

Entrada Way Slip-Out Repair Project

Certification of the Initial Study/Mitigated Negative Declaration and Adoption of a Resolution of Necessity

May 19, 2026

County of San Mateo
Department of Public Works

COUNTY OF **SAN MATEO**



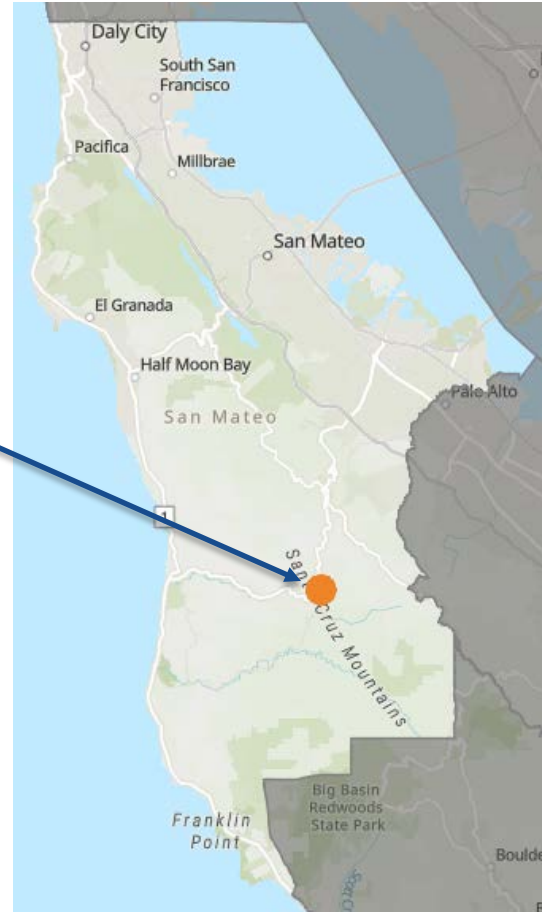
Adopting a Resolution of Necessity



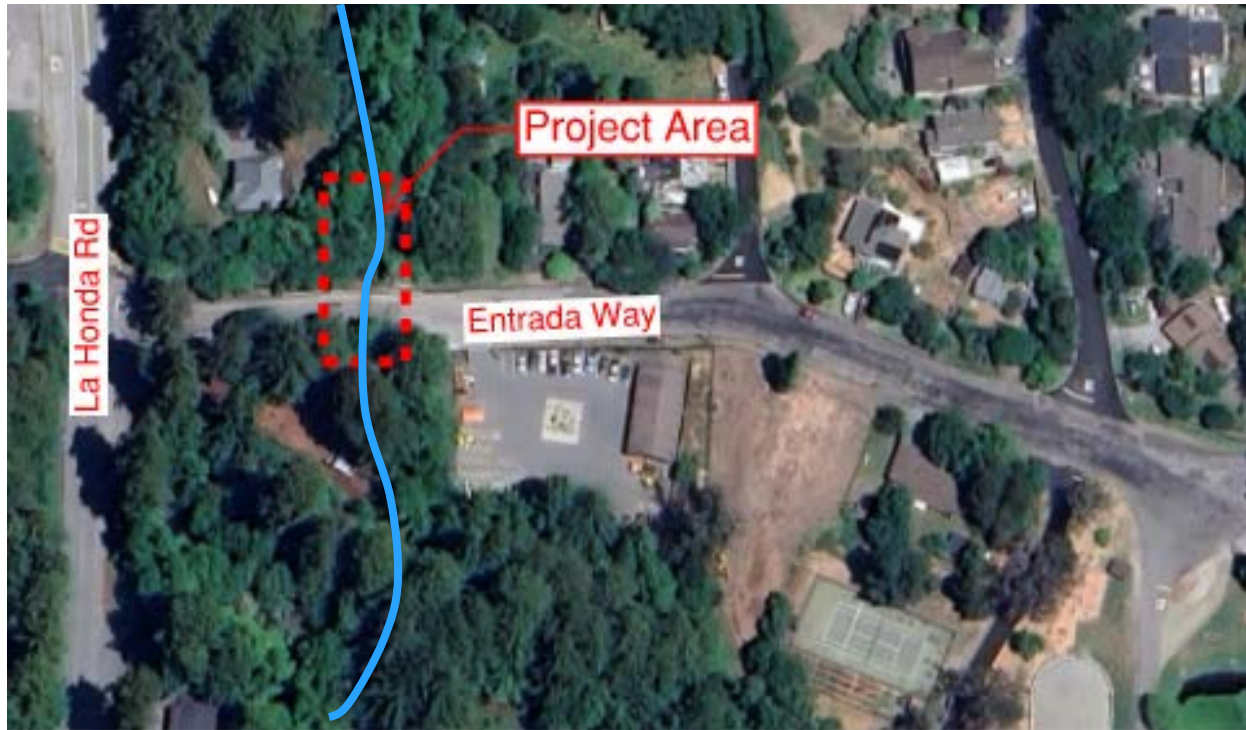
- Required property rights have not been secured through voluntary agreements
- Project cannot proceed without access to affected properties
- County has made good faith efforts to negotiate

