504	
Line 32 - Hoist Material Skips/ Hoppers																	
N/A - Hoisting Carried by Individual Subcontractors																N/A	
Line 33 - Erect & Dismantle Cranes and Hoists																	
Reference 0154-MH Manlift for Additional Backup (Amendment 7)															\$33,400	\$33,400	
Crane for Manlift Jump to Level 5 & 7	2.0	EA							\$5,000	EA				\$10,000			\$10,000
Line 34 - Crane Rental (Mobile)																	
N/A - Hoisting Carried by Individual Subcontractors																N/A	
Line 35 - Crane Operators (Mobile)																	
N/A - Hoisting Carried by Individual Subcontractors																N/A	
Line 36 - Crane Raising/ Jumping Costs																	
N/A - Hoisting Carried by Individual Subcontractors																N/A	
Line 37 - Temporary Elevator Rental																	
N/A - Temporary Elevator Not Needed for Construction																N/A	
Line 38 - Elevator Operation Costs																	
N/A - Temporary Elevator Not Needed for Construction																N/A	
Line 39 - Cage Rider at Elevator																	
N/A - Temporary Elevator Not Needed for Construction																N/A	
Line 40 - Forklift Rental																	
N/A - Carried by Individual Subcontractors																N/A	
Line 41 - Forklift Operator																	
N/A - Carried by Individual Subcontractors																N/A	
Line 42 - Safety Inspections																	
Labor (1 Safety Coordinator; 16 months) - 10 hrs/week			693	MH			\$95	MH					\$65,816				\$65,816
Line 43 - Fuel, Repairs, Maintenance, Service																	
Other - Directed Duration (Gas)	12.0	MO									\$1,957	MO			\$23,485		\$23,485
Other - Extended Duration (Gas)	6.0	MO									\$1,689	MO			\$10,133		\$10,133
Subtotal													\$1,053,952	\$74,049	\$231,429	\$1,546,665	\$2,906,095

6/ GC and Precon Extension Breakdown

7/ Value Engineering and Alternate Options

TRUEBECK
CONSTRUCTION



Bid Alternate Summary
County Government Center, Parking Structure 2

#	Bid Package	Description	Bid Values	Pending	Accepted	Rejected	Date Presented	Notes
---	-------------	-------------	------------	---------	----------	----------	----------------	-------

Alternates Adds Accepted by PDU

01)	ALL	Deduct if offsite parking is provided by Project Development Unit via bussing program	Incl. w/ Allowances		X		5/2/19	
11)	1115-PC	Design, Furnish and Install Vehicle Counting System	\$258,705		X		5/2/19	Must be taken with 18
18)	2600-EL	Parking Control System Power & Infrastructure	Incl. w/ Amend 6		X		5/2/19	
19)	2600-EL	Future EV Charging Conduit for Additional 60 stalls	Incl. w/ Amend 6		X		5/2/19	Alternate if County wants to add later
21)	2600-EL	Infrastructure for Exterior Site Cameras	Incl. w/ Amend 6		X		5/2/19	
22)	2600-EL	Furnish and install Exterior Site Cameras	Incl. w/ Amend 6		X		5/2/19	
23)	2600-EL	Furnish and install additional conduit for Mobile Coffee Cart	Incl. w/ Amend 6		X		5/2/19	
26)	2600-EL	Dual Service Complete	Incl. w/ Amend 6		X		5/2/19	
30)	3122-GD	Premium cost to furnish and install rubberized asphalt in lieu of specified asphalt concrete paving	\$36,000		X		5/2/19	
36)	7310-ST	New Striping of Existing Parking Lot	\$17,800		X		5/2/19	
Total			\$312,505					

Alternates Adds Rejected by PDU

06)	0331-SC	Add Steel Trowel Finish at Shotcrete Walls	\$129,312			X	5/2/19	
07)	0331-SC	Add Carbon Cure to satisfy Carbon Replacement Strategy	\$209,952			X	5/2/19	Requirement not listed in Specs. Alternate includes in-situ carbon dioxide mineralization at the rate of 5% replacement.
08)	0742-MP	Curved ACM Panels at Ramp in lieu of Flat Segmented	\$85,600			X	5/2/19	
10)	0991-PT	Provide Painting of Underside of Interior Slab Soffits, Beams, and Column	\$398,471			X	5/2/19	
15)	2100-FP	Provide Fire Protection under PV System per sheet FP2.7	137,750			X	5/2/19	Alternate if County wants to add later
24)	2600-EL	Renewable Annual Maintenance Agreement (Security System)	28,500			X	5/2/19	
27)	2600-EL	Dual Service (Infrastructure Only)	64,200			X	5/2/19	
34)	3216-SC	Cost to place 4" Concrete w/ Integral Color in lieu of Asphalt Paving	\$89,600			X	5/2/19	
35)	3216-SC	Cost to place 4" Concrete w/ Standard Finish in lieu of Asphalt Paving	\$72,800			X	5/2/19	
Total			\$1,216,185					

Alternates Adds Listed as Pending

16)	2200-PL	Utilized Underground Pipe Hangers & Settlement Joints per RFI 29	173,630	X			5/2/19	
20)	2600-EL	Conduit, Wire, and Connections for New Site Signs	Allowance	X			5/2/19	See allowance log
31)	3122-GD	Over-excavate and backfill the building pad per section 6.5 of the Geotech Report for Site Winterization	\$165,000			X	5/2/19	May be required if existing soil is in adequate for compaction
32)	3122-GD	Apply 12" of 3% lime treatment over the building pad per section 6.5 of the Geotech Report for Site Winterization	Allowance			X	5/2/19	See allowance log
Total			\$338,630					

#	Bid Package	Description	Bid Values	Pending	Accepted	Rejected	Date Presented	Notes
---	-------------	-------------	------------	---------	----------	----------	----------------	-------

Value Engineering Accepted by PDU

04b)	0331-SC	Eliminate Form Tape at Plywood Joints at CIP Walls	Incl. w/ Amend 7		X		5/2/19	
09)	0742-MP	Eliminate Drainage Mat per RFI Log 132 Response	(\$22,700)		X		5/2/19	
12)	1440-SI	Eliminate S-DIR-20 Signs	(\$36,700)		X		5/2/19	
14)	2100-FP	Deductive cost to connect fire water utility lines at a point inside of the building in lieu of 5' outside of the building perimeter.	(\$8,500)		X		5/2/19	
Total			(\$67,900)					

Value Engineering Rejected by PDU

03)	0331-SC	Shotcrete Walls in lieu of Cast in Place (Rubber Float Finish)	(\$481,548)			X	5/2/19	
04a)	0331-SC	Eliminate Form Tape at Plywood Joints at Shotcrete Walls	(\$59,800)			X	5/2/19	
13)	2100-FP	Utilized Schedule 10 piping in lieu of Schedule 40 piping for pipe sized 2" or less.	(\$19,000)			X	5/2/19	
17)	2200-PL	Use a more cost effective area drain within parking structure	(17,000)			X	5/2/19	VE is considered Void. No longer an option
25)	2600-EL	Eliminate ERRCS System (Infrastructure Remains)	(215,000)			X	5/2/19	
33)	3122-GD	Deductive cost if the Pedestrian Asphalt Paving is substituted with 4" Concrete Paving	(\$7,000)			X	5/2/19	Must be taken with 34 or 35
Total			(\$799,348)					

Value Engineering Listed as Pending

05)	0331-SC	Class B in lieu of Class A finish at Exterior Surfaces	(\$21,720)	X			5/2/19	
28)	2600-EL	Reduction in BIM Scope	(50,000)	X			5/2/19	Not recommended by Truebeck
29)	2600-EL	Use Smurf Tube in lieu of PVC	(40,000)	X			5/2/19	
Total			(\$111,720)					

8/ Qualifications



PARKING STRUCTURE 2 (PS2)

LIST OF GMP CLARIFICATIONS, ASSUMPTIONS, AND EXCLUSIONS

December 24, 2019

General Clarifications and Assumptions:

1. **Documents:** This GMP is based on the Attachment D dated 4/10/19 for the following bid packages: 0154-MH, 0154-SC, 0331-SC, 2600-EL (Material/Personnel Hoist, Scaffolding Sidewalk Protection, Structural Concrete, and Electrical Systems). All other work is based on the Attachment D dated 3/19/19. Truebeck recommends PDU carry design contingency for costs associated Plan Check Response #1 dated 3/20/19 and Plan Check Response #2 dated 4/29/19. A conformed set of documents including the Pre-Bid RFI's and Plan Check Responses will need to be provided by Watry prior to construction.
2. **Pre-Bid RFIs:** Pre-Bids RFIs listed as included in the GMP take precedence over the drawings and specifications. These RFIs have been attached for reference. Updated to the plans and specifications incorporating all pre bid RFIs are recommended for clarity.
3. **Alternates / Value Engineering:** There are several alternates and value engineering deductions that have been incorporated into this GMP. These alternates have been attached for reference. The "accepted" options take precedence over drawings and specifications. Updated to the plans and specifications incorporating all alternates are recommended for clarity.
4. **Constructability Comments** – Constructability comments have been generated for the drawings per issued logs for the Parking Structure. These comments have not yet been incorporated into the drawings. Any cost impacts due to drawing completion are not included in the GMP.
5. **Plan Check and EIR/Planning Approval** – The plan check/permit issuance and planning approval for the drawings is not complete. The GMP is based on the current documents listed in Attachment D.
6. **Amendments:** Amendment #s 1-9 are included in the GMP as they relate to PS2. COB-3 costs will be reflected in the future COB-3 GMP.
7. **Equipment:** The rental cap for Truebeck owned equipment will be 85% of the fair market value. Vendor equipment will be at vendor pricing.
8. **Affiliate Companies:** Procraft Equipment Company, Inc. (a subsidiary of Truebeck).
9. **Discrepancies:** Where specifications and project drawings differ, it is assumed the drawings better illustrate the design team's intent, thus the GMP follows drawings if not otherwise clarified.
10. **Schedule:** GMP is based on the 11 25 19 Master Schedule. Union labor rate increases associated with the Permit delay are currently budgeted as an Owner's Allowance. The schedule duration is predicated upon an early steel erection of the steel framing for the elevator shafts, which will require an alternate design for the attachment of the steel framing to the concrete structure by Watry Engineering. The current design, if it cannot be amended, will delay the overall project completion by 8 weeks.
11. **Weather:** The contract stipulates including 45 work days for weather impact delays in the project schedule. Based upon the start of construction and anticipated weather, it is agreed by Truebeck and the County to include a total of 19 work days of weather impact in the overall project schedule completion. Any weather days in addition to the 19 included days will be treated as a "Force Majeure" delay, where in additional time will be granted but no additional compensation granted for the delay.
12. **Work Hours:** All work to be done during regular work hours, 7am to 6pm, Monday through Friday. Truebeck reserves the right to work on Saturday as needed from 9am to 5pm. Overtime is excluded.

Truebeck Construction, Inc.

951 Mariners Island Blvd., Suite 700, San Mateo, CA 94404

T 650.227.1957 F 650.227.1958 CA License #903798

www.truebeck.com

13. **Parking:** Includes allowance to shuttle subcontractors to and from jobsite to an off-site parking lot provided by PDU (1402 Maple St. Redwood City, CA).

Financial:

14. **Owner Allowances:** Owner Allowances are under the direct control of the Owner and may only be used with Owner approval. Owner allowances will be adjusted to actual cost once the work is complete. Allowance expenditure requires written approval by Owner in accordance with provisions in CMR Project Document 01 1000 – 4C.
15. **Line Items Savings:** This is not a line item GMP, savings from one line can be used to offset overruns in another.
16. **Insurance:** CCIP does not include worker's compensation cost per previous agreement.
17. **Permit:** Permit expenses are to be paid by PDU. Permit fees paid by Truebeck at PDU's request in prior to GMP will have Insurance and Mark up applied as agreed. Moving forward they will be reimbursed outside the GMP as a separate reimbursable billing.

Sitework and Landscape:

18. **Over Optimum Moisture Content Soil:** Ripping, processing, lime treating, or drying of soils that are over optimum moisture conditions is not included.
19. **Fill:** A portion of spoil material from on-site cut will be utilized for on-site fill. All material generated onsite is assumed to be acceptable for re-use onsite as engineered fill. This includes backfilling all trenches and structural excavation (footings), etc. with the material that is excavated from those items.
20. **Existing Roadways:** The GMP includes only the repairs to the existing roadways, streets, sidewalks, striping, etc. as shown in design drawings.
21. **Off-Haul:** Clean soil is assumed for all site spoils. Off haul of hazardous soils (Class I and/or Class II) will result in additional costs paid by owner. Testing of all soils by owner.
22. **Grading Moratorium:** GMP relies on project receiving a grading moratorium exception. The GMP does not include any impacts of special conditions if imposed by County of San Mateo.
23. **There is an add alternate for "lime Treatment" of the existing soil.** This add alternate is NOT included in the GMP total but will be required to meet the project schedule. Final Pricing of the costs of soil improvements will be determined upon laboratory analysis of the existing soil's make-up and condition. Current allowance is based upon 12 inches of 3% lime added to existing soil.

Foundation, Substructure & Superstructure:

24. Stamping by registered engineer of post-tensioned cable shop drawings and friction calculations is excluded.
25. Aggregate Pier static design performance to be verified by three (3) full scape load test per ASTM D1143. Seismic design performance to be verified by CPT Testing.

Exterior Skin:

26. Wire Mesh Screen and Metal Panels at South Elevation Speed Ramp are figured as segmented/faceted screen assemblies, not curved or bent along radius.
27. The design, engineering, and structural calculations of the metal mesh screen supports is excluded. Assumed to be provided by Watry.
28. The metal column covers, per detail 16/A9.1, are to be fabricated from the same ACM materials and finish as the wall panels.

Elevator

29. All qualifications identified within the Thyssenkrupp Elevator proposal dated 11/7/18 and approved as part of Amendment 1 shall be included in this GMP.

MEPF:

30. The furnishing of EV charging stations are excluded. To be provided by the San Mateo Project Development Unit.
31. Temporary and Permanent Power Substructure is included for PG&E work. This includes all trenching, conduits, pull rope, potholing, and patching of Asphalt as required to complete work. Excludes wiring to be pulled by PG&E.

Exclusions:

32. Geotechnical Engineering
33. All design consultant fees with exception scopes specifically listed as design build deferred submittals on drawing cover page.
34. 3rd Party Commissioning
35. EIR Report
36. Testing and Inspection Costs.
37. Owner/User Scope Change Contingency
38. Public/City mandated artwork or installations
39. Unforeseen conditions
40. Permanent Utility Meters
41. Dust, noise, and vibration testing/monitoring
42. Cleaning of adjacent building structures
43. Security guard services
44. Special measures for working around the Day Care Center
45. Permanent Dewatering/Filtration System
47. Miscellaneous Fees, including but not limited to:
 - a) All plancheck and permit fees
 - b) City/ County Fees
 - c) Encroachment and street closure permit Fees
 - d) Development Fees
 - e) Water Department connection Fees
 - f) Sanitary Sewer District Fees
 - g) Fire Department Fees
 - h) Utility Service Provider/ PG&E Engineering Fees
 - i) Environmental Agency related Fees

