



Crown Castle
8020 Katy Freeway
Houston, TX 77024

October 4, 2021

County of San Mateo
Attn: Don Grady
555 County Center, 4th Floor
Redwood City, CA 94063

via FedEx, Priority Overnight
7748 7034 7679

Dear County Board and Staff,

Enclosed is the FINAL AND COMPLETE Permit Agreement and exhibits. Please discard all prior agreements you may have received.

Please do not hesitate to call or email me with any questions.

Sincerely,

Aaron Vrana
Senior Transaction Specialist
Aaron.Vrana@crowncastle.com
T: (682) 553-5578

COUNTY OF SAN MATEO

PERMIT AGREEMENT

No. 5398

Pescadero Quarry Communication Site
Pescadero, California

PERMITTEE: CCATT LLC, a Delaware limited liability company

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**PERMIT AGREEMENT
No. 5398**

PESCADERO QUARRY COMMUNICATION SITE, PESCADERO

1. **PARTIES.** This Permit Agreement ("Permit"), dated for reference purposes only this _____ day of _____, 2021, is made by and between the COUNTY OF SAN MATEO, a political subdivision of the State of California ("County" or "Permitter"), and CCATT LLC, a Delaware limited liability company ("Permittee"). Permitter and Permittee agree as follows:

2. **PREMISES.** Permitter is the owner of that certain parcel of real property commonly known as the Pescadero Quarry Communication Site, in a location formerly referred to as 1000 Pescadero Creek Road which his located off Bean Hollow Road, San Mateo County, California (the "Property"), and more particularly described in Exhibit A (Property Map).

The Premises consist of a portion of the Property including (i) approximately 1,340 square feet of ground space for the installation and operation of the equipment described in Exhibit B (Site Plan/Construction Drawings) and (ii) the non-exclusive right of access over and through such portions of the Property as are necessary for Permittee's use of the Premises, and more particularly shown in Exhibit A. In connection with its use of the Premises, and for the Term of this Permit, Permitter grants Permittee a non-exclusive and non-possessory license for the placement and use of wiring and conduit, as shown in Exhibit B. It is the intent of the Parties that the License hereby granted shall be co-terminus with the Permit.

3. **IMPROVEMENTS AND INSTALLATIONS.** Permittee shall have the right to install and maintain the improvements to the Premises in accordance with the plans attached as Exhibit B, *Site Plan/Construction Drawings* (the "Initial Improvements"). Any additional modifications to the site shall be made in writing by Permittee, and shall obtain consent of Permitter, which consent shall not be unreasonably withheld, conditioned or delayed, for any additional modifications to the Premises not shown in Exhibit B. Furthermore, Permittee understands that in order to modify any equipment/antennas, it must replace said equipment/antennas with like size, weight and quantity equipment to the extent reasonably feasible to minimize the footprint and impact on the site.

Permittee shall obtain all necessary governmental approvals and permits prior to commencing any improvements or modifications, and shall provide Permitter with ten (10) days written notice prior to the start of construction. All contractors and subcontractors of Permittee for work performed at the Premises shall be duly licensed by the State of California, and all work shall be performed in a good, safe and workmanlike manner.

Prior to the installation of equipment, Permittee must obtain any and all licenses required in order to operate the site for the intended use. Copies of said license(s) shall be provided by Permittee to Permitter upon receipt by Permittee.

Permitter enters this Permit solely in its proprietary capacity as owner of the Property and not in any capacity as a zoning, land-use, or building/planning authority. Nothing in this Permit shall be construed as approval or issuance of a use permit, building permit, or any other approval as may be required by and issued by the San Mateo County Department of Planning and Building and/or any other applicable government agency.

4. USE. Permittee may use and occupy the Premises for the installation, construction, removal, replacement, maintenance, and operation of a wireless communication site utilizing the existing and the proposed equipment as shown on the attached Exhibit B ("Equipment").