Entrada Way Slip-Out Repair Project in the La Honda area

La Honda

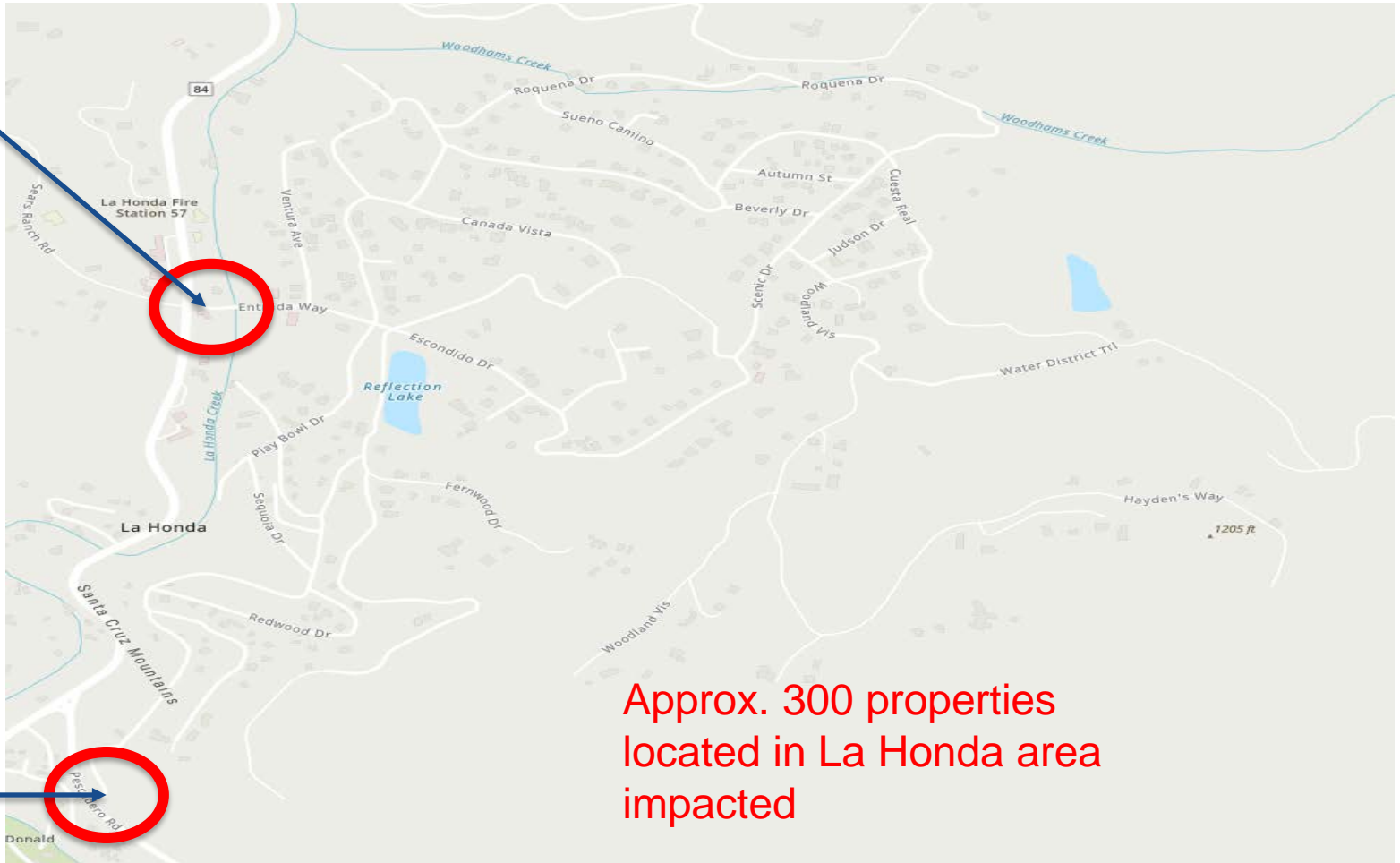


Unincorporated area of La Honda Location Map



La Honda Ingress and Egress Access Routes

Entrada Way



Redwood Drive



Approx. 300 properties located in La Honda area impacted



Existing Conditions



Project Location looking (west) towards Hwy 84 (La Honda Road)