END OF CLARIFICATIONS, ASSUMPTIONS, AND EXCLUSIONS

9/ List of Contract Documents

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings					
COVER AND DATA SHEETS					
A0.0	Cover Sheet	Watry Design, Inc	PS2.04	Plan Check Response #1	03/20/19
A0.1	Sheet List	Watry Design, Inc	PS2.04	Plan Check Response #1	03/20/19
A0.2	Data Sheet	Watry Design, Inc	PS2.04	Plan Check Response #1	03/20/19
A0.3	Code Data Sheet	Watry Design, Inc	PS2.04	Plan Check Response #1	03/20/19
A0.4	Openness Calculation Sheet	Watry Design, Inc	PS2.04	Plan Check Response #1	03/20/19
CIVIL					
C1.0	General Notes, Legend, Abbreviations and Civil Sheet Index	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C2.0	Existing Conditions Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C3.0	Demolition Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C4.0	Horizontal Control, Paving and Striping Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C5.0	Grading Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C6.0	Utility Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C6.1	Stormwater Control Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C6.2	Fire Access Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C7.0	Construction Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C7.1	Construction Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C7.2	Construction Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C7.3	Construction Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C7.4	Construction Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C8.0	Erosion Control Plan	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C8.1	Erosion Control Notes and Details	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
C8.2	San Mateo County Construction Best Management Practices	BKF Engineers	PS2.04	Plan Check Response #1	03/20/19
LANDSCAPE					
LA1.01	Hardscape Plan	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA1.02	Hardscape Legend	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA1.03	Elevations	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA1.04	Hardscape Details	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA2.01	Irrigation Plan	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA2.02	Irrigation Legend and Notes	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA2.03	Irrigation Details	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA2.04	Irrigation Details	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA3.01	Planting Plan	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
LA3.02	Planting Details	Spurlock Landscape Architects	PS2.04	Plan Check Response #1	03/20/19
ARCHITECTURAL					
A1.0	Campus Site Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A1.1	Site Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.1	Level 01 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.2	Level 02 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.3	Level 03 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.4	Level 04 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.5	Level 05 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.6	Level 06 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.7	Level 07 Parking Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.8	PV Panel Plan <i>[Issued for Reference Only]</i>	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.9	Level 01 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.10	Level 02 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.11	Level 03 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ARCHITECTURAL (continued)					
A2.12	Level 04 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.13	Level 05 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.14	Level 06 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.15	Level 07 Drainage Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.16	Level 01 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.17	Level 02 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.18	Level 03 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.19	Level 04 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.20	Level 05 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.21	Level 06 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A2.22	Level 07 Reflected Ceiling Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A3.1	Building Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A3.2	Building Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A3.3	Building Sections	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A3.4	Street Views	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A4.1	Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A4.2	Speed Ramp Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A4.3	Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A4.4	Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A5.1	Enlarged Sections	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A5.2	Enlarged Sections	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A6.1	Parking Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A6.2	Parking Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A6.3	Parking Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A7.1	Stair and Rail Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.1	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.2	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.3	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.4	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.5	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.6	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.7	Stair #1 & Stair #2 - Sections	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.8	Elevator Sections	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A8.9	Elevator - Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.1	Miscellaneous Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.2	Elevator Wall Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.3	Elevator Wall Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.4	Metal Panel Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.5	Mesh Screen Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.6	Miscellaneous Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A9.7	Miscellaneous Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
A10.1	Door Schedule Misc. Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
ARCHITECTURAL SIGNAGE					
AG2.1	Ground Level Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG2.2	Level 2 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG2.3	Level 3 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG2.4	Level 4 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ARCHITECTURAL SIGNAGE (continued)					
AG2.5	Level 5 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG2.6	Level 6 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG2.7	Level 7 Sign Location Plan	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.0	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.1	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.2	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.3	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.4	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.5	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.6	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.7	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG3.8	Signage Details	Donnelly Design	PS2.04	Plan Check Response #1	03/20/19
AG4.0	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG4.1	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
STRUCTURAL					
S1.1	General Notes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S1.2	General Notes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.3	General Notes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S1.4	General Notes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.0	Level 01 Foundation Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.1	Level 01 Slab-On-Grade Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.2	Level 02 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.3	Level 03 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.4	Level 04 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.5	Level 05 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.6	Level 06 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.7	Level 07 Framing Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.8	Level 02 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.9	Level 03 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.10	Level 04 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.11	Level 05 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.12	Level 06 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S2.13	Level 07 Chord/Collector Plan	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S4.1	Column Schedule & Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S4.2	General Foundation Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S4.3	Foundation Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S4.4	Foundation Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S4.5	Elevator Pit Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S5.1	Shear Wall Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S5.2	Shear Wall Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S5.3	Shear Wall Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S6.1	Concrete Beam & Girder Schedule and Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S6.1A	Concrete Beam & Girder Elevations	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S6.2	Concrete Beam - General Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S6.3	Concrete Beam - General & Specific Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S7.1	P.T. Slab General Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S7.2	P.T. Slab General Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
STRUCTURAL (continued)					
S7.3	P.T. Slab - Specific Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.1	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.2	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.3	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.4	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.5	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.6	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S8.7	Frame Elevations & Canopy Enlarged Plans	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S9.1	Steel Framing Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S9.2	Steel Framing Details	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
S10.1	PV Framing Details <i>[Issued for Reference Only]</i>	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
MECHANICAL					
MP0.1	Mechanical & Plumbing - Title Sheet	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.1	Mechanical & Plumbing - Level 01 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.2	Mechanical & Plumbing - Level 02 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.3	Mechanical & Plumbing - Level 03 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.4	Mechanical & Plumbing - Level 04 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.5	Mechanical & Plumbing - Level 05 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.6	Mechanical & Plumbing - Level 06 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP2.7	Mechanical & Plumbing - Level 07 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP5.1	Details	List Engineering	PS2.04	Plan Check Response #1	03/20/19
MP5.2	Riser Diagram	List Engineering	PS2.04	Plan Check Response #1	03/20/19
FIRE PROTECTION					
FP0.1	Fire Protection - Title Sheet	List Engineering	PS2.04	Plan Check Response #1	03/20/19
FP2.1	Fire Protection - Level 01 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
FP2.2	Fire Protection - Level 02 to 05 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
FP2.6	Fire Protection - Level 06 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
FP2.7	Fire Protection - Level 07 Parking Plan	List Engineering	PS2.04	Plan Check Response #1	03/20/19
ELECTRICAL					
E0.01	Symbols, Abbreviations and Sheet Index	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E0.02	Schedules - Power	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E0.03	Schedules - Lighting	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E0.04	Title 24 Forms - Lighting	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E0.05	Title 24 Forms - Lighting	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E0.06	Title 24 Forms - Electrical	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E1.01	Site Electrical Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.01	Level 01 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.02	Level 02 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.03	Level 03 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.04	Level 04 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.05	Level 05 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.06	Level 06 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E2.07	Level 07 - Lighting Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.01	Level 01 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.02	Level 02 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.03	Level 03 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.04	Level 04 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ELECTRICAL (continued)					
E3.05	Level 05 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.06	Level 06 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E3.07	Level 07 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.01	Level 01 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.02	Level 02 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.03	Level 03 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.04	Level 04 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.05	Level 05 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.06	Level 06 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.07	Level 07 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E4.08	Level 08 - Low Voltage System Plan	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E5.01	Electrical Single Line Diagrams	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E5.01B	Electrical Single Line Diagram No EV - For Reference Only	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E5.01C	Electrical Single Line Diagram EV Service - For Reference Only	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E5.02	Low Voltage System Single Line Diagrams	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E5.03	Fire Alarm System Single Line Diagrams	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E6.01	Enlarged Rooms Plans - Power	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
E7.01	Electrical Details	The Engineering Enterprise	PS2.04	Plan Check Response #1	03/20/19
TELECOMMUNICATIONS					
T0.1	Title Sheet and Index	Teecom	PS2.04	Plan Check Response #1	03/20/19
T0.2	Pathway Requirements	Teecom	PS2.04	Plan Check Response #1	03/20/19
T1.0	Site Plan	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.1	Overall Floor Plan - Level 1	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.2	Overall Floor Plan - Level 2	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.3	Overall Floor Plan - Level 3	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.4	Overall Floor Plan - Level 4	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.5	Overall Floor Plan - Level 5	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.6	Overall Floor Plan - Level 6	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.7	Overall Floor Plan - Level 7	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.11	Overall Reflected Ceiling Plan - Level 1	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.12	Overall Reflected Ceiling Plan - Level 2	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.13	Overall Reflected Ceiling Plan - Level 3	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.14	Overall Reflected Ceiling Plan - Level 4	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.15	Overall Reflected Ceiling Plan - Level 5	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.16	Overall Reflected Ceiling Plan - Level 6	Teecom	PS2.04	Plan Check Response #1	03/20/19
T2.17	Overall Reflected Ceiling Plan - Level 7	Teecom	PS2.04	Plan Check Response #1	03/20/19
T4.1	Enlarged Room Plan - Electric/Telecom Room, Typ.	Teecom	PS2.04	Plan Check Response #1	03/20/19
T4.2	Enlarged Room Plan - Electric/Telecom Room, Typ.	Teecom	PS2.04	Plan Check Response #1	03/20/19
T4.3	Enlarged Room Plan - Main Electric	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.1	Diagram - Telecommunication Backbone Pathway	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.2	Diagram - Telecommunication Cabling	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.3	Diagram - Telecommunication Grounding	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.4	Diagram - Security Riser	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.5	Diagram - Security ACAMS	Teecom	PS2.04	Plan Check Response #1	03/20/19
T9.6	Diagram - Security VSS and SCS	Teecom	PS2.04	Plan Check Response #1	03/20/19
T10.1	Schedules	Teecom	PS2.04	Plan Check Response #1	03/20/19
T10.2	Installation Details - Telecom Labeling, Room and Pathways	Teecom	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
TELECOMMUNICATIONS (continued)					
T10.3	Installation Details - Grounding and Bonding	Teecom	PS2.04	Plan Check Response #1	03/20/19
T10.4	Installation Details - Security	Teecom	PS2.04	Plan Check Response #1	03/20/19
Parking Structure 2 - Specifications					
INTRODUCTORY INFORMATION					
00 01 01	Title Page	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
00 01 02	Inside Cover Page	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
00 01 10	Table of Contents	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 01 - GENERAL REQUIREMENTS					
01 10 00	Summary	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 21 00	Allowances and Unit Prices	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 23 00	Alternates	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 25 00	Substitution Procedures	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 32 00	Construction Progress Documentation	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 33 00	Submittal Procedures	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 42 00	References	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 43 39	Mockups	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 45 23	Testing and Inspecting Services	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 50 00	Temporary Facilities and Controls	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 60 00	Product Requirements	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 71 23	Field Engineering	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 73 29	Cutting and Patching	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 74 10	Cleaning	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 74 19	Construction Waste Management & Disposal	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
01 77 00	Closeout Procedures	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 02 - EXISTING CONDITIONS					
02 41 13	Selective Site Demolition	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 03 - CONCRETE					
03 10 00	Concrete Forming and Accessories	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
03 20 00	Concrete Reinforcing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
03 23 00	Stressing Tendons	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
03 30 00	Cast-In-Place Concrete	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
03 35 00	Concrete Finishing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
03 39 27	Concrete Floor Curing - Vapor Emission Control	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 04 - MASONRY (NOT USED)					
DIVISION 05 - METALS					
05 12 00	Structural Steel Framing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
05 31 00	Steel Decking	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
05 40 00	Cold-Formed Metal Framing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
05 50 00	Metal Fabrications	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
05 51 00	Metal Stairs	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
05 58 00	Formed Metal Fabrications	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 06 - WOODS, PLASTICS AND COMPOSITES (NOT USED)					

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 07 - THERMAL AND MOISTURE PROTECTION					
07 10 00	Dampproofing and Waterproofing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 18 00	Traffic Coatings	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 21 00	Thermal Insulation	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 42 43	Composite Wall Panels	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 54 23	Thermoplastic Polyolefin (TPO) Roofing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 62 00	Sheet Metal Flashing and Trim	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 84 00	Firestopping	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 92 00	Joint Sealants	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
07 95 00	Expansion Control	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 08 - OPENINGS					
08 11 13	Hollow Metal Doors and Frames	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
08 71 00	Door Hardware	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 09 - FINISHES					
09 22 16	Non-Structural Metal Framing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
09 24 00	Portland Cement Plastering	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
09 29 00	Gypsum Board	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
09 30 00	Tiling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
09 91 00	Painting	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
09 96 23	Graffiti-Resistant Coatings	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 10 - SPECIALTIES					
10 14 00	Signage	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
10 43 13	Defibrillator Cabinets	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
10 44 00	Fire Protection Specialties	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 11 - EQUIPMENT					
11 11 43	Electric Vehicle Charging Equipment - Level 2 <i>{EV Charging}</i>	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
11 12 00	Parking Control Equipment	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 12 - FURNISHINGS					
12 93 00	Site Furnishings	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
12 93 13	Bicycle Racks	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 13 - SPECIAL CONSTRUCTION (NOT USED)					
DIVISION 14 - CONVEYING EQUIPMENT					
14 21 00	Electric Traction Elevators	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 21 - FIRE SUPPRESSION					
21 03 00	Fire Protection	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 22 - PLUMBING					
22 04 00	Plumbing System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 23 - HEATING, VENTILATING AND AIR CONDITIONING (HVAC)					
23 00 50	General Mechanical Requirements	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
23 00 60	Electrical Requirements for Mechanical	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
23 06 00	HVAC System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 26 - ELECTRICAL					
26 00 10	Basic Electrical Requirements	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 00 60	Power System Study	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 19	Building Wire and Cable	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 26	Grounding and Bonding	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 26 - ELECTRICAL (continued)					
26 05 29	Electrical Hangers and Supports	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 31	Conduit	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 33	Boxes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 46	Signal Systems Raceway	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 05 53	Electrical Identification	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 09 26	Low-Voltage Lighting Control	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 22 13	Dry Type Transformers	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 24 13	Switchboards	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 24 16	Panelboards	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 27 16	Cabinets and Enclosures	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 27 19	Surface Raceways	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 27 26	Wiring Devices	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 28 16	Overcurrent Protective Devices	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 28 19	Disconnect Switches	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 29 00	Motor Controls	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 31 00	Photovoltaic Power Systems <i>[Reference Only - Not in Scope]</i>	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 33 23	Central Battery Inverter System <i>[Reference Only - Not in Scope]</i>	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 50 00	Lighting	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 61 13	Fire Alarm System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 62 26	Two-Way Communication System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
26 63 16	Distributed Antenna Systems (DAS)	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 27 - COMMUNICATIONS					
27 00 00	Communications Basic Requirements	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 05 26	Communications Bonding and Grounding	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 05 28	Communications Building Pathways	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 05 33	Communications Building Pathways - Conduit and Boxes	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 08 11	Communications Twisted Pair Testing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 08 21	Communication Fiber Optic Testing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 11 00	Communications Equipment Rooms	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 13 13	Communications Backbone ISP Twisted Pair Cabling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 13 23	Communications Backbone ISP Fiber Optic Cabling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
27 15 13	Communications Horizontal Twisted Pair Cabling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 28 - ELECTRONIC SAFETY AND SECURITY					
28 00 00	Basic Security Requirements	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
28 05 13	Security System Cabling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
28 05 53	Security System Labeling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
28 08 00	Security System Acceptance Testing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
28 13 00	Access Control and Alarm Monitoring System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
28 23 00	Video Surveillance System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 31 - EARTHWORK					
31 00 00	Earthwork and Grading	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
31 10 00	Site Clearing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
31 23 33	Trenching and Backfilling	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
31 45 20	Aggregate Piers	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
31 66 20	Drill Displacement Column Ground Improvements <i>[Specification Now Deleted]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19



ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 32 - EXTERIOR IMPROVEMENTS					
32 12 33	Paving and Surfacing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 17 13	Parking Bumpers	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 17 24	Pavement Markings [in Parking Structure]	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 17 26	Tactile Warning Surfacing	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 84 00	Planting Irrigation	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 92 00	Meadow Seeding	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 93 00	Exterior Plants	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
32 94 46	Stainless Steel Trellis System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
DIVISION 33 - UTILITIES					
33 05 13	Utility Grade Adjustment	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
33 10 00	Water System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
33 30 00	Sanitary Sewer System	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
33 40 00	Storm Drainage	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
33 46 00	Subdrainage	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
Parking Structure 2 - Other Documents					
OTHER DOCUMENTS					
Calcs	Calculations, Volume 1 (20 pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	03/20/19
Planning	100% CD Plan Review Comments, Planning (5 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19
RWC	100% CD Plan Review Comments, RWC (16 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19
4 Leaf	100% CD Plan Review Comments, 4 Leaf (16 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19
Fire	100% CD Plan Review Comments, Fire (6 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19
Environmental	100% CD Plan Review Comments, Environmental (3 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19
Mosquito	100% CD Plan Review Comments, Mosquito (3 Pages)	Watry Design, Inc.	PS2.04	Plan Check Response #1	04/01/19



ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 04/10/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
TRUEBECK CONSTRUCTION ATTACHMENTS					
	Instructions for Proposal - Parking Structure 2	Truebeck Construction	Rev. 7	Issued for Bidding	03/08/19
	Attachment A - Truebeck Construction Insurance Requirements	Truebeck Construction	Rev. 2	Project Specific Insurance Requirements	03/19/19
	Attach A.1 CCIP Manual - SM COB3 PS2 Lathrop 031419	Truebeck Construction		Project Specific Insurance Requirements	03/14/19
	Attachment B - Truebeck Construction Subcontractor Billing Packet	Truebeck Construction		Truebeck Billing Requirements	08/19/16
	Attachment C - General Requirements	Truebeck Construction	Rev. 2	Project Specific General Requirements	02/21/19
	Attachments C.1 [C.2 and subsequent, as needed] - Scope of Work (Trade Specific)	Truebeck Construction		Issued for Bidding	As Dated
	Attachment D- List of Contract Documents	Truebeck Construction	Rev. 8	Issued for Bidding	04/10/19
	Attachment E - Master Schedule	Truebeck Construction	Rev. 4	Issued for Bidding	03/19/19
	Attachment F - Logistics Plan	Truebeck Construction	Rev. 1	Issued for Bidding	03/14/19
	Attachment G - BIM (Building Information Modeling) Execution Plan	Truebeck Construction	Rev. 3	Issued for Bidding	04/10/19
	Attachment H - Truebeck IIPP & Safety Programs Manual	Truebeck Construction	Rev. 3	Truebeck Safety Requirements	February 19
	Attachment H.1 - Respirable Crystalline Silica Program	Truebeck Construction		Truebeck Safety Requirements	09/01/17
	Attachment J - Division 00 and 01 Specs from County of San Mateo	County of San Mateo	Rev. 1	Issued for Bidding	07/16/18
	Attachment K - Geotechnical Investigation Supplemental Getotech Exploration, Rev. 4	Engeo	Rev. 4	Issued for Bidding	02/12/19
	Attachment K.1 - Updated Foundation Recommendations	Engeo	COB.03	Issued for Bidding	03/22/19
	Attachment K.2 - KLF Geotechnical Exploration Data & Lab, PS2	Kleinfelder		Issued for Reference	01/24/18
	Attachment L - SMC PS2 Storm Drainage Report (Reference Only)	BKF		Issued for Bidding	February 19
	Attachment M - Hazardous Materials Survey Report	Znap Fly	COB.041	Issued for Bidding	03/28/19
	Pre-Bid RFI Log	Truebeck Construction			As Dated