Permittee acknowledges that, subject to the limitations set forth in Section 20 (Equipment Conflict) but otherwise without effecting the rights and obligations of the Parties hereunder, Permitter may, in its sole discretion, grant to other operators the right to install and use similar facilities at the Property.

Permittee shall not do or permit anything to be done in or about the Premises, nor bring or keep anything therein, which will in any way increase the existing rate of or affect any fire or other insurance upon the Premises or the Property, or cause cancellation of any insurance policy covering the Premises or the Property. Permittee shall not use or allow the Premises to be used for any improper, immoral, unlawful or objectionable purpose, nor shall Permittee cause, maintain or permit any nuisance in, on or about the Premises or the Property. Permittee shall not commit or suffer to be committed any waste in or upon the Premises or the Property.

PERMITTEE ACKNOWLEDGES AND AGREES THAT THE PREMISES ARE ACCEPTED IN THEIR "AS IS" CONDITION, WITHOUT REPRESENTATION OR WARRANTY OF ANY KIND, AND SUBJECT TO ALL APPLICABLE LAWS, RULES AND ORDINANCES GOVERNING THEIR USE, OCCUPANCY AND POSSESSION. PERMITTEE REPRESENTS AND WARRANTS TO PERMITTOR THAT PERMITTEE HAS INVESTIGATED AND INSPECTED, EITHER INDEPENDENTLY OR THROUGH AGENTS OF PERMITTEE'S OWN CHOOSING, THE CONDITION OF THE PREMISES AND THE SUITABILITY OF THE PREMISES FOR PERMITTEE'S INTENDED USE. PERMITTEE HAS DETERMINED, BASED SOLELY ON ITS OWN INVESTIGATION, THAT THE PREMISES ARE SUITABLE FOR PERMITTEE'S BUSINESS AND INTENDED USE. PERMITTEE ACKNOWLEDGES AND AGREES THAT NEITHER PERMITTOR NOR ANY OF ITS AGENTS HAVE MADE, AND PERMITTOR HEREBY DISCLAIMS, ANY REPRESENTATIONS OR WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE RENTABLE AREA OF THE PREMISES, THE PHYSICAL OR ENVIRONMENTAL CONDITION OF THE PREMISES OR THE PROPERTY, THE PRESENT OR FUTURE SUITABILITY OF THE PREMISES FOR PERMITTEE'S BUSINESS, OR ANY OTHER MATTER WHATSOEVER RELATING TO THE PREMISES, INCLUDING, WITHOUT LIMITATION, ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

5. **PRIMARY TERM.** Unless sooner terminated pursuant to the provisions hereof or sooner extended pursuant to Section 6, the primary term of this Permit shall be for five (5) years commencing on the date this Permit is executed by Permittor, as authorized by the County of San Mateo Board of Supervisors in its sole and absolute discretion ("Effective Date"). Payment of the Base Permit Fee due hereunder shall commence on the Effective Date. In the event the Effective Date falls on a day other than the first day of a calendar month, said partial month, together with the first twelve (12) full calendar months, shall be deemed to be the first year of the Primary Term and each successive twelve (12) full calendar months shall be the successive year of the Term.

6. **RENEWAL TERM.** Subject to the limitations set forth in this section, Permittee shall have the option to renew this Permit for one additional five (5) year term beyond the primary term ("Renewal Term"). Said renewal shall be under the same terms, covenants and conditions as the initial agreement, except for adjustment of the Permit Fee as specified in Section 7D (Renewal Term Fee Adjustment) of this Permit.

Notwithstanding anything to the contrary contained in this Permit, Permittee's right to extend the Primary Term by exercise of the foregoing option shall be conditioned upon the following:

A. **NOTICE:** Permittee shall give Permittor written notice of its election to exercise its option not later than one hundred eighty (180) days prior to the expiration of the Primary Term.

B. **ASSIGNMENT:** Except for the permitted assignment pursuant to Section 29 (Assignment by Permittee), if all or a portion of the Premises under this Permit has been assigned, this option shall be deemed null and void, and neither Permittee nor any assignee shall have the right to exercise such option during the term of such assignment.