Existing Conditions



Embankment Erosion Northeast

Existing Conditions



Embankment and Culvert Looking
Downstream

Existing Conditions During Storm Events



Project Location During Storm Events

Critical Infrastructure Within Entrada Way



Cuesta La Honda
Guild Water Main

Overhead
communication and
power lines

PG&E Joint Utility
Pole

Threat to utilities (water,
power, telecom)

Alternatives Considered

Seven (7) alternatives were evaluated
Ranked for:

- Habitat and Geomorphic Performance (25%)
- Impacts and Risks to Infrastructure (50%)
- Project Implementation Complexities and Costs (25%)

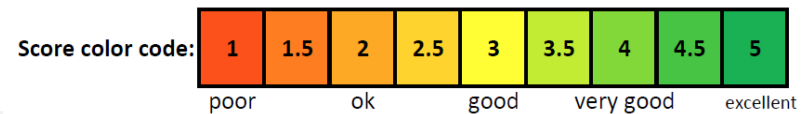


Figure 7. Drainage Areas for Entrada Way Roadside Drainage System at East Side of Creek Culvert.

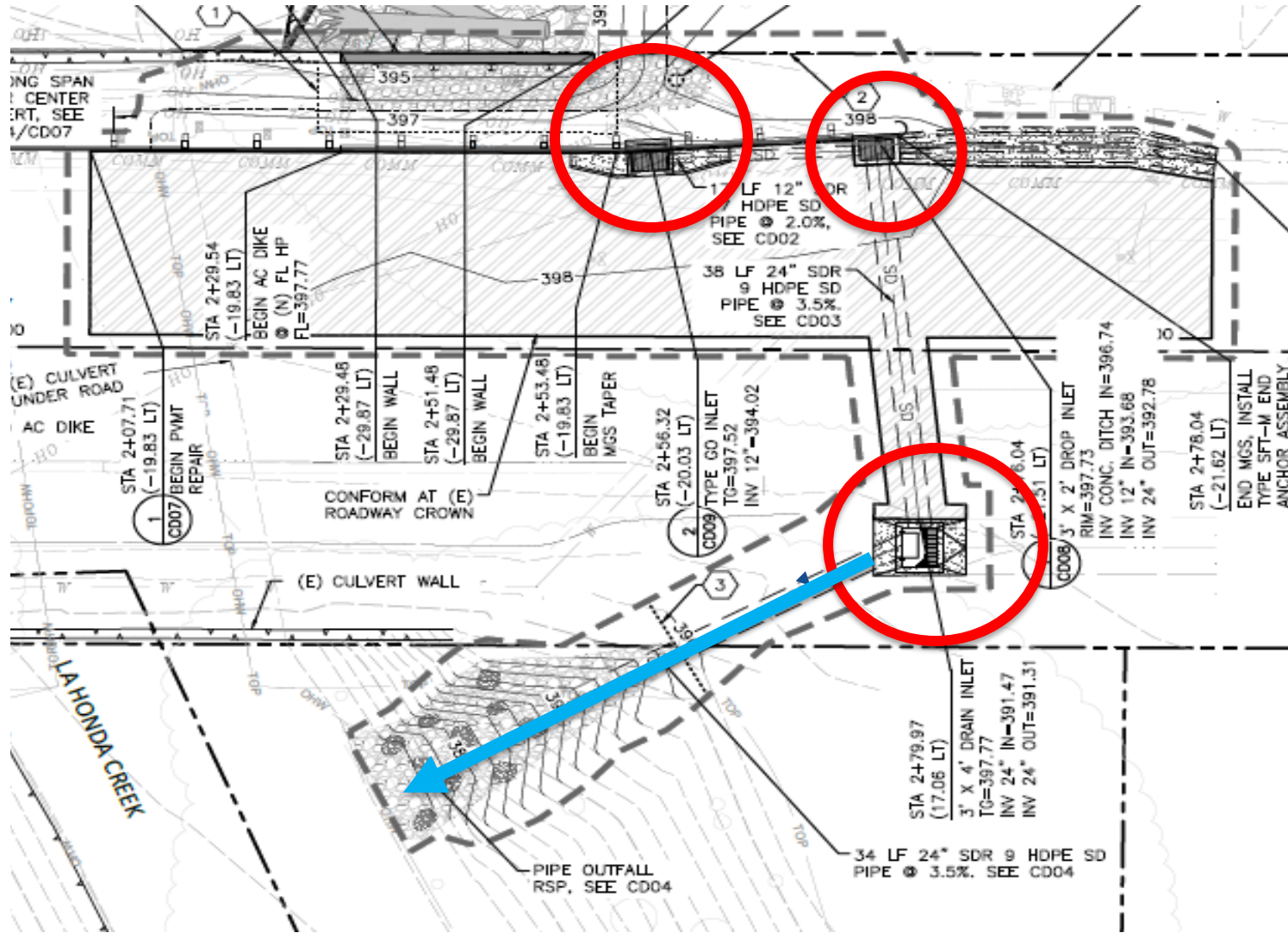
Alternatives Considered

- Alternative 2b ranked highest
- Combination of:
 - Vegetated and engineering log slabs (ELS) structure
 - Retaining wall extension parallel to Entrada Way

	Average Score - Performance (25%)	Average Score - Impact (50%)	Average Score - Implementation (25%)	Total Comparative Score
Alternative #0 (No Action)	1.7	1.0	3.7	1.8
Alternative #1a Full Bank Protection ELS (no wall)	4.3	4.2	3.6	4.1
Alternative #1b Full Bank Protection ELS (with wall)	4.0	5.0	3.2	4.3
Alternative #2a Vegetated and ELS Bank (no wall)	5.0	4.2	3.9	4.3
Alternative #2b Vegetated and ELS Bank (with wall)	4.7	5.0	3.5	4.5
Alternative #3a Wall Along Roadway	1.7	2.1	2.3	2.1
Alternative #3b Wall Along Roadway and Left Bank	1.0	3.0	2.2	2.3



Storm Drainage Improvements



Proposed Project Improvements (Visual Reference)



Constructed Vegetated Log Retaining Wall



Proposed Project Improvements (Visual Reference)