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings					
COVER AND DATA SHEETS					
A0.0	Cover Sheet	Watry Design, Inc	PS2.03	Issued for Plan Check	01/16/19
A0.1	Sheet List	Watry Design, Inc	PS2.03	Issued for Plan Check	01/16/19
A0.2	Data Sheet	Watry Design, Inc	PS2.03	Issued for Plan Check	01/16/19
A0.3	Code Data Sheet	Watry Design, Inc	PS2.03	Issued for Plan Check	01/16/19
A0.4	Openness Calculation Sheet	Watry Design, Inc	PS2.03	Issued for Plan Check	01/16/19
CIVIL					
C1.0	General Notes, Legend, Abbreviations and Civil Sheet Index	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C2.0	Existing Conditions Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C3.0	Demolition Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C4.0	Horizontal Control, Paving and Striping Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C5.0	Grading Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C6.0	Utility Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C6.1	Stormwater Control Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C6.2	Fire Access Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C7.0	Construction Details	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C7.1	Construction Details	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C7.2	Construction Details	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C7.3	Construction Details	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C8.0	Erosion Control Plan	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C8.1	Erosion Control Notes and Details	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
C8.2	San Mateo County Construction Best Management Practices	BKF Engineers	PS2.03	Issued for Plan Check	01/16/19
LANDSCAPE					
LA1.01	Hardscape Plan	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA1.02	Hardscape Legend	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA1.03	Elevations	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA1.04	Hardscape Details	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA2.01	Irrigation Plan	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA2.02	Irrigation Legend and Notes	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA2.03	Irrigation Details	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA2.04	Irrigation Details	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA3.01	Planting Plan	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
LA3.02	Planting Details	Spurlock Landscape Architects	PS2.03	Issued for Plan Check	01/16/19
ARCHITECTURAL					
A1.0	Campus Site Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A1.1	Site Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.1	Level 01 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.2	Level 02 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.3	Level 03 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.4	Level 04 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.5	Level 05 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.6	Level 06 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.7	Level 07 Parking Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.8	PV Panel Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.9	Level 01 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.10	Level 02 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.11	Level 03 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.12	Level 04 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ARCHITECTURAL (continued)					
A2.13	Level 05 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.14	Level 06 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.15	Level 07 Drainage Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.16	Level 01 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.17	Level 02 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.18	Level 03 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.19	Level 04 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.20	Level 05 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.21	Level 06 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A2.22	Level 07 Reflected Ceiling Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A3.1	Building Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A3.2	Building Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A3.3	Building Sections	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A3.4	Street Views	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A4.1	Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A4.2	Speed Ramp Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A4.3	Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A4.4	Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A5.1	Enlarged Sections	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A5.2	Enlarged Sections	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A6.1	Parking Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A6.2	Parking Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A6.3	Parking Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A7.1	Stair and Rail Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.1	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.2	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.3	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.4	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.5	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.6	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.7	Stair #1 & Stair #2 - Sections	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.8	Elevator Sections	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A8.9	Elevator - Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.1	Miscellaneous Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.2	Elevator Wall Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.3	Elevator Wall Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.4	Metal Panel Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.5	Mesh Screen Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.6	Miscellaneous Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A9.7	Miscellaneous Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
A10.1	Door Schedule Misc. Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
ARCHITECTURAL SIGNAGE					
AG2.1	Ground Level Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG2.2	Level 2 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG2.3	Level 3 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG2.4	Level 4 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG2.5	Level 5 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ARCHITECTURAL SIGNAGE (continued)					
AG2.6	Level 6 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG2.7	Level 7 Sign Location Plan	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.0	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.1	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.2	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.3	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.4	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.5	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.6	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.7	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG3.8	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG4.0	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
AG4.1	Signage Details	Donnelly Design	PS2.03	Issued for Plan Check	01/16/19
STRUCTURAL					
S1.1	General Notes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S1.2	General Notes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.3	General Notes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S1.4	General Notes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.0	Level 01 Foundation Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.1	Level 01 Slab-On-Grade Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.2	Level 02 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.3	Level 03 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.4	Level 04 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.5	Level 05 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.6	Level 06 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.7	Level 07 Framing Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.8	Level 02 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.9	Level 03 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S1.10	Level 04 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.11	Level 05 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.12	Level 06 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S2.13	Level 07 Chord/Collector Plan	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S4.1	Column Schedule & Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S4.2	General Foundation Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S4.3	Foundation Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S4.4	Foundation Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S4.5	Elevator Pit Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S5.1	Shear Wall Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S5.2	Shear Wall Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S5.3	Shear Wall Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S6.1	Concrete Beam & Girder Schedule and Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S6.1A	Concrete Beam & Girder Elevations	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S6.2	Concrete Beam - General Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S6.3	Concrete Beam - General & Specific Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S7.1	P.T. Slab General Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S7.2	P.T. Slab General Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S7.3	P.T. Slab - Specific Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
STRUCTURAL (continued)					
S8.1	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.2	Stair #1 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.3	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.4	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.5	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.6	Elevator & Stair #2 - Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S8.7	Frame Elevations & Canopy Enlarged Plans	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S9.1	Steel Framing Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S9.2	Steel Framing Details	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
S10.1	PV Framing Details <i>[Issued for Reference Only]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
MECHANICAL					
MP0.1	Mechanical & Plumbing - Title Sheet	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.1	Mechanical & Plumbing - Level 01 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.2	Mechanical & Plumbing - Level 02 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.3	Mechanical & Plumbing - Level 03 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.4	Mechanical & Plumbing - Level 04 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.5	Mechanical & Plumbing - Level 05 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.6	Mechanical & Plumbing - Level 06 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP2.7	Mechanical & Plumbing - Level 07 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP5.1	Details	List Engineering	PS2.03	Issued for Plan Check	01/16/19
MP5.2	Riser Diagram	List Engineering	PS2.03	Issued for Plan Check	01/16/19
FIRE PROTECTION					
FP0.1	Fire Protection - Title Sheet	List Engineering	PS2.03	Issued for Plan Check	01/16/19
FP2.1	Fire Protection - Level 01 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
FP2.2	Fire Protection - Level 02 to 05 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
FP2.6	Fire Protection - Level 06 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
FP2.7	Fire Protection - Level 07 Parking Plan	List Engineering	PS2.03	Issued for Plan Check	01/16/19
ELECTRICAL					
E0.01	Symbols, Abbreviations and Sheet Index	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E0.02	Schedules - Power	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E0.03	Schedules - Lighting	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E0.04	Title 24 Forms - Lighting	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E0.05	Title 24 Forms - Lighting	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E0.06	Title 24 Forms - Electrical	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E1.01	Site Electrical Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.01	Level 01 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.02	Level 02 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.03	Level 03 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.04	Level 04 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.05	Level 05 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.06	Level 06 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E2.07	Level 07 - Lighting Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.01	Level 01 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.02	Level 02 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.03	Level 03 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.04	Level 04 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.05	Level 05 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Drawings (continued)					
ELECTRICAL (continued)					
E3.06	Level 06 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E3.07	Level 07 - Power and Fire Alarm Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.01	Level 01 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.02	Level 02 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.03	Level 03 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.04	Level 04 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.05	Level 05 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.06	Level 06 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.07	Level 07 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E4.08	Level 08 - Low Voltage System Plan	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E5.01	Electrical Single Line Diagrams	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E5.02	Low Voltage System Single Line Diagrams	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E5.03	Fire Alarm System Single Line Diagrams	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E6.01	Enlarged Rooms Plans - Power	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
E7.01	Electrical Details	The Engineering Enterprise	PS2.03	Issued for Plan Check	01/16/19
TELECOMMUNICATIONS					
T0.1	Title Sheet and Index	Teecom	PS2.03	Issued for Plan Check	01/16/19
T0.2	Pathway Requirements	Teecom	PS2.03	Issued for Plan Check	01/16/19
T1.0	Site Plan	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.1	Overall Floor Plan - Level 1	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.2	Overall Floor Plan - Level 2	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.3	Overall Floor Plan - Level 3	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.4	Overall Floor Plan - Level 4	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.5	Overall Floor Plan - Level 5	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.6	Overall Floor Plan - Level 6	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.7	Overall Floor Plan - Level 7	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.11	Overall Reflected Ceiling Plan - Level 1	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.12	Overall Reflected Ceiling Plan - Level 2	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.13	Overall Reflected Ceiling Plan - Level 3	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.14	Overall Reflected Ceiling Plan - Level 4	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.15	Overall Reflected Ceiling Plan - Level 5	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.16	Overall Reflected Ceiling Plan - Level 6	Teecom	PS2.03	Issued for Plan Check	01/16/19
T2.17	Overall Reflected Ceiling Plan - Level 7	Teecom	PS2.03	Issued for Plan Check	01/16/19
T4.1	Enlarged Room Plan - Electric/Telecom Room, Typ.	Teecom	PS2.03	Issued for Plan Check	01/16/19
T4.2	Enlarged Room Plan - Electric/Telecom Room, Typ.	Teecom	PS2.03	Issued for Plan Check	01/16/19
T4.3	Enlarged Room Plan - Main Electric	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.1	Diagram - Telecommunication Backbone Pathway	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.2	Diagram - Telecommunication Cabling	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.3	Diagram - Telecommunication Grounding	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.4	Diagram - Security Riser	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.5	Diagram - Security ACAMS	Teecom	PS2.03	Issued for Plan Check	01/16/19
T9.6	Diagram - Security VSS and SCS	Teecom	PS2.03	Issued for Plan Check	01/16/19
T10.1	Schedules	Teecom	PS2.03	Issued for Plan Check	01/16/19
T10.2	Installation Details - Telcom Labeling Room and Pathways	Teecom	PS2.03	Issued for Plan Check	01/16/19
T10.3	Installation Details - Grounding and Bonding	Teecom	PS2.03	Issued for Plan Check	01/16/19
T10.4	Installation Details - Security	Teecom	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications					
INTRODUCTORY INFORMATION					
00 01 01	Title Page	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
00 01 02	Inside Cover Page	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
00 01 10	Table of Contents	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 01 - GENERAL REQUIREMENTS					
01 10 00	Summary	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 21 00	Allowances and Unit Prices	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 23 00	Alternates	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 25 00	Substitution Procedures	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 32 00	Construction Progress Documentation	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 33 00	Submittal Procedures	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 42 00	References	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 43 39	Mockups	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 45 23	Testing and Inspecting Services	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 50 00	Temporary Facilities and Controls	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 60 00	Product Requirements	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 71 23	Field Engineering	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 73 29	Cutting and Patching	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 74 10	Cleaning	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 74 19	Construction Waste Management & Disposal	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
01 77 00	Closeout Procedures	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 02 - EXISTING CONDITIONS					
02 41 13	Selective Site Demolition	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 03 - CONCRETE					
03 10 00	Concrete Forming and Accessories	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
03 20 00	Concrete Reinforcing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
03 23 00	Stressing Tendons	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
03 30 00	Cast-In-Place Concrete	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
03 35 00	Concrete Finishing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
03 39 27	Concrete Floor Curing - Vapor Emission Control	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 04 - MASONRY (NOT USED)					
DIVISION 05 - METALS					
05 12 00	Structural Steel Framing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
05 31 00	Steel Decking	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
05 40 00	Cold-Formed Metal Framing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
05 50 00	Metal Fabrications	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
05 51 00	Metal Stairs	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
05 58 00	Formed Metal Fabrications	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 06 - WOODS, PLASTICS AND COMPOSITES (NOT USED)					
DIVISION 07 - THERMAL AND MOISTURE PROTECTION					
07 10 00	Dampproofing and Waterproofing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 18 00	Traffic Coatings	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 21 00	Thermal Insulation	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 42 43	Composite Wall Panels	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 54 23	Thermoplastic Polyolefin (TPO) Roofing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 62 00	Sheet Metal Flashing and Trim	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 84 00	Firestopping	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 07 - THERMAL AND MOISTURE PROTECTION (continued)					
07 92 00	Joint Sealants	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
07 95 00	Expansion Control	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 08 - OPENINGS					
08 11 13	Hollow Metal Doors and Frames	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
08 71 00	Door Hardware	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 09 - FINISHES					
09 22 16	Non-Structural Metal Framing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
09 24 00	Portland Cement Plastering	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
09 29 00	Gypsum Board	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
09 30 00	Tiling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
09 91 00	Painting	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
09 96 23	Graffiti-Resistant Coatings	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 10 - SPECIALTIES					
10 14 00	Signage	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
10 43 13	Defibrillator Cabinets	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
10 44 00	Fire Protection Specialties	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 11 - EQUIPMENT					
11 11 43	Electric Vehicle Charging Equipment	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
11 12 00	Parking Control Equipment	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 12 - FURNISHINGS					
12 93 00	Site Furnishings	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
12 93 13	Bicycle Racks	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 13 - SPECIAL CONSTRUCTION (NOT USED)					
DIVISION 14 - CONVEYING EQUIPMENT					
14 21 00	Electric Traction Elevators	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 21 - FIRE SUPPRESSION					
21 03 00	Fire Protection	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 22 - PLUMBING					
22 04 00	Plumbing System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 23 - HEATING, VENTILATING AND AIR CONDITIONING (HVAC)					
23 00 50	General Mechanical Requirements	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
23 00 60	Electrical Requirements for Mechanical	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
23 06 00	HVAC System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 26 - ELECTRICAL					
26 00 60	Power System Study	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 19	Building Wire and Cable	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 26	Grounding and Bonding	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 29	Electrical Hangers and Supports	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 31	Conduit	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 33	Boxes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 46	Signal Systems Raceway	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 05 53	Electrical Identification	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 09 26	Low-Voltage Lighting Control	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 22 13	Dry Type Transformers	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 24 13	Switchboards	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19

ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 26 - ELECTRICAL (continued)					
26 24 16	Panelboards	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 27 16	Cabinets and Enclosures	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 27 19	Surface Raceways	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 27 26	Wiring Devices	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 28 16	Overcurrent Protective Devices	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 28 19	Disconnect Switches	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 29 00	Motor Controls	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 31 00	Photovoltaic Power Systems <i>[Reference Only - Not in Scope]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 33 23	Central Battery Inverter System <i>[Reference Only - Not in Scope]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 50 00	Lighting	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 61 13	Fire Alarm System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 62 26	Two-Way Communication System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
26 63 16	Distributed Antenna Systems (DAS)	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 27 - COMMUNICATIONS					
27 00 00	Communications Basic Requirements	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 05 26	Communications Bonding and Grounding	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 05 28	Communications ISP Pathways	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 05 33	Communications Pathways - Conduit and Boxes	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 08 11	Communications Fiber Optic Testing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 08 21	Communication Fiber Optic Testing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 11 00	Communication Rooms	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 13 13	Backbone ISP Twisted Pair Cabling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 13 23	Communications Backbone ISP Fiber Cabling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
27 15 13	Communications Horizontal Twisted Pair Cabling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 28 - ELECTRONIC SAFETY AND SECURITY					
28 00 00	Basic Security Requirements	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
28 05 13	Security Cabling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
28 05 53	Security Labeling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
28 08 00	Security Acceptance Testing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
28 13 00	Access Control and Alarm Monitoring System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
28 23 00	Video Surveillance	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 31 - EARTHWORK					
31 00 00	Earthwork and Grading	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
31 10 00	Site Clearing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
31 23 33	Trenching and Backfilling	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
31 45 20	Aggregate Piers <i>[Alternate Specification]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
31 66 20	Drill Displacement Column Ground Improvements	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
DIVISION 32 - EXTERIOR IMPROVEMENTS					
32 12 33	Paving and Surfacing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 17 13	Parking Bumpers <i>[Issued with RFI Responses]</i>	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 17 24	Pavement Marking in Parking Structure	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 17 26	Tactile Warning Surfacing	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 84 00	Landscape Irrigation	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 92 00	Meadow Seeding	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 93 00	Exterior Plants	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
32 94 46	Stainless Steel Trellis System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19



ATTACHMENT "D" - LIST OF CONTRACT DOCUMENTS

Parking Structure (PS-2) Project (Project 419006)

Redwood City, CA 94063

Date: 03/19/19

Dwg.	Title	Prepared By	Rev #	Revision Name	Rev Date
Parking Structure 2 - Specifications (continued)					
DIVISION 33 - UTILITIES					
33 05 13	Utility Grade Adjustment	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
33 10 00	Water System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
33 30 00	Sanitary Sewer System	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
33 40 00	Storm Drainage	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
33 46 00	Subdrainage	Watry Design, Inc.	PS2.03	Issued for Plan Check	01/16/19
TRUEBECK CONSTRUCTION ATTACHMENTS					
	Instructions for Proposal - Parking Structure 2	Truebeck Construction	Rev. 7	Issued for Bidding	03/08/19
	Attachment A - Truebeck Construction Insurance Requirements	Truebeck Construction	Rev. 1	Project Specific Insurance Requirements	12/04/18
	Attach A.1 CCIP Manual - SM COB3 PS2 Lathrop 031419	Truebeck Construction		Project Specific Insurance Requirements	03/18/19
	Attachment B - Truebeck Construction Subcontractor Billing Packet	Truebeck Construction		Truebeck Billing Requirements	08/19/16
	Attachment C - General Requirements	Truebeck Construction		Project Specific General Requirements	02/21/19
	Attachment C.1 - Scope of Work (Trade Specific)	Truebeck Construction		Issued for Bidding	01/16/19
	Attachment D- List of Contract Documents	Truebeck Construction	Rev. 7	Issued for Bidding	03/19/19
	Attachment E - Master Schedule	Truebeck Construction	Rev. 4	Issued for Bidding	03/19/19
	Attachment F - Logistics Plan	Truebeck Construction	Rev. 1	Issued for Bidding	03/14/19
	Attachment G - BIM (Building Information Modeling) Execution Plan	Truebeck Construction	Rev. 2	Issued for Bidding	03/07/19
	Attachment H - Truebeck IIPP & Safety Programs Manual	Truebeck Construction	Rev. 3	Truebeck Safety Requirements	February 19
	Attachment H.1 - Respirable Crystalline Silica Program	Truebeck Construction		Truebeck Safety Requirements	09/01/17
	Attachment J - Division 00 and 01 Specs from County of San Mateo	County of San Mateo		Issued for Bidding	07/16/18
	Attachment K - Geotechnical Investigation Supplemental Getotech Exploratio, Rev. 4	Engeo	Rev. 4	Issued for Bidding	02/12/19
	Attachment K.1 - Geotechnical Investigation Supplemental Report, COB-3 & PS-2	Engeo	COB.03	Issued for Bidding	03/22/19
	Attachment K.2 - KLF Geotechnical Exploration Data & Lab, PS2	Kleinfelder		Issued for Reference	01/24/18
	Attachment L - SMC PS2 Storm Drainage Report (Reference Only)	BKF		Issued for Bidding	February 19
	Attachment M - Hazardous Materials Survey Report	Znap Fly	COB.03	Issued for Bidding	03/22/19
	Pre-Bid RFI Log	Truebeck Construction			As Dated