C. **CONTINUOUS OPERATION:** Permittee must have been in continuous operation in accordance with Section 4 (Use) except for reasonable periods of downtime and to the extent within Permittee's reasonable control during the Primary Term in effect at the time Permittee exercises its option.

D. **ACCESS ROAD PROJECT:** Permittee shall complete the Access Road Project (defined below) within six (6) months following completion of construction of the proposed equipment set forth in Section 4.

7. **PERMIT FEE.**

A. **BASE PERMIT FEE.** Subject to the adjustments hereinafter set forth, Permittee agrees to pay Permittor, as Base Permit Fee for the Premises, the annual sum of Thirty-Seven Thousand Five Hundred Forty-Five AND 60/100 DOLLARS (\$37,545.60) payable in equal monthly installments of Three Thousand One Hundred

Twenty Eight AND 80/100 DOLLARS (\$3,128.80) in advance on or before the first day of each and every calendar month ("Base Permit Fee"). Within ten (10) days after Permittor executes this Permit, Permittee shall pay to Permittor the Base Permit Fee for the first full month as well as the first partial month in the event Permittor executes the Permit on a day other than the first day of a month. All payments shall be delivered to Permittor at the following address, or such other address as Permittor shall designate in writing to Permittee:

Department of Public WorksAccounts
Receivable (Ref. No. 5398) 555 County
Center, 5th Floor
Redwood City, CA 94063

B. PRORATED PERMIT FEE. The Base Permit Fee and all other fees and charges for any period during the term hereof which is for less than one (1) full calendar month shall be prorated based upon the actual number of days of that calendar month.

C. BASE PERMIT FEE ADJUSTMENT. On each Adjustment Date, the Base Permit Fee for the following twelve-month period shall be adjusted to equal one hundred three percent (103%) of the Base Permit Fee for the permit year preceding such Adjustment Date. By definition herein, the first Anniversary Date shall occur on the first day of the first full month following the first twelve (12) months after the Effective Date of the Primary Term. By example, if the Effective Date of this Permit is July 14, 2017, the first Anniversary Date for the permit fee adjustment would be August 1, 2018, and annually thereafter on each August 1st throughout the Primary Term, or any extension thereof as provided in Section 6 herein (Renewal Term) of this Permit.

D. RENEWAL TERM FEE ADJUSTMENT. During the first year of the Renewal Term, if the option for the Renewal Term is validly exercised pursuant to Section 6, the Base Permit Fee shall be adjusted as set forth in Section 7C (Base Permit Fee Adjustment) or, at the election of Permittor delivered to Permittee in writing within thirty days of receipt of Permittee's notice provided pursuant to Section 6A (Renewal Term; Notice), shall be adjusted to then current fair market permit fees for like space. Current fair market permit fees shall be established in accordance with the County's radio site equipment rates or any replacement schedule formulated by the County of San Mateo, provided, however, in no event shall the Base Permit Fee be reduced below the Base Permit Fee for the permit year prior to commencement of the Renewal Term. The Base Permit Fee for the initial year of the Renewal Term shall be determined and agreed to by both parties at least sixty (60) days prior to the commencement date of the Renewal Term. If an agreement on fair market permit fees cannot be reached by the parties within sixty (60) days prior to the commencement date of the Renewal Term, the Base Permit Fee for the Renewal Term shall be the rate proposed by the Permittor provided, however, that Permittee may, at any time during the subsequent twelve months, terminate this Permit by giving Permittor thirty

(30) days written notice. If Permittee does not, within such twelve-month period, deliver to Permitter written notice of termination, this Permit shall continue in full force and effect for the entire Renewal Term. All other terms and conditions hereof shall apply.