Constructed Creek Realignment and Re-vegetation



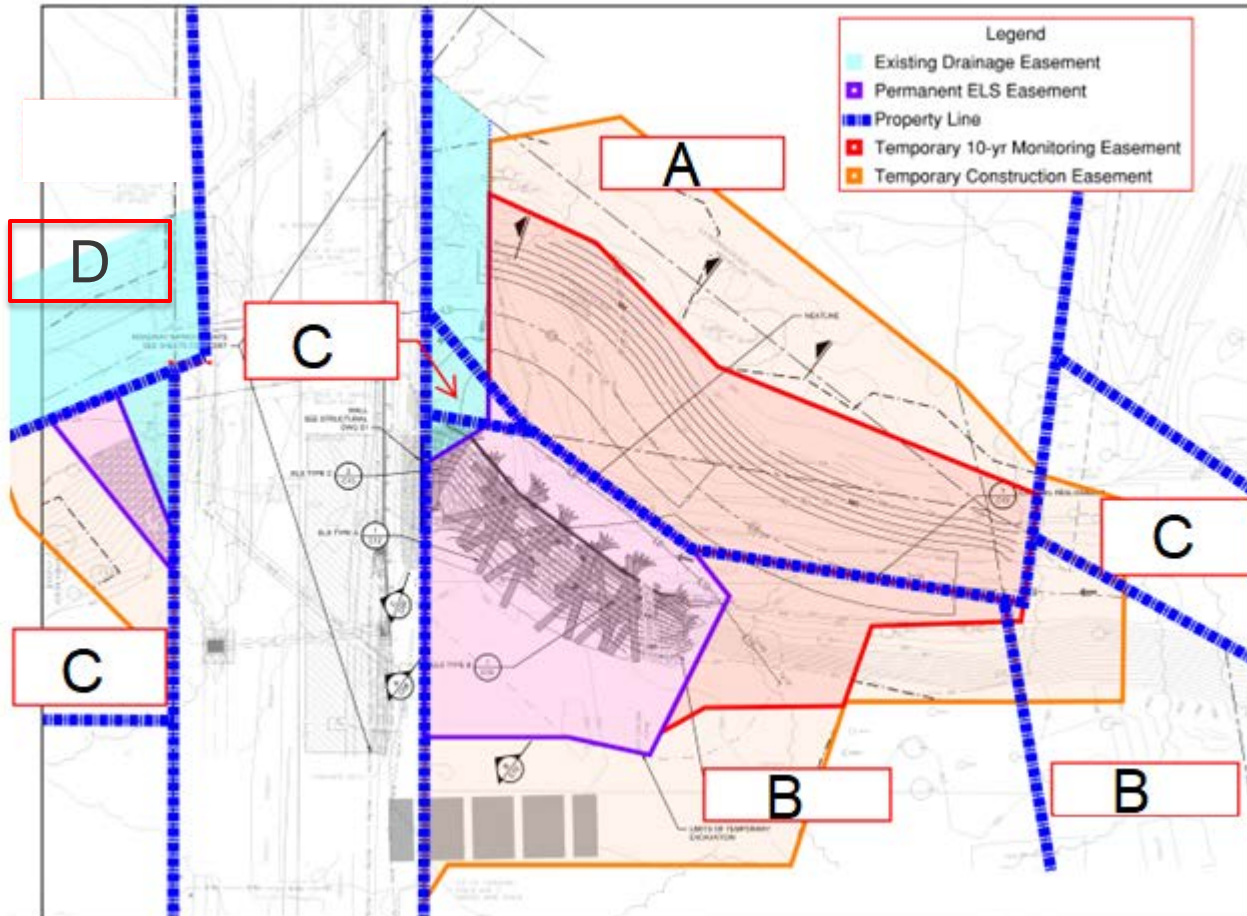
Property Impacts and Required Easements

- Majority of improvement must occur outside existing County right-of-way
- Easements are required to:
 - Construct stabilization improvements
 - Maintain long-term functionality
 - Meet environmental permit requirements
- Types of Easements Required
 - Permanent
 - 10-year monitoring
 - Temporary Construction



Without these easement, the project cannot be constructed

Easements Required



Easements Required

Property “A”

- Temporary Construction Easement
- 10-Year Monitoring Easement

Property “B”

- Permanent ELS Easement
- 10-Year Monitoring Easement
- Temporary Construction Easement

Property “C”

- Permanent Drainage Easement
- 10-Year Monitoring Easement
- Temporary Construction Easement

Property “D”

- Existing Drainage Easement

Existing Drainage Easements

- Drainage easements exist directly around the culvert



Property Owner Outreach and Good Faith Negotiations

- Outreach with property owners began in November 2024
- Multiple meetings/site visits conducted
- Design has been reviewed with property owners
- Adjustments made where feasible (tree impacts, construction fence alignment)
- Independent appraisals completed
- Formal offers issued (March 17, 2026)
- Opportunity to accept, reject, or negotiate
- One property owner accepted
- Two property owners have not accepted the offers



California Eminent Domain Process

1. Notice of Intent to Appraise (February 2026)
2. Provide summary of appraisal to owners (March 2026)
3. Hold public hearing on Resolution of Necessity (TODAY)