10/ Site Logistics

TRUEBECK
CONSTRUCTION

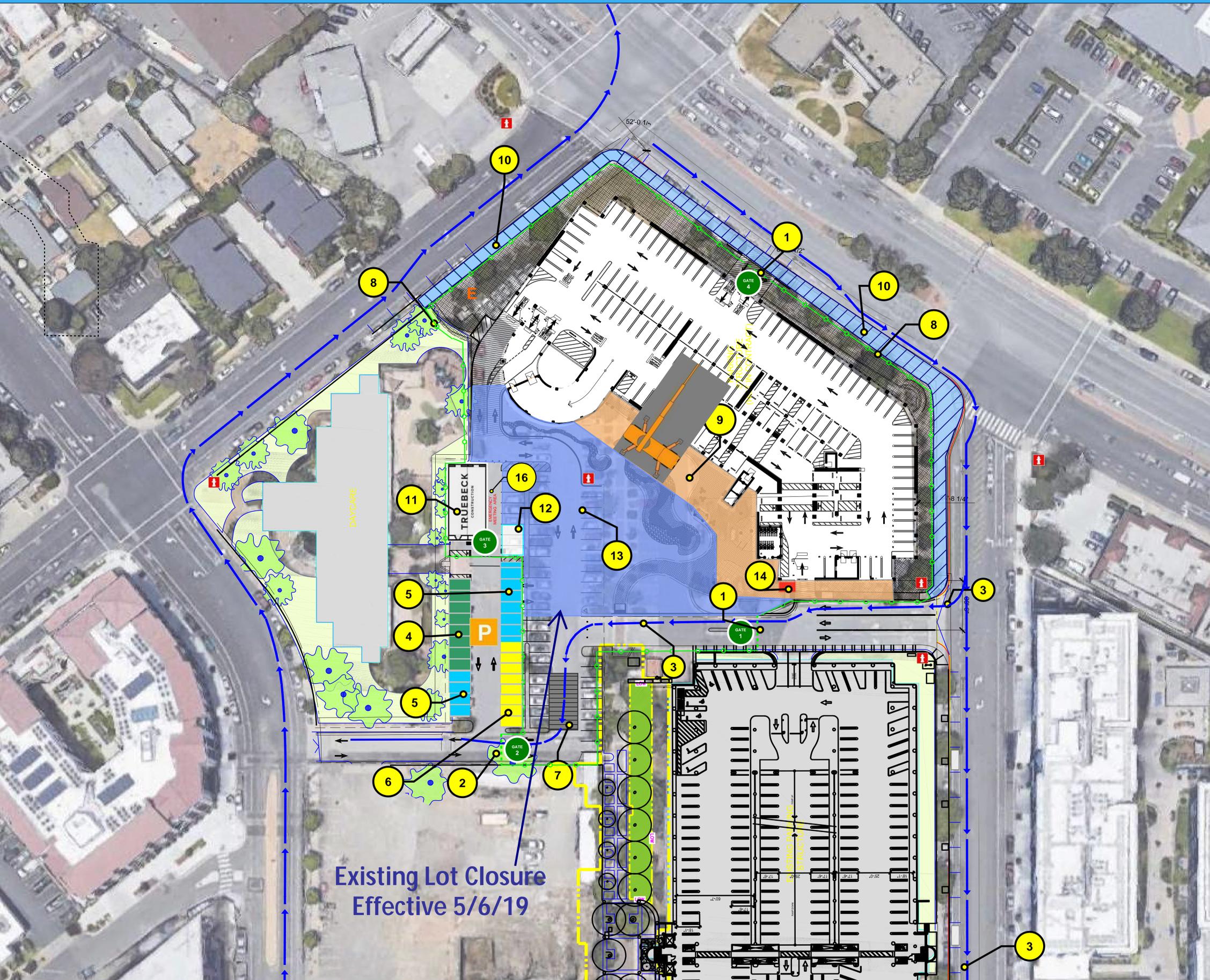
PS-2 & COB-3 OVERALL LOGISTICS PLAN

KEY

- 1 Entrance Gate
- 2 Exit Gate
- 3 Delivery Route
- 4 Childcare Parking
- 5 Truebeck Parking
- 6 Commissioner/FD Pkg.
- 7 Wheel Washout
- 8 Site Fence
- 9 Crane and Crane Path
- 10 Pedestrian Protection
- 11 Site Office(s)
- 12 Designated Lunch Area
- 13 Laydown Area
- 14 Man Lift / Hoist
- 15 Potential Offsite Pkg.
- 🔥 Fire Hydrant
- ⚡ Incoming Electrical Svc
- 16 Emergency Mtg Area



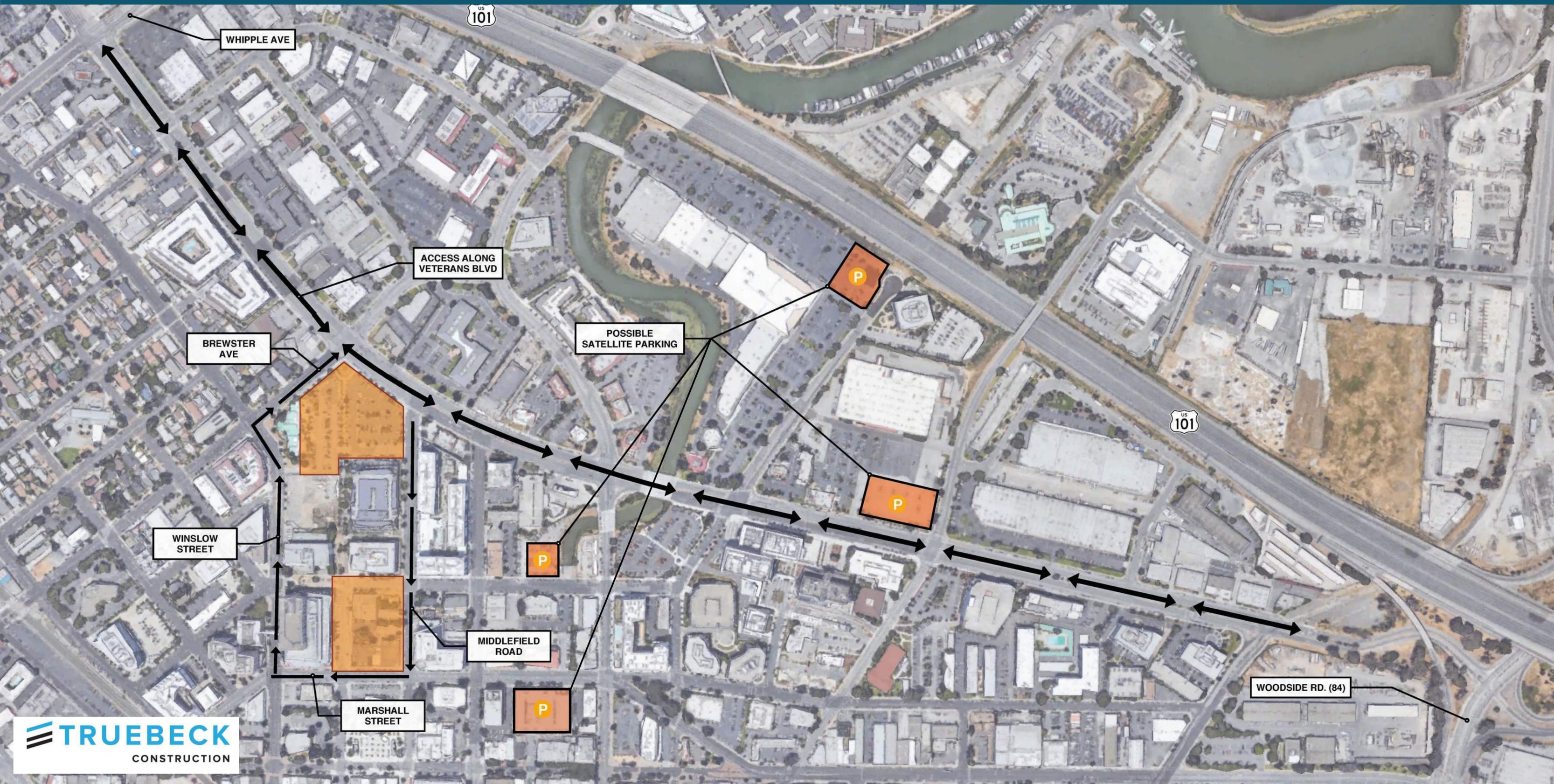
PS-2 LOGISTICS PLAN



KEY

- ① Entrance Gate
- ② Exit Gate
- ③ Delivery Route
- ④ Childcare Parking
- ⑤ Truebeck Parking
- ⑥ Commissioner/FD Pkg.
- ⑦ Wheel Washout
- ⑧ Site Fence
- ⑨ Crane and Crane Path
- ⑩ Pedestrian Protection
- ⑪ Site Office(s)
- ⑫ Designated Lunch Area
- ⑬ Laydown Area
- ⑭ Man Lift / Hoist
- ⑮ Potential Offsite Pkg.
- 🚒 Fire Hydrant
- ⚡ Incoming Electrical Svc
- ⑯ Emergency Mtg Area

HAUL ROUTE



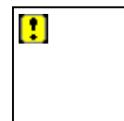
11/ Project Schedule

TRUEBECK
CONSTRUCTION

County of San Mateo - Parking Structure

GMP SCHEDULE 2 19 20 (Embedded Rain Days)

All Activities



#	Activity Name	Original Duration	Predecessors	Successors	Start	Finish	2018												2019												2020												2021											
							M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A								
1	Cnty of San Mateo Pkg Strctr GMP Schedule Emb Rain Days (DD:201	745			07-Jun-18 A	01-Jun-21	Cnty of San Mateo Pkg Strctr GMP Schedule Emb Rain Days (DD:2019NOV(25) - 2 19 20 GMP For Record Only																																															
2	MILESTONES	745			07-Jun-18 A	01-Jun-21	MILESTONES																																															
3	Phase 1 Preconstruction NTP	0		SOC-1000, I	07-Jun-18 A		Phase 1 Preconstruction NTP																																															
4	Phase 1 Preconstruction Completion	0	BP1-1040, BP2-2040			18-Apr-19 A	Phase 1 Preconstruction Completion																																															
5	Phase 2 Parking Structure NTP	0	PREP-1080, UTL-1070	PREP-1010	01-Nov-19 A		Phase 2 Parking Structure NTP																																															
6	Phase 2 Parking Structure Start Construction	0	DEMO-1000, UTL-107		01-Nov-19 A		Phase 2 Parking Structure Start Construction																																															
7	Foundations Start	0	GI-269.1		25-Nov-19		Foundations Start																																															
8	SOG Complete	0	STR1-3130			15-May-20	SOG Complete																																															
9	Exterior Systems Start	0	EXT-1000, EXT-1010		09-Oct-20		Exterior Systems Start																																															
10	FLS Systems Pre-Testing Start	0	STCx-1000		04-Dec-20		FLS Systems Pre-Testing Start																																															
11	Sitework and Hardscape Start	0	SITE-2010, SITE-4040		15-Dec-20		Sitework and Hardscape Start																																															
12	Permanent Power HOT	0	INT-1030, INT-1130		22-Dec-20		Permanent Power HOT																																															
13	Weather Tight (Shafts)	0	EXT-1380			28-Jan-21	Weather Tight (Shafts)																																															
14	Elevator Installation Start	0	ELEV-1080		29-Jan-21		Elevator Installation Start																																															
15	Structural Concrete Top Out	0	STR7-3170, STRR-61			22-Feb-21	Structural Concrete Top Out																																															
16	Phase 2 Parking Structure Substantial Completion	0	INSP-1030, CLOS-10C			29-Apr-21	Phase 2 Parking Structure Substantial Completion																																															
17	Phase 2 Parking Structure Final Completion	0	CLOS-1040			01-Jun-21	Phase 2 Parking Structure Final Completion																																															
18	DESIGN	202			12-Jun-18 A	04-Apr-19 A	DESIGN																																															
19	Schematic Design (SD's)	39	NTP-1000	DSUB-1010,	12-Jun-18 A	06-Aug-18 A	Schematic Design (SD's)																																															
20	SD Owner Review	10	DSUB-1000	DSUB-1020,	07-Aug-18 A	20-Aug-18 A	SD Owner Review																																															
21	Design Development (DD's)	50	DSUB-1010, DSUB-10	DSUB-1060,	07-Aug-18 A	17-Oct-18 A	Design Development (DD's)																																															
22	SD Set Complete	0	DSUB-1000	DSUB-1020		07-Aug-18 A	SD Set Complete																																															
23	Elevator BOD Issuance	0	DSUB-1000	BP-1000, BF	17-Aug-18 A		Elevator BOD Issuance																																															
24	DD Set Complete	1	DSUB-1020	DSUB-1070	17-Oct-18 A	17-Oct-18 A	DD Set Complete																																															
25	DD Internal Package Review	10	DSUB-1020	DSUB-1070	18-Oct-18 A	31-Oct-18 A	DD Internal Package Review																																															
26	Construction Document (CD's)	62	DSUB-1060, DSUB-10	DSUB-1080,	18-Oct-18 A	18-Jan-19 A	Construction Document (CD's)																																															
27	Cost Update Package for Pricing CD's	1	DSUB-1070	EST-1080	12-Dec-18 A	12-Dec-18 A	Cost Update Package for Pricing CD's																																															
28	Issue Bid Documents	1	DSUB-1070	BP1-1000, B	18-Jan-19 A	18-Jan-19 A	Issue Bid Documents																																															
29	CD Internal Package Review	0	DSUB-1070	PERM-1000		22-Jan-19 A	CD Internal Package Review																																															
30	Updated Drawings per Plan Check Rd 1	0	PERM-1020	PERM-1030		04-Apr-19 A	Updated Drawings per Plan Check Rd 1																																															
31	PERMITTING	296			01-Feb-19 A	08-Apr-20	PERMITTING																																															
32	Building Permit	218			01-Feb-19 A	28-Oct-19 A	Building Permit																																															
33	Grd. Imp. (#2019-00879)	149			12-Apr-19 A	14-Aug-19 A	Grd. Imp. (#2019-00879)																																															
34	Submit for Plan Check Review	1	CSUB-1140	PERM-1100	12-Apr-19 A	12-Apr-19 A	Submit for Plan Check Review																																															
35	Permit Issued	3	PERM-1040	PREP-1080,	12-Aug-19 A	14-Aug-19 A	Permit Issued																																															
36	Structure (#2019-00231)	133			01-Feb-19 A	16-Aug-19 A	Structure (#2019-00231)																																															
37	Submit for Plan Check Review (1st Rd)	1	DSUB-1100	PERM-1010	01-Feb-19 A	01-Feb-19 A	Submit for Plan Check Review (1st Rd)																																															
38	Plan Check Review (1st Rd)	30	PERM-1000	PERM-1020	04-Feb-19 A	19-Mar-19 A	Plan Check Review (1st Rd)																																															
39	Respond to PC Comments (1st Rd)	11	PERM-1010	DSUB-1110,	28-Feb-19 A	03-Apr-19 A	Respond to PC Comments (1st Rd)																																															
40	Plan Check Review (2nd Rd)	10	PERM-1020, DSUB-11	PERM-1050	04-Apr-19 A	17-Apr-19 A	Plan Check Review (2nd Rd)																																															
41	Respond to PC Comments (2nd Rd)	10	PERM-1030	PERM-1060	18-Apr-19 A	01-May-19 A	Respond to PC Comments (2nd Rd)																																															
42	Plan Check Review (3rd Rd)	24	PERM-1050	PERM-1070	02-May-19 A	05-Jun-19 A	Plan Check Review (3rd Rd)																																															
43	Respond to PC Comments (3rd Rd)	7	PERM-1060	PERM-1080	10-May-19 A	14-Jun-19 A	Respond to PC Comments (3rd Rd)																																															
44	Plan Check Review (4th Rd)	15	PERM-1070	PERM-1090	17-Jun-19 A	08-Jul-19 A	Plan Check Review (4th Rd)																																															

County of San Mateo - Parking Structure

GMP SCHEDULE 2 19 20 (Embedded Rain Days)