E. **LATE CHARGES.** Permittee hereby acknowledges that late payment by Permittee to Permitter of the Base Permit Fee or other sums due under the provisions of this Permit will cause Permitter to incur costs not contemplated by this Permit, the exact amount of which would be extremely difficult to ascertain. Such costs include, but are not limited to, administrative processing of delinquent notices and accounting charges. Accordingly, if any installment of the Base Permit Fee or of any sum due from Permittee is not received by Permitter or postmarked within five (5) days after said amount is due, then Permittee shall pay to Permitter a late charge equal to five percent (5%) of the permit fee in effect at that time or Fifty Dollars (\$50.00), whichever is greater. A late charge shall be applied each month that the permit fee or any sum due is delinquent. The parties hereby agree that such late charges represent a fair and reasonable estimate of the cost that Permitter will incur by reason of the late payment by Permittee. Acceptance of late charges by Permitter shall in no event constitute a waiver of Permittee's default with respect to such overdue amount, nor prevent Permitter from exercising any of the other rights and remedies granted under the provisions of this Permit.

Any Fee, if not paid within five (5) days following the due date, shall bear interest from the due date until paid at the rate of ten percent (10%) per year or, if a higher rate is legally permissible, at the highest rate an individual is permitted to charge under law (the "Interest Rate"). However, interest shall not be payable on late charges incurred by Permittee nor on any amounts on which late charges are paid by Permittee to the extent this interest would cause the total interest to be in excess of that which an individual is lawfully permitted to charge. Payment of interest shall not excuse or cure any default by Permittee.

8. TERMINATION.

A. **BY PERMITTEE:** Permittee shall have the right to terminate this Permit at any time upon thirty (30) days prior written notice to Permitter for any of the following reasons:

i. If the approval of any agency, board, court or other governmental authority necessary for the construction and/or operation of Permittee's communications facility cannot be obtained, or is revoked, or if Permittee determines the cost of obtaining such approval is commercially infeasible, or

ii. If Permittee determines that the Premises is not appropriate for locating Permittee's communication facility for environmental and/or technological reasons including, but not limited to, signal interference.

B. **BY PERMITTOR:** Permitter shall have the right to terminate this Permit at any time upon thirty (30) days prior written notice to Permittee only for any of the following

reasons:

- i. If Permittee's communication equipment causes interference with Permitter's communication equipment located on the Property and Permittee's communication equipment cannot be corrected, or
- ii. If Permitter determines that the Property or any portion thereof, including the Premises, has a more appropriate use including, but not limited to, any County or public use, or sale; or
- iii. If Permittee remains in default under Section 22 (Default; Remedies) of this Permit after the applicable cure periods.

If Permitter terminates this Permit under the provisions of the above Section 8(B)(ii), Permitter shall use commercially reasonable efforts in assisting Permittee in identifying a "Replacement Location" on the Property.

In the event an adequate Replacement Location can be identified, Permitter and Permittee shall execute an amendment to this Permit modifying the description of the Premises and development and use conditions as necessary and appropriate, and this Permit shall remain in full force and effect. Permittee shall pay all relocation costs incidental to such substitution of the Premises.

In the event that an adequate Replacement Location cannot be located, Permittee shall have the right to terminate this Permit upon at least ninety (90) days advance written notice to Permitter, and this Permit will terminate on the same terms and conditions as if it had expired at the end of the Term.

C. NOTICE. Upon termination as provided for under the terms of Section 8A (Termination by Permittee), or Section 8B (Termination By Permitter), neither party will owe the other party any further obligation under the terms of this Permit, except as may otherwise be specifically provided herein and except for Permittee's responsibility to remove all of Permittee's communications equipment from the Premises and restore the Premises to its original condition, as near as practicable, save and except normal wear and tear and acts beyond Permittee's control.