 - a) Hear from staff and public about necessity of project
 - b) Hear from owners about whether use of their property is necessary
 - c) Authorize County Attorney to file an eminent domain lawsuit
4. Deposit probable amount of just compensation with court
5. File motion for prejudgment possession to begin construction
6. Trial held on the adequacy of the compensation to the owner



Risks of Delay



Why Action is Recommended

- Severe 2026 winter storms could lead to catastrophic creek bank failure
- Possible compromise of the primary access route for ~300 properties
- Loss of the roadway would significantly impact emergency response

Recommended Action

The Department of Public Works requests that the Board of Supervisors:

- A. Adopt a resolution certifying and adopting the Initial Study/Mitigated Negative Declaration, dated December 2025 together with the Responses to Comments, and the Mitigation Monitoring and Reporting Program (MMRP) as the Final Initial Study/Mitigated Negative Declaration and MMRP for the Entrada Way Slip-Out Repair Project; and
- B. Adopt a Resolution of Necessity declaring that the acquisition of three (3) permanent easements, three (3) 10-year temporary monitoring easements, and six (6) temporary construction easements burdening a portion of the properties located at 8800 La Honda Road and other lands adjacent to the La Honda Creek with no street addresses, in unincorporated La Honda, California, Assessor Parcel Numbers 083-012-060, 083-051-060, 083-051-110, 083-051-120, 083-051-140, and 083-093-130 by eminent domain, as necessary to construct the Entrada Way Slip-Out Repair Project.



Thank you,
Questions?



COUNTY OF SAN MATEO