All Activities



#	Activity Name	Original Duration	Predecessors	Successors	Start	Finish	2018												2019												2020												2021											
							M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A								
89	Early Bid Packages	121			18-Sep-18 A	18-Mar-19 A	<div style="text-align: center;"> ▼ Early Bid Packages </div>																																															
90	Elevators Bid Package	77			18-Sep-18 A	10-Jan-19 A	<div style="text-align: center;"> ▼ Elevators Bid Package </div>																																															
91	Prepare Bid Documents	14	DSUB-1040	BP-1010	18-Sep-18 A	05-Oct-18 A	<div style="text-align: center;"> ▼ 18-Sep-18 A ■ Prepare Bid Documents </div>																																															
92	Bid Period	22	BP-1000	BP-1020	09-Oct-18 A	07-Nov-18 A	<div style="text-align: center;"> ▼ 09-Oct-18 A ■ Bid Period </div>																																															
93	Receive and Review Bids	1	BP-1010	BP-1030	08-Nov-18 A	08-Nov-18 A	<div style="text-align: center;"> ▼ 08-Nov-18 A ■ Receive and Review Bids </div>																																															
94	PDU Review Bids	40	BP-1020	BP-1050	09-Nov-18 A	10-Jan-19 A	<div style="text-align: center;"> ▼ 09-Nov-18 A ■ PDU Review Bids </div>																																															
95	PDU Bids Approved	1	BP-1030	PROC-1000	10-Jan-19 A	10-Jan-19 A	<div style="text-align: center;"> ▼ 10-Jan-19 A ■ PDU Bids Approved </div>																																															
96	Ground Improvement Bid Package	51			02-Jan-19 A	18-Mar-19 A	<div style="text-align: center;"> ▼ Ground Improvement Bid Package </div>																																															
97	Prepare Bid Documents	10	DSUB-1040	BP-1060	02-Jan-19 A	15-Jan-19 A	<div style="text-align: center;"> ▼ 02-Jan-19 A ■ Prepare Bid Documents </div>																																															
98	Bid Period	19	BP-1040	BP-1070	16-Jan-19 A	13-Feb-19 A	<div style="text-align: center;"> ▼ 16-Jan-19 A ■ Bid Period </div>																																															
99	Receive and Review Bids	1	BP-1060	BP-1080	14-Feb-19 A	14-Feb-19 A	<div style="text-align: center;"> ▼ 14-Feb-19 A ■ Receive and Review Bids </div>																																															
100	PDU Review Bids	10	BP-1070	BP-1090, CS	22-Feb-19 A	07-Mar-19 A	<div style="text-align: center;"> ▼ 22-Feb-19 A ■ PDU Review Bids </div>																																															
101	PDU Bids Approved	0	BP-1080	BP-1100		08-Mar-19 A	<div style="text-align: center;"> ▼ ■ PDU Bids Approved </div>																																															
102	Truebeck Issue Subcontracts	6	BP-1090	CSUB-1080	11-Mar-19 A	18-Mar-19 A	<div style="text-align: center;"> ▼ 11-Mar-19 A ■ Truebeck Issue Subcontracts </div>																																															
103	Bid Packaging and Management #1	55			18-Jan-19 A	09-Apr-19 A	<div style="text-align: center;"> ▼ Bid Packaging and Management #1 </div>																																															
104	Prepare Bid Documents	10	DSUB-1090	BP1-1010, B	18-Jan-19 A	01-Feb-19 A	<div style="text-align: center;"> ▼ 18-Jan-19 A ■ Prepare Bid Documents </div>																																															
105	Bid Period	27	DSUB-1090, BID-1040	BP1-1020	04-Feb-19 A	14-Mar-19 A	<div style="text-align: center;"> ▼ 04-Feb-19 A ■ Bid Period </div>																																															
106	Receive and Review Bids	12	BP1-1010	BP1-1030	15-Mar-19 A	01-Apr-19 A	<div style="text-align: center;"> ▼ 15-Mar-19 A ■ Receive and Review Bids </div>																																															
107	PDU Review Bids	5	BP1-1020	BP1-1040	02-Apr-19 A	08-Apr-19 A	<div style="text-align: center;"> ▼ 02-Apr-19 A ■ PDU Review Bids </div>																																															
108	PDU Bids Approved	0	BP1-1030	SC-1000, PF		09-Apr-19 A	<div style="text-align: center;"> ▼ ■ PDU Bids Approved </div>																																															
109	Bid Packaging and Management #2	55			18-Jan-19 A	09-Apr-19 A	<div style="text-align: center;"> ▼ Bid Packaging and Management #2 </div>																																															
110	Prepare Bid Documents	15	BP1-1000	BP2-2010	18-Jan-19 A	08-Feb-19 A	<div style="text-align: center;"> ▼ 18-Jan-19 A ■ Prepare Bid Documents </div>																																															
111	Bid Period	22	BP2-2000	BP2-2020	11-Feb-19 A	14-Mar-19 A	<div style="text-align: center;"> ▼ 11-Feb-19 A ■ Bid Period </div>																																															
112	Receive and Review Bids	12	BP2-2010	BP2-2030	15-Mar-19 A	01-Apr-19 A	<div style="text-align: center;"> ▼ 15-Mar-19 A ■ Receive and Review Bids </div>																																															
113	PDU Review Bids	5	BP2-2020	BP2-2040	02-Apr-19 A	08-Apr-19 A	<div style="text-align: center;"> ▼ 02-Apr-19 A ■ PDU Review Bids </div>																																															
114	PDU Bids Approved	0	BP2-2030	SC-1000, PF		09-Apr-19 A	<div style="text-align: center;"> ▼ ■ PDU Bids Approved </div>																																															
115	Bid Addendum per Plan Check Response #1	19			25-Mar-19 A	18-Apr-19 A	<div style="text-align: center;"> ▼ Bid Addendum per Plan Check Response #1 </div>																																															
116	Issue Bid Addendum (as applicable)	1	PERM-1020	BP3-3010	25-Mar-19 A	25-Mar-19 A	<div style="text-align: center;"> ▼ 25-Mar-19 A ■ Issue Bid Addendum (as applicable) </div>																																															
117	Bid Period	7	BP3-3000	BP3-3020	26-Mar-19 A	03-Apr-19 A	<div style="text-align: center;"> ▼ 26-Mar-19 A ■ Bid Period </div>																																															
118	Receive and Review Bids	5	BP3-3010	BP3-3030	04-Apr-19 A	10-Apr-19 A	<div style="text-align: center;"> ▼ 04-Apr-19 A ■ Receive and Review Bids </div>																																															
119	PDU Review Bids	5	BP3-3020	BP3-3040	11-Apr-19 A	17-Apr-19 A	<div style="text-align: center;"> ▼ 11-Apr-19 A ■ PDU Review Bids </div>																																															
120	PDU Bids Approved	0	BP3-3030	PROC-1030		18-Apr-19 A	<div style="text-align: center;"> ▼ ■ PDU Bids Approved </div>																																															
121	PHASE 2 PROCUREMENT	567			11-Jan-19 A	19-Apr-21	<div style="text-align: center;"> ▼ PHASE 2 PROCUREMENT </div>																																															
122	Award Elevator Subcontractor	5	BP-1050	CSUB-1060	11-Jan-19 A	17-Jan-19 A	<div style="text-align: center;"> ▼ 11-Jan-19 A ■ Award Elevator Subcontractor </div>																																															
123	Award Subcontracts BP#2	20	BP2-2040	CSUB-1250,	10-Apr-19 A	07-May-19 A	<div style="text-align: center;"> ▼ 10-Apr-19 A ■ Award Subcontracts BP#2 </div>																																															
124	Award Subcontracts BP #1	20	BP1-1040, EST-1100,	PROC-1040	10-Apr-19 A	07-May-19 A	<div style="text-align: center;"> ▼ 10-Apr-19 A ■ Award Subcontracts BP #1 </div>																																															
125	Award Subcontracts-Bid Addendum	20	BP3-3040	CSUB-1000,	18-Apr-19 A	15-May-19 A	<div style="text-align: center;"> ▼ 18-Apr-19 A ■ Award Subcontracts-Bid Addendum </div>																																															
126	Truebeck Issue Subcontracts BP #1	10	PROC-1010	CSUB-1380,	08-May-19 A	21-May-19 A	<div style="text-align: center;"> ▼ 08-May-19 A ■ Truebeck Issue Subcontracts BP #1 </div>																																															
127	Construction Submittals / Procurement	562			05-Mar-19 A	19-Apr-21	<div style="text-align: center;"> ▼ Construction Submittals / Procurement </div>																																															
128	Concrete	247			25-Apr-19 A	20-Apr-20	<div style="text-align: center;"> ▼ Concrete </div>																																															
129	Rebar - Foundations	181			25-Apr-19 A	15-Jan-20	<div style="text-align: center;"> ▼ Rebar - Foundations </div>																																															
130	Prepare Submittal - Foundation Rebar	20	PROC-1030	CSUB-1010	25-Apr-19 A	22-May-19 A	<div style="text-align: center;"> ▼ 25-Apr-19 A ■ Prepare Submittal - Foundation Rebar </div>																																															
131	Review - Foundation Rebar	21	CSUB-1000	PROC-2120	17-Jun-19 A	03-Jul-19 A	<div style="text-align: center;"> ▼ 17-Jun-19 A ■ Review - Foundation Rebar </div>																																															
132	Revise and Resubmit Rev. 1 - Foundation Rebar	1	CSUB-1010	CSUB-1030	04-Jul-19 A	22-Jul-19 A	<div style="text-align: center;"> ▼ 04-Jul-19 A ■ Revise and Resubmit Rev. 1 - Foundation Rebar </div>																																															

12/ Constructability Review Comments



**SMC Parking Structure 2
Constructability Review Comments
Issued for Plan Check**

Page Label	Comments	Subject	Author	Date
C4.0	Sheet C6.2 is the Fire Access Plan, update callout	Truebeck Cloud+	Nate.Lohman	2/5/2019
C4.0	Sheet C6.2 is the Fire Access Plan, update callout	Truebeck Cloud+	Nate.Lohman	2/5/2019
C6.0	2" SS Building Connection is shown, but on sheet MP2.1 a 4" SS building connection is shown. Which one is correct?	Cloud+	James.Rodrigues	1/18/2019
C6.0	Show the 1"DCW point of connection. Sheet MP2.1 indicates that the plumber is to connect. The civil u.ground line needs to be shown.	Callout	James.Rodrigues	1/18/2019
LA2.01	Note on the well is blocking the irrigation controller note	Truebeck Call-Out	Nate.Lohman	2/5/2019
LA3.02	Confirm if there is any waterproofing at building walls and footings adjacent to planting. Details to be provided.	Callout	Anantha.Puttaswamy	1/25/2019
A3.1	092400 Plaster Spec calls for standard grey color, to receive painted finish. Drawings call for integral color finish, Color - TBD. Watry to advise which is correct	Callout	Matt Ocon	2/8/2019
A3.3	Indicate Revenue Control System. Specification 111200 Parking Control Equipment is a design build specification, but it doesn't seem to indicate parking reveal	Callout	Anantha.Puttaswamy	2/13/2019
A4.2	Indicate the Ultrasonic Bi-Directional Sensors for Parking Guidance System is to be included as Add Alternate. Sign G-DIR-11 as shown on detail 5/AG3.4 and I	Callout	Anantha.Puttaswamy	2/13/2019
A8.8	Watry to confirm Waterproofing continues underneath elevator pit. Detail 5/A9.1 shows waterproofing terminating at the base of the wall.	Callout	Matt Ocon	1/18/2019
A8.8	Confirm waterproofing will lie directly on the soil. If not, provide detail.	Callout	Matt Ocon	1/18/2019
A8.9	Needs to be flush mounted	Callout	Ross.Bottarini	3/5/2019
A9.1	Watry to clarify what dashed line represents. Sheathing, Waterproofing?	Callout	Matt Ocon	1/25/2019
A9.1	Specs call for both Sheet Applied Membrane Waterproofing and Crystalline Waterproofing at the elevator pits walls and and floors. Watry to confirm both sys	Callout	Matt Ocon	1/24/2019
A9.5	Detail 4/A9.5 indicate Alternate Exterior Monument Sign. The only monument sign shown on drawing AG2.1 at this location is a Site Wayfinding Sign type S-D	Callout	Anantha.Puttaswamy	2/13/2019
A9.5	Need to make sure these clear PT cables	Cloud+	Ross.Bottarini	3/4/2019
A9.6	Spec Missing. Watry to provide the specs.	Callout	Anantha.Puttaswamy	1/24/2019
A9.7	Watry to advise if there are any special requirements for batt insulation. No information found in specs.	Callout	Matt Ocon	1/25/2019
A10.1	Hardware Group 4 not provided in specs, specs indicate group 1	Truebeck Call-Out	Nate.Lohman	2/5/2019
S4.1	Will T-Heads have clearance to outside of forms?	Callout	Ross.Bottarini	3/4/2019
S4.1	Make dowels long enough so they don't need rebar protection	Callout	Ross.Bottarini	3/4/2019
S4.2	Cant find where this occurs	Callout	Ross.Bottarini	3/4/2019
S7.3	Need to make sure these clear PT cables	Cloud+	Ross.Bottarini	3/4/2019
S8.3	What is HSS for?	Cloud+	Ross.Bottarini	3/4/2019
E0.02	Confirm AL or Cu Busing	Text Box	Mark.Helzer	2/21/2019
E0.02	Electrical panels have a maximum capacity of 42 circuits, this has 60. Provide an updated panel schedule that reflects multi-sections and connection intent be	Text Box	Mark.Helzer	2/21/2019
E0.02	Confirm quantity of sections for Panels LEV1, LEV2, LEV4, LEV6 and PV, as all exceed the 42 circuit, single panel/section maximum as shown.	Callout	Mark.Helzer	2/21/2019
E2.01	Missing PV Level lighting plan	Typewritten Text	Ross.Bottarini	3/5/2019
E3.01	Sheet Note #6 on dwg E3.01 indicates locations to provide Power for Parking Guidance System sign. In comparing these power locations w/ Sign type G-DIR-1	Callout	Anantha.Puttaswamy	2/13/2019
E5.01	Confirm if multiple sections of this Panel are required. (See panel schedule comments)	Callout	Mark.Helzer	2/21/2019
E5.01	Confirm & specify what is to be included vs excluded for PV in this bid package.	Callout	Mark.Helzer	2/21/2019
MP2.1	C6.0 Indicates Invert at 6.66	Truebeck Call-Out	Nate.Lohman	2/5/2019
MP2.1	Per sheet C6.0, this SS connection is sized at 2".	Callout	James.Rodrigues	1/18/2019
T1.0	Continuation of scope outside of the building is unclear.	Truebeck Call-Out	Nate.Lohman	2/5/2019



**SMC Parking Structure 2
Constructability Review Comments
Plan Check Response #2**

Page Label	Comments	Subject	Author	Date
L2.01	Architect please advise on location/detail.	Truebeck Cloud+	Nate.Lohman	6/21/2019
A0.2	Please provide details to show requirements.	Truebeck Cloud+	Nate.Lohman	6/22/2019
A0.2	Please coordinate and indicate this signage in the signage design drawings.	Truebeck Cloud+	Nate.Lohman	6/22/2019
A2.1	Please provide a location for this separator, refer to MP2.1. Current location conflicts with Truncated domes	Truebeck Cloud+	Nate.Lohman	6/21/2019
A8.1	Add cane rail and provide detail due to prevent impact	Truebeck Cloud+	Nate.Lohman	6/22/2019
A8.3	Rob: Elevator Wall type not indicated	Callout	Nate.Lohman	6/20/2019
C3.0	Is this box traffic rated? Assumed that the 'owner' of this utility will adjust as required	Truebeck Cloud+	Nate.Lohman	6/19/2019
C3.0	Please confirm that the SD line does not continue or require demo in the clouded area.	Cloud+	Nate.Lohman	6/19/2019
C3.0	Please provide as-builts for the UG utilities in this location to perform the PG&E infrastructure scope	Cloud+	Nate.Lohman	6/19/2019
C4.0	Provide Detail & Location	Truebeck Cloud+	Nate.Lohman	6/19/2019
C4.0	Coordinating Striping plan in this location and indicate stop sign requirement. Architectectual sheets striping do not match the Horizontal Control Plan	Truebeck Cloud+	Nate.Lohman	6/19/2019
C4.0	Provide Detail & Location	Truebeck Cloud+	Nate.Lohman	6/19/2019
C4.0	Provide Detail & Locate	Truebeck Cloud+	Nate.Lohman	6/19/2019
C5.0	This area of work is noted for demolition, however no AC patch back work is indicated or striping. Please update the plans to show AC where the demolition lines are shown on the demo plans	Cloud+	Nate.Lohman	6/19/2019
C5.0	These areas should be shown on the demo plan, please update	Cloud+	Nate.Lohman	6/19/2019
C6.0	Provide conduit size, depth, wire size, etc.	Callout	Nate.Lohman	6/19/2019
C6.0	Civil Plans indicate 1.5" water meter this conflicts with the Irrigation plans that call for 1"	Truebeck Cloud+	Nate.Lohman	6/21/2019
C6.0	Is a drainage pipe needed here? Structural detail 11/S4.3 alludes to a drain pipe and drain rock needed but does not call it out.	Truebeck Cloud+	Nate.Lohman	6/19/2019
E1.01	Sheet L2.01 is indicating to refer to electrical sheets for controller power requirements. Please provide power requirements, panel to provide power	Truebeck Cloud+	Nate.Lohman	6/21/2019
E1.01	See PG&E Substructure Drawings	Truebeck Cloud+	Nate.Lohman	6/19/2019
E3.01	This electrical plan is made from backgrounds that indicate an MPOE room here, however architectural sheets do not have walls or a door for an MPOE room.	Truebeck Cloud+	Nate.Lohman	6/21/2019
FP2.1	Coverage required at awning?	Truebeck Cloud+	Nate.Lohman	6/22/2019
FP2.1	Coverage required under landings and treads at each level?	Truebeck Cloud+	Nate.Lohman	6/22/2019
FP2.7	If bollards are required, provide lcoations and details	Truebeck Cloud+	Nate.Lohman	6/20/2019
FP2.7	Are sprinklers required at the top level of the elevator shaft?	Truebeck Cloud+	Nate.Lohman	6/20/2019
FP2.7	Are sprinklers required under the landings and risers?	Truebeck Cloud+	Nate.Lohman	6/22/2019
MP2.1	Please provide a location ofor this separator. Current location conflicts with Truncated domes	Truebeck Cloud+	Nate.Lohman	6/21/2019
MP2.1	Architectural sheet A9.1/detail 5 reference a drainage pipe here for plumbing scope however none shown on plumbing plans to show what is required or connection points.	Truebeck Cloud+	Nate.Lohman	6/19/2019
T1.0	Nate: Path / length is cut off. Please provide.	Callout	Nate.Lohman	6/11/2019

13/ Pre-Bid RFI's

TRUEBECK
CONSTRUCTION



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
1)	Metal Panels	Specifications	Please provide spec section 074113 Metal Roof Panels	To Follow. We'll work with the rep and our spec writer consultant with this and send it your way.2.Watry Design provided the specs on 01 30 19	Watry	01/30/19	01/30/19
2)	Vine Cable	Specifications	Please provide spec section for Vine Cable Trellis	Watry provided specs	Watry	01/25/19	01/25/19
3)	Plaster	Specifications	Please provide spec 092400 Portland cement plastering	Watry provided specs	Watry	01/25/19	01/25/19
4)	Waterproofing	Specifications	Specs Call for both sheet applied membrane and crystalline waterproofing at the elevator pit walls and floors. Please confirm if both systems are required. Refer 071000	WE'RE USING MEMBRANE ONLY. SEE ATTACHED REVISED WATERPROOFING SECTION.	Watry	01/25/19	01/30/19
5)	Drywall & Insulation	Issued for plan check drawings	Please advise if there are any special requirements for batt insulation. No information found in specs	OUR CONSULTANT RECOMMENDS TO HAVE THE BATT INSULATION ON ALL THE CONDITIONED ROOMS. ATTACHED IS THE SPEC. SECTION	Watry	01/25/19	01/30/19
6)	Waterproofing	Issued for plan check drawings	Detail 16 / Page A9.1 – Please clarify what dashed line represents. Sheathing, Waterproofing?	THE HIDDEN LINE SHOULD SHOW THIN HALFTONED. THE LINE REPRESENTS THE BEND OF THE PANEL AT HORIZONTAL JOINTS. WE'RE NOT ANTICIPATING SHEATHING OR WATERPROOFING FOR THE COLUMN COVERS.	Watry	01/25/19	01/25/19
7)	Waterproofing	Issued for plan check drawings	Page LA3.02 Notes call out for waterproofing at building walls and footings adjacent to planting. Details to be provided.	THERE'S NO WATERPROOFING AT THE BUILDING WALLS AND FOOTINGS. THE ONLY PORTION IF WE HAVE WATERPROOFING WOULD BE AT ELEVATOR PIT AND DAMPPROOFING AT THE RETAINING WALL UNDER THE RAMP.	Watry	01/25/19	01/25/19
8)	Waterproofing	Issued for plan check drawings	Page LA3.02 Notes call out for waterproofing at building walls and footings adjacent to planting. Details to be provided.	THE WATERPPROOFING STOPS AT THE WALL ONLY SIMILAR TO 5/A9.1	Watry	01/25/19	01/30/19
9)	Site Utilities	Issued for plan check drawings	Show the 1" DCW Point of connection Sheet MP2.1 indicates that the plumber is to connect. The civil u. ground line needs to be shown. 2" SS building connection is shown, but on sheet MP2.1 a 4" SS building connection is shown. Which one is correct?	CONFIRMED WITH BOTH PLUMBING AND CIVIL, SS SHOULD BE 4". THE DCW CONNECTION WILL BE ADDED TO CIVIL DRAWINGS FOR THE NEXT ROUND OF DOCUMENTS.	Watry	01/25/19	01/25/19
10)	Site Utilities	Issued for plan check drawings	Per sheet C6.0 this SS Connection is sized at 2". Please confirm if its 2" or 4"?	Watry confirms it as 4"	Watry	01/25/19	01/25/19
11)	Ground Improvements	KLF Attachment K.1	The Geotech Report for this project shows (4) CPT's. Please provide the raw data for these in either Excel or Text Format.	Excel and Data Files from Kleinfelder are uploaded into Building Connected. Note that one for the four planned CPTs encountered early refusal and they had decided to terminate.	Engeo	02/01/19	02/05/19
12)	Ground Improvements	PS2 Issue for Permit	Please provide the actual structure loads at each foundation element	Please see attached 2019-02-05 SMC PS2 Foundation Loading Plan RFI 2	Watry	02/01/19	02/05/19
13)	Ground Improvements	Spec 314520 and 316620	Specification 314520 and 316620 note that DDC Installer shall demonstrate that the proposed system has been ICC certified or pre-approved by the local jurisdiction. According to one of the proposers, this requirement cannot be achieved. Please advise	Per the follow-up conversation with Engeo and Rick Hake, The approval by the EOR and the local authority satisfies the intent of the specification. ICC certification / approval is not necessary or even relevant.	Watry/Engeo	02/14/19	02/19/19
14)	Parking Control Equipment	3/A3.3, 1/A5.2	Details 3/A3.3 and 1/A5.2 indicate Revenue Control System for the Parking Structure. Specification 111200 Parking Control Equipment is a design build specification, but it doesn't seem to indicate Parking Revenue System. Please advise if this revenue system is required and if so, please provide a brief description of the intent or requirement of this system.	Garage is employee only, system is for card access only no revenue or pay stations included. Notes will be revised in next submittal	Watry	02/14/19	03/07/19
15)	Parking Control Equipment	1/A4.2, AG2.1 through AG2.6, AG3.4	Dwg A4.2 indicate the Ultrasonic Bi-Directional Sensors for Parking Guidance System is to be included as Add Alternate. Sign G-DIR-11 as shown on detail 5/AG3.4 and located on drawings AG2.1 through AG2.6 are electronic signs associated w/ this Parking Guidance System. Please confirm that the Parking Guidance System as a whole is to be included as Add Alternate, including the associated electronic sign type G-DIR-11.	Correct. Parking guidance and sensors to be part of the same add alternate	Watry, Donnelly	02/14/19	03/07/19
16)	Parking Control Equipment	E3.01, AG2.1	Sheet Note #6 on dwg E3.01 indicates locations to provide Power for Parking Guidance System sign. In comparing these power locations w/ Sign type G-DIR-11, it seems that some of the locations do not match. Please advise if any additional power for Parking Guidance System sign is needed on dwg E3.01.	Locate power per sign location. Plans will be revised in next submittal	Watry, Donnelly, Engineering Enterprise	02/14/19	03/07/19