In the event of any damage to, destruction of or condemnation of all or any part of the Premises which renders the Premises unusable or inoperable, either party shall have the right, but not the obligation, to terminate this Permit and all of its duties and obligations hereunder by giving written notice to the other party within thirty (30) days after such damage, destruction or condemnation unless said damage was caused by the negligence or willful misconduct of the party issuing such notice. Permittee acknowledges that it has no property interest in the Premises and that Permitter alone shall be entitled to any condemnation proceeds paid as a result of any condemnation of the Premises, except for any relocation payments owing to Permittee under California law. Upon the expiration or termination of this Permit for any reason,

Permittee shall remove its equipment and all personal property in accordance with Section 18 (Removal of Improvements) hereof.

9. HAZARDOUS MATERIALS ACTIVITY. Permittee shall not store, handle or generate hazardous materials/waste/underground tanks on the Premises except for fuel, batteries, and solvents used in connection with an emergency generator and only in the event of disruption of electrical service to the Premises. In the event that Permittee does store, handle, or generate hazardous materials on the Premises, Permittee shall be deemed to be in breach of this Permit and shall be subject to such remedies as are available to Permitter under law, and as provided herein. Additionally, Permittee shall be liable for the payment of all costs of investigation and remediation of hazardous materials on the Premises that may be required in the event that Permittee does store, handle, or generate hazardous materials on the Premises, and shall relieve, indemnify, protect, and save harmless Permitter against any and all claims and liabilities, of any kind or nature whatsoever, arising out of the presence of any such hazardous materials introduced to the Premises by Permittee.

Hazardous material means any material that, because of its quantity, concentration, or physical or chemical characteristics, poses a significant present or potential hazard to human health and safety or to the environment if released into the work place or the environment. Hazardous materials include, but are not limited to, hazardous substances, hazardous waste, and any material which a handler or the administering agency has a reasonable basis for believing would be injurious to the health and safety of persons or harmful to the environment if released into the work place or the environment. Examples of such hazardous materials are, but are not limited to: waste oil, solvents, gasoline and compressed gases.

Permitter represents and warrants to Permittee that there is no pending claim, lawsuits, proceeding or other legal, quasi-legal or administrative challenge concerning the Property or Premises, the operation thereof, or any condition existing thereon which relates to the presence of any Hazardous Materials in, under or around the Property. Permitter further represents and warrants, to the best of Permitter's knowledge, that there are no Hazardous Materials present in, on, under or around the Property and/or Premises in violation of any applicable law.

10. NATURE OF PERMIT. This Permit does NOT constitute the grant of a lease, deed, easement, or conveyance or transfer of any property ownership interest whatsoever.

11. ACCESS. Permittee acknowledges that the Property is an operating public facility. Permitter acknowledges that Permittee's equipment will operate on a twenty-four (24) hour a day, seven (7) days per week basis, and reasonable full time access is required. Permitter shall determine the allowable access route to the Premises, which shall be subject to modification by Permitter from time to time.

Subject to the provisions of Section 3 (Improvements and Installations) and Section 17 (Alterations or Additions) hereof, and subject to the allowable access route as determined by Permitter, Permittee may enter the Premises at any time without prior notice being given to Permitter for the maintenance and operation of Permittee's existing communications facilities.

County reserves for itself and any of its designated agents, the right to enter the Premises as follows: (i) on a regular basis without advance notice to supply any necessary or agreed-upon service to be provided by County hereunder; (ii) on an occasional basis, at all reasonable times after giving Permittee reasonable advance written or oral notice, to show the Premises to prospective Permittees or other interested parties, to post notices of non-responsibility, to conduct any environmental audit of Permittee's use of the Premises, to repair, alter or improve any part of the Premises, and for any other lawful purpose; and (iii) on an emergency basis without notice whenever County believes that emergency access is required. County shall have the right to use any means that it deems proper to open gates or doors in an emergency in order to obtain access to any part of the Premises, and any such entry shall not be construed or deemed to be a forcible or unlawful entry into or a detainer of, the Premises, or an eviction, actual or constructive, of Permittee from the Premises or any portion thereof.