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
17)	Signage	4/A9.5, AG2.1, 2/AG3.1	Detail 4/A9.5 indicate Alternate Exterior Monument Sign. The only monument sign shown on drawing AG2.1 at this location is a Site Wayfinding Sign type S-DIR-20 (detail shown on 2/AG3.1). Please advise if this is the right sign to be included as Alternate.	Alternate sign is in for ground and not on building (free standing in landscape area)	Donnelly	02/14/19	03/07/19
18)	Parking Bumpers	Spec 321713	Spec 321233 Refers to Parking Bumpers Spec Section (321713). Please provide.	See Section attached, spec will be updated in next submittal	Watry	02/14/19	03/07/19
19)	Doors, Frames & Hardware	A10.1, Door Schedule	Hardware #4 for Mark 103B not provide in specs, Specs indicate group 1. Please confirm	Hardware #4 will be included in next Submittal	Watry	02/14/19	03/07/19
20)		MP2.1	Invert on C6.0 shows 6.66 on MP2.1 shows 7.5. Please confirm.	MP 2.1 IE revised to 6.66. (LEC)	List	02/14/19	03/07/19
21)	Painting	A3.1	092400 Plaster spec calls for standard grey color to receive painted finish. Drawings call for integral color finish, color-TBD. Watry to advise which is correct.	Plaster surfaces to be integral color	Watry	02/14/19	03/07/19
22)	Concrete	Specification	Spoils Off-Haul- Please provide soil analytical report showing soil classification for dump sites	Attached are the reports	CoSM / PDU	02/20/19	03/20/19
23)	Concrete	S1.1	Crack repair allowance (S1.1) - Please confirm that this allowance is to be carried by Truebeck and not Largo. If not, please provide the Cost in Dollars (\$) to be included.	Truebeck will carry this allowance and this sub will not be able to use this allowance for any inconsistency in the material or workmanship of performed work. Structural concrete sub to comply with spec requirements of 033000, 033500.	Truebeck Response	02/20/19	02/21/19
24)	Concrete	12/S4.3	Ground Improvement (12/S4.3) - Please confirm that the top of the Ground Improvement pier will be below the aggregate cushion. Please confirm the structural concrete sub will not excavate through the Ground Improvement.	The aggregate pier (ground improvement elements) will be up to the finish elevation except the top 2' will be loose aggregate without compacted aggregate material. The concrete excavation subs to include excavation as necessary through the ground improvements.	Truebeck Response	02/20/19	2/21/2019 Updated 03/08/2019
25)	Concrete	12/S4.3	Since the alternate ground improvement system was chosen. Please confirm that detail (12/S4.3) is not necessary and we would not need aggregate cushion below the foundation.	Aggregate cushion is not required. Concrete subcontractor to excavate to bottom of footing per drawings.	Engeo	2/20/2019, Updated - 03/08/2019	03/13/19
26)	Landscaping	Spec 329300	Specification 329300-5, G 1 reads "...3 year tree maintenance schedule". Is this a mistake, as the other areas have the maintenance duration at a flat 90-days	The specs request that you provide <u>instructions</u> for a 3 year tree maintenance schedule among other outlined tasks. The actual maintenance period shall be limited to 90 days. This will help with the transitioning process between maintenance companies.	Truebeck Response	02/20/19	02/20/19
27)	All Bid Packages	Bonds & Liquidated Damages	Will performance & payment bonds be required from subcontractor's. If yes, what is the liquidated damage amounts are?	Payment & performance bond are not required on this project. The project requires a bid bond to comply with Public Contracting Code. Consistent with Public Contract Code 7203, delay damages are liquidated as follows: a. Owner's liquidated damages during the first Ninety (90) days of the delay period attributable to any party, shall be the amount of \$1,000 per day. b. Following the first Ninety (90) days of delay due to any party, starting on day 91, Owner's liquidated damages shall be \$5,000 per day. bond are not required on this project.	Truebeck Response	02/22/19	2/22/2019 Updated 03/11/19
28)	Plumbing	MP2.1, MP5.1	The sand oil interceptor shown on MP2.1 with details on MP5.1, will be installed at a depth that is potentially below the water table. Hold down straps, dead men, and/or a concrete slab under this unit is not specified. We presume that a Striem HDK1 hold down strap kit is required? Will the structural contractor pour a re-enforced concrete slab under the unit or do we provide this slab? Do we provide dead men instead of this slab? If so, please specify the dead men. Structural drawings do not show a concrete slab under the sand oil interceptor.	Per the note on MP5.1, this has had a designed/review by a third part and a sealed structural analysis report is available upon request. It may or may not be adequate for the hydrostatic pressure. Tank detail with dead men and hold down straps is attached and added to MP 5.1. Contractor to follow manufacturer's recommendations. (LEC)		2/25/2019	03/07/19



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
29)	Plumbing	Att. K.1 Dated 12.24.18	The Geotech report mentions potential ground settlement issues with possible solutions. The structural drawing show spread footings. Is the site going to be over excavated per the Geotech report? Will this eliminate settlement issues? The plumbing drawings do not show settlement joints at the building perimeter and/or supports for underground piping from the slab on grade. Will the underground plumbing be installed without hangers or settlement joints? What are the trenching backfill requirements = (follow spec 312333 for trenching & backfill specs).	The site will require overexcavation, but overexcavation <u>does not</u> mitigate liquefaction settlement. Our understanding is that ground improvement is limited to within the building footprint. Liquefaction if not mitigated, could result in settlement of up to 4 inches. If this settlement is not desirable for the utility along the perimeter of the building where it transitions from areas with ground improvement to areas without ground improvement, flexible connection should be considered. Per the specification, the ground improvement contractor should provide a design to reduce differential settlements within the building footprint to less than or equal to 1/2inch over 30 feet and a total settlement of less than or equal to 1 inch. If this settlement exceeds the tolerance of the underslab utilities, hanger should be considered.	ENGEO	2/25/2019	3/13/2019
30)	Plumbing	MP Drawings Dated 1.16.19	Perforated foundation drainage piping is not shown on the plumbing drawings. Is this civil scope? If not, please provide a piping drawing and scope description.	Perf is located at the base of the elevator pit and under ramp walls that retain soil fill. Pipe will be shown in next submittal	WDI	2/25/2019	03/07/19
31)	Plumbing	Bid Form Dated 1.31.19	The plumbing bid form alternate calls for temporary construction water. Will civil provide piping to within 5 feet of the building?	The Civil subcontractor will provide piping to within 5 feet of the building.	Truebeck Response	2/25/2019	2/25/2019
32)	Plumbing	Scope	Can you confirm painting of pipe will not be required in the garage?	Confirmed	WDI	2/26/2019	03/07/19
33)	Plumbing	Scope	As this is a Parking Structure and all work will be performed outdoors, what exactly is required for Item #22 in Attachment C – “The Subcontractor shall include furnishing all required ventilation equipment...Scrubbers to be included on all equipment”?	Not applicable to this project.	Truebeck Response	2/26/2019	2/27/2019
34)	Plumbing	Scope	As this is a Parking Structure and all work will be performed outdoors, what exactly is required for Item #25 in Attachment C – “Subcontractor to provide temporary heat necessary to achieve minimum temperature and humidity conditions required for the Work”?	Not applicable to this project.	Truebeck Response	2/26/2019	2/27/2019
35)	Plumbing	Scope	Item #39 of Attachment C states that “All subcontractor employees will need to go through a formal ‘on-boarding’ process before accessing the Uptown Station Project.” Is this relative to this project as well?	Please assume 2 hrs /person for onboarding according to the Attachment C.	Truebeck Response	2/26/2019	2/27/2019
36)	Plumbing	Scope	Item #52 of Attachment C states that “All change order markups will be per Contract Documents as outlined in Specification Division 1 and per Owner Contract.”. Can you please provide a copy of the Owner Contract?	Contract is not available, but newly issued spec 01 26 00 delineates the owner's acceptable mark-ups.	Truebeck Response	2/26/2019	2/27/2019
37)	Plumbing	Scope	Item #70 of Attachment C states that “bidder shall examine the site and be familiar with the existing conditions” and “A job walk will be arranged prior to bid date.”. Can you please advise of the date/time of the job walk?	No job walk is planned unless requested.	Truebeck Response	2/26/2019	2/27/2019
38)	Plumbing	Scope	Please confirm what, if any, mockups are required. Reference Item #77 in Attachment C	No mockups are required for plumbing scope.	Truebeck Response	2/26/2019	2/27/2019
39)	Plumbing	Scope	Item 6.1 of Attachment C.1 calls for “The ‘construction cost’ proposal shall include a Plumbing Coordinator on-site full-time for the start-up and commissioning of all major plumbing systems”. Can this be the onsite Foreman?	Yes, a capable Foreman is allowed.	Truebeck Response	2/26/2019	2/27/2019
40)	Plumbing	Scope	Items 9.3.3 and 9.4 of Attachment C.1 calls for us to “Provide the services of a Water Treatment specialist firm” and “The cost for cleaning all piping systems, as required, including hiring a 3rd party water treatment vendor”. The only water shown in the bid documents is non-potable water being fed to the hose bibbs. Please confirm what the scope of the Water Treatment specialist firm will be	No water treatment is required.	Truebeck Response	2/26/2019	2/27/2019
41)	Plumbing	Scope	Item #19.1 of Attachment C.1 calls for “assume that all shutdowns and tie-ins that cause a building shutdown will occur during weekends and/or non-working hours.”. Please confirm that none of the Plumbing or Mechanical Utilities fall into this requirement	Confirmed. No Plumbing or Mechanical fall into this category.	Truebeck Response	2/26/2019	2/27/2019
42)	Plumbing	Scope	Item 68.a states to furnish and install a water meter. Can you please provide a specification for this meter? Is it analog or digital? What flow measurement?	The water meter to be provided by the civil subcontractor as shown on sheet C6.0.	Truebeck Response	2/26/2019	2/27/2019
43)	Plumbing	Scope	Per 00 3020-4.01.A, “Proposer represents and agrees that in submitting its Proposal, it is not relying on any geotechnical data supplied by Owner”. How are we to clarify the acceptance of the provided Geotech report into our proposal?	The intent of 00 3020-4.01.A is to ensure bidders carefully check the site conditions and do not solely rely on the info supplied by the Owner. Bidders can use the information provided in the geotech report from Owner for design reference.	CoSM / PDU	2/26/2019	3/18/2019
44)	Plumbing	Scope	Per 00 7200-10.02.A, “Contractor shall maintain an office at the Site”. Does this requirement pertain to Subcontractors as well?	It is not a requirement.	Truebeck Response	2/26/2019	3/6/2019



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
45)	Plumbing	Scope	Per 00 7315-1.01, naturally occurring asbestos may be found at the Site. What testing/monitoring/managing steps will be taken to ensure that our employees are not subject to asbestos?	The upper 4 feet of soil at the site generally consist of historical man-made fill followed by intertidal bay deposits. To the best of our knowledge the geologic condition at the site does not give raise to NOA containing soils. As such, NOA testing is not warrant.	ENGEO	2/26/2019	3/13/2019
46)	Plumbing	Scope	Per 01 1000-1.15.A, "rotohammers are not permissible". What means of installing post-poured concrete anchors are acceptable?	In general, anchors in the elevated PT decks should be CIP anchors. Any post-installed anchors (stainless steel) would require scanning before installation.	WDI	2/26/2019	03/07/19
47)	Plumbing	Scope	Per 01 2900-1.07.E.1.a, 5% retention will be held. Please confirm this amount will be passed down to Subcontractors	Yes, it will be passed on to subcontractors.	Truebeck Response	2/26/2019	3/7/2019 Updated 03/13/19
48)	Plumbing	Scope	Per 01 3200-1.04.D, "Employ competent scheduling personnel or a schedule consultant". Will this be a requirement of the Subcontractors?	Refer to item 44 to 50 on attachment C's. Its expected that the subs representative is competent to assist in scheduling.	Truebeck Response	2/26/2019	3/4/2019
49)	Plumbing	Scope	Per 01 3300-1.03.B.1, "Contractor must, at its own expense, provide for Owner's review all Submittals required by the Contract Documents". What costs of submittal review are being borne by Subcontractors?	Reference item 79 and 80 of attachment C. Include all costs associated with those requirements.	Truebeck Response	2/26/2019	3/4/2019
50)	Plumbing	Scope	Please confirm the Refrigeration Piping shown on MP2.3 is being installed by the Mechanical Contractor, not the Plumbing Contractor	All refrigeration piping to be provided by the Mechanical Sub.	Truebeck Response	2/26/2019	2/27/2019
51)	Plumbing	Scope	Will craft parking be in the locations listed as 'Truebeck Parking' on the Site Logistics Plan?	See "Attachment C - General Requirements" under Logistics section 16.	Truebeck Response	2/26/2019	2/27/2019
52)	Plumbing	Scope	For Attachment E, is the intent of the Plumbing award to be prior to 04/17/19, as the current schedule shows Submittals beginning 04/18/19? Will the BIM and Clash Coordination occur during the 'Prepare Submittal' durations?	Award & submittals will follow the bidding process. Date will follow the city approvals.	Truebeck Response	2/26/2019	2/27/2019
53)	Plumbing	Scope	Please confirm the French Drain shown in 3/MP2.1 is to be provided by Plumbing Contractor. If so, please provide details	Plumber is to include and connect french drain.	Truebeck Response	2/26/2019	2/27/2019
54)	Plumbing	Scope	Drawing MP2.1 has several instances that show Sanitary and Storm Risers "w/ CO at base", yet the Riser Diagrams on MP5.2 show Floor Cleanouts adjacent to the Risers. Which is correct?	Cleanouts are required at base of storm and sanitary for each riser. Floor cleanouts are required as shown in the sanitary riser diagram on sheet MP5.2.	Truebeck Response	2/26/2019	2/27/2019
55)	Landscaping	Drawings	Alternate 2 specifies to substitute 5 gallon shrubs at 36" on center instead of the seeded meadow mix as is shown on the plans. What species of 5 gallon shrubs are intended?	Provide lump-sum add alternative cost on a s.f. basis. If County proceeds a design will be provided.	Spurlock	3/5/2019	03/07/19
56)	Landscaping	Drawings	Per the specs, if the tree percolation tests fail, landscaper is to install (2) 8" dia x 5' deep drain sumps per tree. The quantity is unknown, and can potentially have a large cost impact. How many should I account for, if any?	For bidding, assume all trees will require sumps. These will be credited if not required.	Spurlock	3/5/2019	03/07/19
57)	Landscaping	Attachment C.1's	Wood Header: this header is only at the asphalt areas and is retaining the asphalt. For various reasons, the asphalt installer typically installs their own header/edging. Is this listed under landscape scope in error?	Wood header will be installed by Grading sub.	Truebeck Response	3/5/2019	3/5/2019
58)	Landscaping & Irrigation	San Mateo County Environmental Health Comments	Sheet C3.0 - Demolition Plan, shows the location of the "Irrigation Well Enclosure" as within the limits of the area to be demolished. Note 3 on this sheet states "Demolish existing structures, utilities, and other features within the limit of demolition as shown." This is in conflict with subsequent civil sheets that indicate that the irrigation well and appurtenances will remain (Sheets C4.0 and C6.0). Either exclude the area of the irrigation well from the designated demolition area, or show and note on the demolition plan that the irrigation well will be retained.	Irrigation well enclosure to be removed from within the limits of area to be demolished, with note to remain and protect in place.	BKF	3/5/2019	03/07/19
59)	Landscaping & Irrigation	San Mateo County Environmental Health Comments	In addition, include a description on all relevant plan sheets of how the irrigation well and surrounding area will be protected from damage by demolition and construction activities. Note that any alteration of the actual well casing at any time must be permitted with Environmental Health and can only be performed by a C-57 licensed water well contractor.	Existing well is to be protected in place during contraction. Modifications are not proposed as part of project scope of work."	Watry	3/5/2019	03/21/19
60)	Parking Control Equipment	Specs	Per Specification 111200 - Parking Control Equipment, C. Proximity Card Reader Access Unit, what is the existing security system?	Open Options is the existing card access	PDU	3/5/2019	3/18/2019
61)	Parking Control Equipment	Scope Clarification	Why are the proximity cards not required? Who is providing the them?	Card readers are being provided by the Security Subcontractor. Refer to T drawings for additional information.	Truebeck Response	3/5/2019	3/5/2019
62)	Parking Control Equipment	Scope	Are the automatic vehicle control gates a free exit system or do they need to card out to open the gate and exit?	Assume Card on exit	Watry	3/5/2019	03/07/19