12. CLAIMS. Permittee shall at all times indemnify and save Permitter harmless from all claims for labor or materials in connection with construction, repair, alteration, or installation of structures, improvements, equipment, or facilities within the Premises, and from the cost of defending against such claims, including attorney fees.

13. DAMAGE TO OR DESTRUCTION OF IMPROVEMENTS. In the event of damage to or destruction of the Premises or any portion thereof by reason of the negligence or willful misconduct of Permittee, its agents, officers, employees or invitees, Permittee shall, within thirty (30) days, commence and diligently pursue to complete the repair, replacement, or reconstruction of improvements necessary to permit full use and occupancy of the Premises at Permittee's sole cost.

14. PERMITS. Permitter acknowledges that Permittee is obligated to contact the appropriate governmental agencies for the purpose of obtaining all permits and approvals necessary for the construction, operation, and maintenance of Permittee's communication facility. Permitter agrees to fully cooperate with Permittee in obtaining the necessary permits and, without limiting the generality of the foregoing, to execute any applications, maps, certificates, or other documents that may be required in connection with the permits.

15. MAINTENANCE. Permittee expressly agrees to maintain the Premises and Equipment at Permittee's sole expense, in a safe, clean, wholesome, and sanitary condition, to the reasonable satisfaction of Permitter and in compliance with all laws, rules, and regulations applicable to Permittee's specific use thereof.

Permittee shall not allow any offensive or refuse matter, nor any substance constituting an unnecessary, unreasonable or unlawful fire hazard, nor any material detrimental to the public health to accumulate or remain on the Premises. It is expressly understood that Permitter shall have no responsibility whatsoever to make any improvements or repairs or perform any maintenance to Permittee's Premises.

16. UTILITIES. Permittee expressly agrees that Permittee shall be responsible for obtaining and providing any and all electrical and electronic communication services to the Premises required for Permittee's use, including, but not limited to, the cost to install,

connect, maintain and operate said facilities. Permittor will cooperate with Permittee in Permittee's efforts to obtain utilities from any location provided by Permittor or the servicing utility, including signing any permit or other instrument reasonably required by the utility company. Said responsibility for all costs associated with utilities shall include the installation of a separate electrical meter, if applicable. Provided adequate capacity is available from Permittor's existing service, upon Permittee's written request, Permittor shall allow Permittee to install sub-metering equipment on Permittor's existing utility services. Permittee agrees to install, at Permittee's cost, the required equipment, meters and connections and to make any other necessary modifications and will reimburse Permittor monthly for Permittee's use of utilities at a rate equal to Permittor's unit cost for the utilities. The specifications of such equipment shall be submitted to Permittor for written approval prior to installation, which approval shall not be unreasonably withheld.

17. ALTERATIONS OR ADDITIONS. Permittee shall not make, construct, install or suffer to be made any alterations, additions (including antennas, wires, supports, poles or towers) or improvements to or on the Property, the Premises, or any part thereof, without the written consent of Permittor first had and obtained, except that Permittee may exchange or replace the communication equipment located on the Premises which has been previously approved by Permittor with similar equipment of substantially the same (or smaller) size and weight. In the event Permittor consents to the making of any alterations, additions or improvements to the Premises and/or the Property by Permittee, the same shall be made by Permittee at Permittee's sole expense.

18. REMOVAL OF IMPROVEMENTS UPON EXPIRATION OR TERMINATION. Upon the expiration or termination of this Permit for any reason including, but not limited to, bankruptcy, Permittee shall immediately (and in no event later than seven (7) days after termination) remove from the Premises the Equipment and any other property placed on the Premises by Permittee or any of Permittee's Agents. Such removal shall be performed in such a manner as to not interfere with the continuing use of the Premises by Permittor and others. Permittee shall, at Permittee's sole expense, repair any damage to the Premises, or any facilities or equipment on the Premises, caused by such removal. Upon any failure of Permittee to remove the Equipment and any other possessions of Permittee pursuant to this Section, Permittor shall have the option, but not the obligation, to remove the Equipment from the Premises and store the Equipment, all at Permittee's expense, upon thirty (30) days advance written notice to Permittee. Any damages to the Equipment occasioned by such removal and storage are expressly waived by Permittee. Any Equipment so removed will be returned to Permittee upon payment in full of all removal and storage costs and any past due Base Permit Fees, plus an administrative charge equal to ten percent (10%) of the total of said removal, storage, and past due Base Permit Fee costs. Notwithstanding the foregoing, any Equipment not retrieved by Permittee within sixty (60) days after removal from the Premises by Permittor shall be deemed abandoned by Permittee and shall become the property of Permittor without further action by either party. Such abandonment shall not relieve Permittee of liability for the costs of removal and storage of the Equipment.