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
63)	Parking Control Equipment	Scope / Drawings	Based on the drawings provided, access control/card reader system for the automated vehicle gates is part of the overall Parking Structure Access Control as shown on T drawings. Each automated vehicle gates will have their own panel/motor, along w/ the associated loop detectors and sensors, and primarily be independent of each other. Please confirm that our understanding is correct.	Confirmed	Watry	3/5/2019	03/07/19
64)	Parking Control Equipment	Specs	Is there a warranty on the parking control equipment? What is the warranty period?	Standard, 1 year.	Watry	3/5/2019	03/07/19
65)	Grading & Paving	SWPPP	According to the Construction General Permit (CGP) adopted September 2, 2009, Risk Determination must be made as part of the project planning and prior to the submittal of Project Registration Documents (PRDs). Is this project a Risk Level 1, 2 or 3?	This project is Risk Level 1.	Watry	3/5/2019	03/07/19
66)	Grading & Paving	SWPPP	Please confirm that all Project Registration Documents (PRDs) will be developed, submitted and amended or revised by an agent or employee of the Owner (QSD).	QSD will be by the Owner.	Watry / PDU	3/5/2019	03/07/19
67)	Grading & Paving	SWPPP	According to the Construction General Permit (CGP) adopted September 2, 2009, a Discharger is defined as the Legally Responsible Person (LRP). A LRP is defined as the person who possesses title on the land. Accordingly, we assume that all compliance actions required of a Discharger will be executed by the owner. Please confirm.	CGP will be by the Owner.	Watry / PDU	3/5/2019	03/07/19
68)	Grading & Paving	SWPPP	If the project is a Risk Level 2 or Risk Level 3 the Qualified SWPPP Practitioner (QSP) will develop a Rain Event Action Plan (REAP). The plan is to be developed for all phases of construction 48 hours prior to any likely precipitation event. Please confirm that the REAP will be completed by an agent or employee of the owner (QSP)	This project is Risk Level 1. A Rain Event Action Plan (REAP) is not needed.	Watry	3/5/2019	03/07/19
69)	Grading & Paving	SWPPP	If the project is a Risk Level 2 or Risk Level 3, how many Likely Precipitation Events should be included in the bid?	This project is Risk Level 1.	Watry	3/5/2019	03/07/19
70)	Grading & Paving	SWPPP	If the project is a Risk Level 2 or Risk Level 3, how many Qualifying Rain Events should be included in the bid?	This project is Risk Level 1.	Watry	3/5/2019	03/07/19
71)	Grading & Paving	SWPPP	Will all costs for maintenance, protection, and implementation of the RAIN EVENT ACTION PLAN, as developed by the QSP, be completed on a time and materials basis?	This project is Risk Level 1. A Rain Event Action Plan (REAP) is not needed.	Watry	3/5/2019	03/07/19
72)	Painting	Scope	Please confirm Locations an height that graffiti Coating shall be applied	At exposed outside face of concrete at ground level only.	Watry	3/5/2019	3/13/2019
73)	Painting	Drawings	Please confirm that painting shall or shall not occur behind Exterior metal panels ?	No Paint required - Drawing details 4,/A9.3 & 19/A9.4 do not call for paint. As the substrate of the metal panels in composed of dens glass & SASM.	Truebeck Response	3/5/2019	3/5/2019
74)	Painting	Scope	Please confirm who will be responsible for scaffolding	Subcontractors to include scaffolding / hoisting, lifts, access as necessary for their trade.	Truebeck Response	3/5/2019	3/7/2019
75)	Fire Protection	Scope	Has the fire department reviewed the F.P. Drawings and agreed with there design for the dry standpipes and locations?	Fire protection is a design-build, deferred approval feature. Current plans are under Fire Department review. (LEC)	List	3/5/2019	03/07/19
76)	Fire Protection	Scope	Are these dry standpipes totally dry or are they filled with water?	DSP are not connected to the sprinkler system and will be dry, allowing for water which remains in the pipes after testing or use. (LEC)	Watry	3/5/2019	03/07/19
77)	Fire Protection	Scope	If we require additional standpipes for hose valve because of travel distance will we be responsible for the added hose valves?	This is a design-build scope. If additional standpipes and hose valves are required by code then they shall be included.	Truebeck Response	3/5/2019	3/5/2019
78)	Fire Protection	Scope	Is it the requirement for us to provide electrical wiring or central alarms?	Fire alarm system shall be included in BP 2600EL - Electrical.	Truebeck Response	3/5/2019	3/5/2019
79)	Fire Protection	Scope	Is it the requirement for us to provide underground piping if so how much?	Refer to Att. C.1. Page 20/Item 74. Include the cost for fire water final connections at 5' out.	Truebeck Response	3/5/2019	3/5/2019
80)	Fire Protection	Scope	Is it the requirement for us to provide sleeves and caulking of the beams?	Sleeves that pertain to the Fire protection System are to be provided by the Fire Protection Subcontractor. Refer to Att. C.1. Page 12/Item 4.	Truebeck Response	3/5/2019	3/5/2019
81)	Fire Protection / Painting	Scope	Is it the requirement for us to provide painting of piping and fittings?	No painting	Watry		
82)	Fire Protection	Scope	Is it the requirement for us to provide Galv. pipe and fittings under the solar panels?	Refer to your bid form Alt Bid No. 3. Fire protection associated with PV panels shall be included in this alternate.	Truebeck Response	3/5/2019	3/5/2019
83)	Fire Protection	Scope	Is it the requirement for us to provide Composite Cleanup Crews?	Composite cleanup crews are not a requirement. Each contractor is expected to clean their own work areas on a daily basis.	Truebeck Response	3/5/2019	3/5/2019
84)	Fire Protection	Scope	Is it the requirement for us to provide Fire hose Cabinets?	Fire hose cabinets will be provided by the Specialties Subcontractor.	Truebeck Response	3/5/2019	3/5/2019
85)	Painting / Concrete Package	Drawings & Specs	Concrete façade of the garage is a Class B finish. Painting of a Class B finish could highlight the imperfections. Please advise of any additional prep requirements.	Sack and patch is required	Watry	3/5/2019	03/07/19
86)	Grading & Paving	Scope	Is it possible to change the unit price for Asphalt Paving per Unit Cost "D" from SF to Tons? If it remains SF please clarify thickness of asphalt pavement and SF to base cost on.	Please provide cost / sqft for 3".	Truebeck Response	3/6/2019	03/07/19
87)	Grading & Paving	Scope	For Unit Cost "C" please provide an approximate qty of soil to be off-hauled to base price on and clarify the type of soil? For example soil maybe from top 5ft from subgrade which is clay and cheaper to dispose of or it may be deeper and bay mud which will cost more to off haul then clay.	Unit cost to be based on the qty of soil that is required to balance the site. Assume it to be top 5'.	Truebeck Response	3/6/2019	03/07/19
88)	Grading & Paving	Scope	For the 2ft over excavation and recompaction would you like us to include a 5ft or 10ft overbuild for parking structure?	5ft overbuild of the excavation is sufficient.	Watry / Engeo	3/6/2019	03/13/19



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
89)	Grading & Paving	Scope	What percent of lime do you want us to figure for the bid alternate, since 3% is cheaper than 5%?	If lime treatment is used for temporary stabilization of over-saturated clayey soil 3% lime is sufficient. Bidders to assume 3%.	Watry / Engeo	3/6/2019	03/13/19
90)	Grading & Paving	Scope	The soils report on page 11 suggest the soil may contain construction debris, please clarify how the Contractor will be compensated if construction debris is encountered?	For bidding purposes, assume soil does not contain construction debris.	PDU/Truebeck Response	3/6/2019	03/13/19
91)	Grading & Paving	Clarification	Will a 3rd party agency be taking analytical samples of the soil, in order to ensure the soil is clean and for disposal purposes? Please confirm that the owner will be responsible for this.	Yes. The owner will be responsible for 3rd party agency testing.	Watry / Engeo	3/6/2019	03/14/19
92)	All Bid Packages	Contract	Is the contractor allowed to add clarifications and exclusions with our bid?	Clarification and exclusions is not allowed.	Truebeck Response	3/6/2019	03/07/19
93)	Metal Panels & Metal Framing/ Sheathing	Scope	In reference to drawing A4.2(Speed Ramp Plan, typ. for level 2 thru 7), detail 18/A9.4 is called out at the perimeter concrete upturned beam. This detail is calling for metal panel wrapping stud framing. We think this detail is incorrect. Please advise.	The detail reference is correct. There will be a portion of the ramp that will not have upturned beam as it slopes, with the intent to close the base up to the bottom of the screen, there will need to have an infill of stud wrapped in metal panel as shown in concept on detail 18/A9.4.	Watry Design	3/7/2019	3/13/2019
94)	Metal Panels & Metal Framing/ Sheathing	Scope	In reference to drawing A4.2(Speed Ramp Plan, typ. for level 2 thru 7), detail 19/A9.4 is called out at the perimeter concrete upturned beam. We think this detail only occurs at level 1 in lieu of every floor as drawing A4.2 suggested. Please advise.	See item #93 response.	Watry Design	3/7/2019	3/13/2019
95)	Metal Panels & Metal Framing/ Sheathing	Drawings	In reference to drawing A8.3. RCP for level 1 elevator and stair #2 is provided. However, RCP for the floors above up to level 7 is not. We assumed that the ceiling for level 2 up to level 7(canopy) is to receive metal panel soffit as level 1. Please confirm.	Assumption is correct. Metal panel soffit occurs at all levels except level 7.	Watry Design	3/7/2019	3/13/2019
96)	Metal Panels Package	Drawings	Will scaffolding be provided for access? Especially at the elevator tower?	Subcontractors to include scaffolding / hoisting, lifts, access as necessary for their trade.	Truebeck Response	3/7/2019	03/07/19
97)	Metal Panels Package	Drawings	In reference to the metal panel at the ramp. Please clarify if the panels are to be radius to match the E.O.S(R=44' 9") or is it flat?	Assume flat panels in base bid. Please provide an add alternate for radial panel system.	Watry Design	3/7/2019	3/13/2019
98)	Steel & Misc. Metals (BP 0521-SS)	Scope	Please clarify that the façade support channel. Detail 3/A9.5 says "By Others". Please clarify whether or not Steel & misc. metal sub to include this in scope	Please disregard the note "Façade support channel, by others". This support channel to be F & I by steel subs. Steel sub to also include 1/2" dia ferrule loop (FOB). This subcontractor to coordinate with exterior mesh screen system sub for all needed locations for pre-drilled holes (shop drilled) to be coordinated through shop drawings.	Truebeck Response	3/7/2019	03/07/19
99)	Mechanical	Clarification	What is the intention for controls? Does the client want a separate front end just for this structure? Have everything stand alone? Actual BMS? If a BMS is desired, is there a specific platform/mfr that is required or is it open?	The intent of the PS2 controls is to be stand alone. Thermostats and factory controls shall be included per the Mechanical Schedule on sheet MP0.1. No BMS is desired.	Truebeck Response	3/7/2019	03/08/19
100)	Concrete	Scope	Attachment C.1, item #19. Please define and quantify localized dewatering. Please confirm it does not include ground water. Ground water table at some locations in at 5' below grade. Please confirm that this dewatering will be provided by others.	The sub to provide localized dewatering due to rain events. If we encounter ground water, dewatering will be by others.	Truebeck Response	3/7/2019	3/8/2019 Updated 03/13/19
101)	Concrete	Scope	Please identify which company will be providing the survey.	Survey & staking sub will be providing property line, building corners, control lines and (4) elevation control benchmarks on each floor level. Refer to the attached "Intended Control Lines" diagram. Any trade specific survey points will be by the specific trade. The survey company has not been selected yet for surveying.	Truebeck Response	3/7/2019	03/08/19
102)	Concrete	Specs & Scope Clarifications	Page 4 Item 3.1.1 of the Geo-tech report dated February 12, 2019 states "The existing fill generally consists of poorly graded sand with clay and gravel, intermixed with sandy clay material....." also page 27 item 6.2 states "The soil at the site is considered to be "Type C" soil, and as such, temporary slopes should be no steeper than 1 ½ : 1 (horizontal: vertical)." Considering above information, please see our question below- a. Are the foundations including Spreads and Grade Beams to be excavated at 1 ½ : 1 slope? If so, there will be a far greater volume of excavation and backfill. Also, all the foundations will need to be formed. This adds significant cost and durations.	Correct, if the edges of the excavation is to be laid back, it shall be no steeper than 1.5: 1 in accordance with CALOSHA minimum requirements. As an alternative, temporary shoring can be used to support a vertical cut. The design of the temporary shoring should also meet CALOSHA minimum requirements and should be provided to ENGeo for review.	Watry & Engeo	3/7/2019	3/13/2019
103)	Concrete	Scope and Clarifications	Building Pad Elevations- A2.9 Level 01 Drainage Plan shows the slab on Grade sloped from the exterior (10.5) to the drain points (9.5). Also Civil Drawing C2.0 Grading Plan shows the grading for the exterior earthwork. Considering above information, please see our question below- a. Is there a drawing available that shows Building pad elevations for slab on grade? b. Is the Building Pad going to be graded to follow the ridges/valleys for the slab? c. Or is the Top of Slab on Grade sloped?	Pad should be following the sloped slab on grade to have a consistent slab thickness.	Watry	3/7/2019	3/21/2019
104)	All Trades	Clarification	Please confirm that the county will be providing the shuttle service for the workers from satellite parking location as shown on Attachment F	Please refer to Attachment C Item #16.	CoSM / PDU	3/8/2019	3/13/2019



Parking Structure 2
Pre-Bid RFI Log

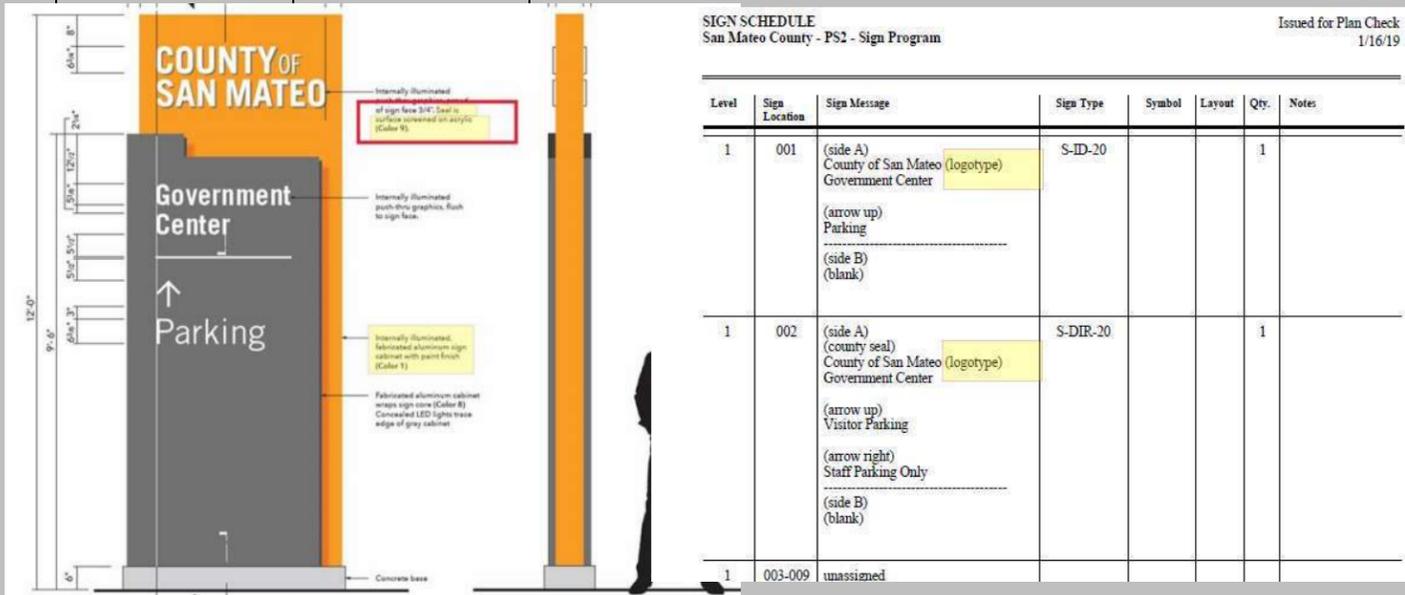
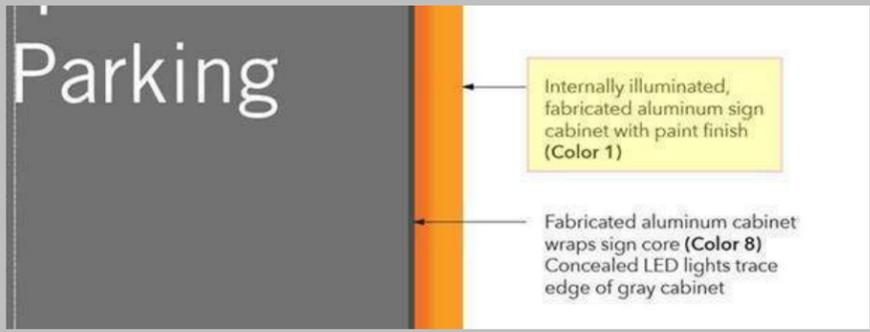
Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
105)	Tile	Drawings	Please provide the tile layout plan for elevator cab floors?	Detail 13/A9.1	Watry	3/8/2019	3/13/2019
106)	Plumbing	Drawings	Per pump schedule on Sheet FP0.1 and the specifications I would assume one (1) fire pump and (1) jockey pump were all that was required. However, detail 2 on Sheet FP2.1 appears to show two (2) fire pumps and one (1) jockey pump. Can clarify the actual fire pump configuration required?	Bid according to schedule.	Truebeck Response	3/11/2019	3/11/2019
107)	Plumbing	Drawings	Instructions for Proposals dated March 08, 2019 asks us to use the bid form dated January 16, 2019. However the bid form I downloaded is dated January 28, 2019. I assume that the latter dated bid form is the correct one. Can you confirm?	Correct. The revised bid form dated 1/28/19 is the correct one.	Truebeck Response	3/11/2019	3/11/2019
108)	Drawings / Specs	Drawing / Specs	Detail 18/A403 shows a bike repair station. Please provide us the specs.	See section 129313-2.2.C - Ground Control Systems "Public Works Stand 111110", stainless steel	Watry	3/11/2019	3/13/2019
109)	Striping / Grading Paving	Clarification	Can you clarify the scope for the striping for Alternate No. 07? Attachment C.1 was never updated when the alternate was added	Attachment C.1 was just issued via Building Connected	Truebeck Response	3/11/2019	3/11/2019
110)	Striping / Grading Paving	Clarification	Will this work include placing parking bumpers and signs at the ADA parking stalls?	Parking Bumpers – Yes; ADA Parking Signs - No	Truebeck Response	3/11/2019	3/11/2019
111)	Striping / Grading Paving	Clarification	Do any other signs need to be installed as part of the striping scope of work?	No. This will be furnished as part of the Signage Package	Truebeck Response	3/11/2019	3/11/2019
112)	Striping / Grading Paving	Clarification	Does Alternate No. 07 exclude signage and striping within the parking structure?	No. Provide turnkey if possible.	Truebeck Response	3/11/2019	3/11/2019
113)	Striping / Grading Paving	Clarification	Does the slurry seal include creaking sealing the parking lot, if so please provide a specification for the material and quantity?	Slurry seal does not include crack sealing the parking lot.	Watry	3/11/2019	3/13/2019
114)	Exterior Skin Metal Mesh	Drawings	1,3/A9.5 show a vertical line left of the support angles for the mesh. It appears to be a trim or fascia. Please clarify what the intent is with this line, material, finish, as well as who is responsible for this item.	It is intended that the trim cover the Mesh system attachment, is assumed to be part of the Mesh system design.	Watry	3/11/2019	3/13/2019
115)	Exterior Skin Metal Mesh	Drawings	Ref: 2/A9.5. The SS mesh system requires intermediate support for wind load. However, nothing is shown in the detail. We suggest showing this so that bidders can properly account for costs.	Mesh system design is by specific manufacturer and system type, intermediate supports to be coordinated with building design team once the system is selected.	Watry	3/11/2019	3/13/2019
116)	Exterior Skin Metal Mesh	Drawings	1,3/A9.5 show horizontal angles attached to concrete with ferrule loop inserts. Attachment C.1 Items 2-d and 7 conflict in regards to framing and embeds. Please confirm that such angles and inserts are to be excluded from Metal Mesh bid package 0742-MM.	All structural components are part of steel bid package. This subcontractor to include all clips, fasteners etc. to attach it to the steel element.	Truebeck Response	3/11/2019	3/11/2019
117)	Exterior Skin Metal Mesh	Drawings	Ref: 1,3/A9.5. We feel the ferrule loop insert attachment may be problematic, because it is nearly impossible to install them accurately according shop drawings. Therefore, we anticipate whoever is fabricating steel will need to field measure or scan the inserts in order to layout holes in their angles. Instead, we suggest a post-installed anchor attachment, or adjustable embedded anchors such as channel (a.k.a. Halfen) anchors.	Post installed anchors will require scanning of elevated deck to avoid reinforcing pre pour inserts are preferred.	Watry	3/11/2019	3/13/2019
118)	Exterior Skin Metal Mesh	Drawings	Ref: 4/A5.2. Top and bottom HSS tube supports appear to have a vertical fascia or trim on the outside face. Please clarify what the intent is with this line, material, finish, as well as who is responsible for this item.	It is intended that the trim cover the Mesh system attachment, is assumed to be part of the Mesh system design. Bidders to qualify the material finish used on the bid.	Watry	3/11/2019	3/13/2019
119)	Exterior Skin Metal Mesh	Drawings	4/A5.2. Top and bottom HSS tube supports appear to have an angle or vertical plate assembled near the center of tube. As this item does not appear in the structural drawings, please clarify who is responsible for such plate or angle. (We feel this should be a shop fabricated assembly by whoever is fabricating the steel.)	Steel Sub will be responsible for the dimensional steel angles.	Truebeck Response	3/11/2019	3/13/2019
120)	Drywall & Insulation	Scope Clarification	Will the framing & sheathing behind exterior skin metal panel be by metal panel subcontractor?	All framing & sheathing behind exterior skin metal panel soffits, vertical surfaces will be by 0920-DR (Drywall & Metal Framing) Subcontractor.	Truebeck Response	3/12/2019	3/12/2019
121)	Site Utilities	Drawings	What size diameter pipe is the existing storm drain lines?	Based on available documents; existing storm drain line through County property is 24-inch, and existing storm drain line within Middlefield Road is 33-inch.	Watry	3/13/2019	3/13/2019
122)	Site Utilities	Drawings / Scope	What type of pipe are the existing lines - RCP, HDPE, or Transite? What should the bids based on?	Based on City block map utility information; existing storm drain pipe material is RCP, existing sanitary sewer pipe material is VCP, existing water pipe material within Middlefield is ACP, and existing water pipe material within County property is PVC/CIP	Watry	3/13/2019	3/13/2019
123)	Site Utilities	Drawings	Same goes for the electrical lines? Also will the electrician disconnect the power to the lines and remove the electrical poles? In most cases the electrician removes the poles and we remove the pole foundations	Electrician to disconnect the poles. This BP 3122-GD subcontractor to remove the foundations and poles.	Truebeck Response	3/13/2019	3/13/2019 Updated 04/02/19



Parking Structure 2
Pre-Bid RFI Log

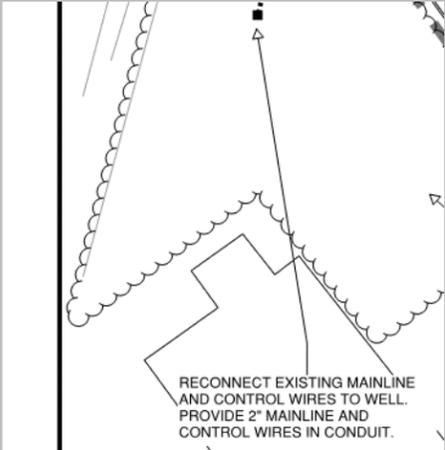
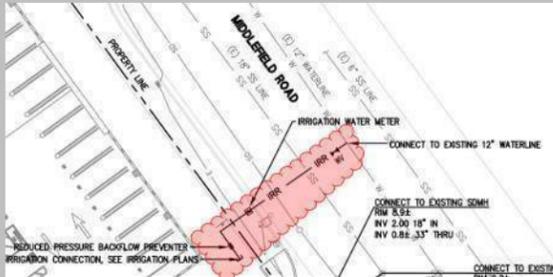
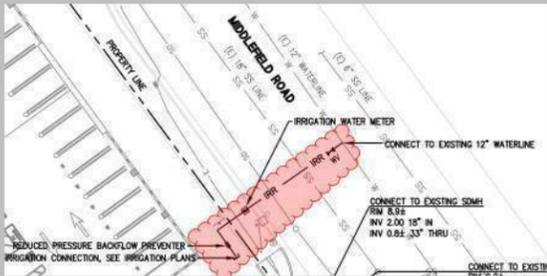
Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
124)	Site Utilities	Drawings	Who is responsible for removing the SWPPP items (Fiber Rolls, Const Entrance, and Protection Inlets) install under our scope of work?	SWPPP Items will be removed by others	Truebeck Response	3/13/2019	3/13/2019
125)	Site Utilities	Drawings	Is the curb ramp on Sheet C 3.0 at the corner of Middlefield and entrance to County Lot to be removed or protected? Sheet C 4.0 shows a new ramp to be installed at this location, and C 3.0 states protect in place.	Curb ramp at the corner of Middlefield and entrance to the County Lot is to be removed and replaced with new curb ramp.	Watry	3/13/2019	3/13/2019
126)	Grading & Paving	Drawings / Scope	Installing the redwood header will be part our scope of work correct?	Header will be part of BP 3122-GD (Grading & Paving Scope)	Truebeck Response	3/13/2019	3/13/2019
127)	Grading & Paving	Drawings / Scope	Can all the HMA (Hot Mix Asphalt) paving for the roadway and pedestrian pathway be completed in one mobilization?	Include 2 mobilizations for the new asphalt paving work	Truebeck Response	3/13/2019	3/13/2019
128)	Signage	Drawings / Specs	Could you kindly clarify the specs / call outs in the plan check package 1/AG3.1 – Sign type A-ID.20.Should we include the seal as part of this sign type? If so, shouldn't we resize the letters to fit the seal? Both, 1/AG3.1 – Sign type A-ID.20 and specs 101400 calls for logotype	 <p>There is no seal on the monument signs anymore. The text is the county's brand logotype though so the reference in the sign schedule is correct.</p>	Watry	3/13/2019	3/21/2019
129)	Signage	Drawings / Specs	Please explain how the orange section can be illuminated? Or is this callout referring to the letters above?	 <p>The graphics above are illuminated and there is a concealed trace outline behind the gray panel to light that shape onto the orange panel.</p>	Watry	3/13/2019	3/21/2019
130)	Site Utilities	Attachment G	Does everything in the wet utility scope need to be design and as-built with BIM?	Yes, a BIM model is required per attachment G. LOD 350.	Truebeck Response	3/13/2019	3/15/2019
131)	Reinforcement	Drawings	Don't see a construction joint in the ramp slabs, how do we plan on constructing the slab between lines 1 - 7.5 without a CJ in the ramp area? Please provide information	As shown on drawings level 1 - level2 & level 2 - level 3 needs to be 2 pour and other levels after level 3 needs to be one pour.	Truebeck to Repond	3/18/2019	3/19/2019
132)	Metal Panel	Specs 074243	Specs section 2.4E calls for drainage mat. Please confirm that we would not need any drainage mat.	Drainage mat was recommended by the manufacturer	Watry	3/19/2019	3/21/2019



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
133)	Irrigation	LA2.01	On West side of the site, Drawings call out for 2" mainline and control wires in conduit. Please clarify the number of wires and the conduit size. 	Use 1" Conduit	Engineering Enterprise	3/19/2019	3/22/2019
134)	Irrigation	C6.0	At the middlefield road, what is the size of the irrigation line connecting to exiting 12" waterline? 	2" Irrigation line shall be connected to the existing 12" waterline at Middlefield Road.	Watry	3/19/2019	
135)	Concrete & Earthwork/Grading	Scope Clarification	Please provide ground improvement plans. Based on the RFI response to RFI 24, we need the number of ground improvement piers that need to be excavated.	Ground Improvement layout will be sent to the bidders with this response	Truebeck Response	3/19/2019	3/19/2019
136)	Site Utilities	Scope Clarification	Please confirm at the middlefield road, irrigation line from existing 12" waterline to the backflow preventer will be included in the Site Utilities (BP3300-SU) 	Confirmed this irrigation line from the existing 12" waterline, water mete, and backflow preventer will be provided by Site Utilities (BP3300-SU). All other irrigation lines shall be provided as part of landscaping and irrigation (BP3290-LI) including the 2" mailine references in RFI #133	Truebeck Response	3/19/2019	3/19/2019
137)	Electrical	Spec 012100-1	Allowance #4 is \$8,000 for Parking Directional and Painting. Does this apply to electrical scopes of work?	This allowance only applies to painting.	Truebeck Response	3/20/2019	3/22/2019
138)	Electrical	Spec 012300	Lists 4 alternates, that are different from the 12 alternates on the Bid Form. Please confirm we are not to use the alternates on 012300.	Disregard all electrical related alternates located in the specifications. Provide all alternates on the Revised Bid Form to follow.	Truebeck Response	3/20/2019	3/22/2019



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
139)	Electrical	Spec 260519-3	Is PVC coated MC allowed in the concrete deck for electrical branch circuiting?	PVC coated MC is not allowable. It is not listed in the specifications. Conduit within the parking deck shall be rigid PVC unless specific construction restraints would not allow, then limited flexible PVC is allowable as approved through the submittals and RFI process.	Engineering Enterprise	3/20/2019	3/22/2019
140)	Electrical	E1.01, E5.01, T1.0, T9.1	Is incoming power & teledata required? If yes, please provide scope and requirements, e.g., power sizing, joint trench routing, settlement requirements, requirements of vaults.	Power - Per E5.0 & C6.0, Electrical contractor shall furnish and install a precast PG&E transformer pad. PG&E primary conduits 5' outside of the pad and capped, and PG&E secondary conduits from the pad to the Main Switchboard CMSB. This scope includes the trenching and backfilling, as required. Technology - T1.0 & T9.1, Electrical contractor shall furnish & install (2) 4" conduits from the MPOE to 5' outside of the building footprint and cap. This scope includes all trenching and backfilling, as required.	Truebeck Response	3/20/2019	3/22/2019
141)	Electrical	E5.0 & C6.0	Confirm size & quantity of PG&E Transformer primary & secondary conduits, also provide associated trench details.	Service is 1600A for PG&E sizing purposes. (5) 5" conduits for secondary, PG&E to determine primary conduits. Cover depths for primary and secondary are per PG&E Green Book. Trench materials shall be consistent with those used by Civil.	Engineering Enterprise	3/20/2019	3/22/2019
142)	Electrical	E5.01	Tags for the feeders out of the 300kva xmfrs are labeled T10003. No such entry exists on the feeder schedules. Should these tags be T10004?	T10003 tfmr secondary should be "T10004"	Engineering Enterprise	3/20/2019	3/22/2019
143)	Electrical	E6.01	Please confirm number sheet notes on E6.01 do not apply to this page.	These sheet notes do apply to the relevant items in the MPOE room.	Engineering Enterprise	3/20/2019	3/22/2019
144)	Electrical	E5.02	Please confirm the general and numbered sheet notes on E5.02 do not apply to this page.	General and Numbered sheet notes on E5.02 do not apply to this sheet – they are for E5.03.	Engineering Enterprise	3/20/2019	3/22/2019
145)	Electrical	E3.01	E3.01 note #7 says "See E6.01 for circuiting". Please confirm this should say E5.01.	Confirmed	Truebeck Response	3/20/2019	3/22/2019
146)	Electrical	E3.01/ Note # 3 & 4	Are EV chargers to be provided and installed under electrical scope of work, at this time?	EV chargers to be furnished by others and installed by the Electrical subcontractor.	Truebeck Response	3/20/2019	3/22/2019
147)	Electrical	E5.01	Please confirm, per numbered sheet note #4 the only scope required for the PV system at this time are sleeves between floors.	See subcontract Attachment C.2, dated 2/28/19, for the updated PV system infrastructure scope of work.	Truebeck Response	3/20/2019	3/22/2019
148)	Electrical	Alternate # 2 & 4	Alternate # 2 & 4 appear to be referencing the same thing. Alt # 2 states: "Include the cost to furnish and install ultrasonic bi-directional sensors shown on sheet A4.2". The note on the sheet states a pair of sensors per level at the ramps. Alt # 4 states: "Furnish & install vehicle counting sensors at top and bottom of ramps at each floor." Alt # 2 is ultrasonic bi-directional sensors, Alt # 4 is a loop system in the deck? Both are counting systems per level. What is the difference between the two? Please clarify.	A revised bid form & design drawings will be distributed to bidders with an updated Parking Control System scope of work.	Truebeck Response	3/20/2019	3/22/2019
149)	Electrical	Alternate # 4.13, E5.01B	Confirm Main Switchboard (MSB) should have a 1600A Main Breaker and Rated Bus.	Correct	Truebeck Response	3/25/2019	3/26/2019
150)	Electrical	Alternate # 4.13, E5.01B	Plan note dated 2.26.19 references the PV Tap ahead of the Meter, but shows it ahead of the main. Confirm which is correct.	Disregard note at the bottom right corner of plan page regarding the PV Tap ahead of the Meter. Assume Main Switchboard (MSB) with the PV Tap ahead of the Main as shown on the One Line Diagram.	Truebeck Response	3/25/2019	3/26/2019
151)	Electrical	Alternate # 4.13, E5.01B	Confirm quantity and size of Branch Breakers required for each 400A Distribution Board PV.	Provide spaces only, no Branch Breakers are required at this time.	Truebeck Response	3/25/2019	3/26/2019
152)	Electrical	Alternate # 4.13, E5.01B	As the drawings are noted as "Draft", is there an updated set to follow?	No additional drawings are available at this time.	Truebeck Response	3/25/2019	3/26/2019
153)	Electrical	C6.0	There are two electrical lines shown on page C6.0 that are noted to "connect to existing electrical line". Please confirm the sizes, quantities, and application of the new and existing electrical runs.	The proposed electrical lines are relocated lines where the existing electrical lines are in conflict with the site improvements. The existing electrical runs, sizes, and quantities are unknown and shall be verified in field.	Engineering Enterprise	3/26/2019	4/8/2019
154)	Tile	Spec Section 093000	The specification has American Slate Co as Manufacturer for the Elevator Cab Floors. Upon research, we have determined this company is out of business. Since there is no image of Imperial Orient Smooth available, we have no way to find a match for this product. Please provide a suggested material budget allowance or alternate product spec.	For Similar product see Camara Slate Inc. Mottled green & purple. Or similar. http://camaraslate.com/floor-tile/ or Buckingham Virginia Slate Corp https://www.buckinghamslate.com/wp-content/uploads/Buckingham-Product-Brochure-2019.pdf	Watry	3/28/2019	4/2/2019
155)	Electrical	Fire Alarm	Please confirm if there is a preferred Fire Alarm vendor for this project.	The sole source Fire Alarm vendor for this project is Siemens. Updated Fire Alarm specifications to follow.	Truebeck Response	3/27/2019	3/28/2019
156)	Electrical	Video Surveillance System - Specification Section 282300, 3.3-A-1-d Recording Continuous	Please confirm "continuous recording" and not "motion-based recording" is desired for the video surveillance system. Be advised that a "continuous recording" system is approximately \$30,000 more expensive than a "motion-based" recording system.	Motion based recording in only required	Engineering Enterprise	3/27/2019	4/8/2019
157)	Electrical	E5.01, C6.0	Confirm location of the existing PG&E Vault and associated primary conduit routing to the new PS2 PG&E Transformer Pad.	See response to Pre-Bid RFI #139. Electrical subcontractor to stub PG&E primary conduits 5' outside of Transformer Pad and cap.	Truebeck Response	4/1/2019	4/2/2019



Parking Structure 2
Pre-Bid RFI Log

Date Updated: 4/9/2019

Item	Bid Package/Trade	Reference Document	Description	Response	Responsible Party	Date Issued	Date Resolved
158)	Electrical	Electrical Drawings	<p>Plug Load controllers / Controlled receptacles in furniture feeds:</p> <p>In certain open office spaces that have furniture feeds (see attached) there is no call out for controlled receptacles (the engineer does call out controlled receptacles in other areas). Do these furniture feeds require controlled receptacles to adhere to title 24?</p>	N/A to the garage.	Engineering Enterprise	4/2/2019	4/8/2019

TRUEBECK
CONSTRUCTION