19. FIXTURES. Permittor covenants and agrees that no part of the improvements constructed, erected, or placed by Permittee on the Premises and/or Property or other real property owned by Permittor shall be or become, or be considered as being, affixed to, or a

part of Permitter's real property, and any and all provisions and principles of law to the contrary withstanding, it being the specific intention of Permitter to covenant and agree that all improvements of every kind and nature constructed, erected, or placed by Permittee on the Premises or other real property owned by Permitter, shall be and remain the property of the Permittee except as provided in Section 18 (Removal of Improvements) of this Permit. Permittee has the right to remove all Permittee's Equipment at its sole expense on or before the expiration or termination of this Permit. Permitter acknowledges that Permittee may enter into financing arrangements including promissory notes and financial and security agreements for the financing of Permittee's Equipment (the "Collateral") with a third party financing entity and may in the future enter into additional financing arrangements with other financing entities. In connection therewith, Permitter (i) consents to the installation of the Collateral to the extent that the Collateral is part of the approved Permittee's Equipment; (ii) disclaims any interest in the Collateral, as fixtures or otherwise; and (iii) agrees that the Collateral shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for any permit fee due or to become due and that such Collateral may be removed at any time without recourse to legal proceedings.

20. EQUIPMENT CONFLICT. Permittee agrees to use equipment of a type and frequency, which will not cause interference with communications equipment currently under the operation and control of Permitter or any other communications provider under an existing Permit with Permitter as of the Effective Date hereof. If the Permitter's communication equipment involves public safety communications and if the Permittee's equipment causes any interference to public safety communications, the Permittee's equipment will be immediately taken out of service without exception by Permittee. If Permittee's equipment interferes with the Permitter's public safety communications, the determination to take out of service the Permittee's equipment shall be at the Permitter's sole discretion, except as provided below:

A. Permittee will not cause radio frequency and/or electrical interference to the existing equipment of Permitter or to any other occupant, Permittee, or any other user ("Existing User") of the Property whose equipment was located at the Property upon the earlier of: (i) the effective date; or (ii) the date Permittee installs its Communications Equipment, provided that the equipment used by any Existing User or Permitter is operating within the technical parameters specified by its manufacturers and as defined by the FCC. Upon written notice from Permitter to Permittee of such interference, Permittee will take all reasonable steps to correct such interference in a timely manner. If such interference cannot be corrected within five (5) business days from receipt of Permitter's Notice, Permittee will cease using its Communications Equipment, except for testing, until such time as Permittee corrects the interference to Permitter's satisfaction. In the event Permittee cannot correct the interference, Permittee will have the option to terminate this Permit without further liability hereunder, upon (30) days written Notice to Permitter and Permittee shall remove its equipment in a timely manner and at Permittee's sole cost and expense.

B. After the date of this Permit, Permitter will not grant a permit to any other party for use of the Property or modify any existing agreement for use of the Property, or change its use of the Property or permit an Existing User of the Property to make any changes to its use of the Property, if such use would in any way materially adversely

affect or interfere with the operation of Permittee's communication equipment. If another occupant, tenant, permittee or other user or an Existing User of the Property makes such a change and causes uncorrected radio frequency and/or electrical interference with Permittee's communication equipment, Permittor will require the party causing such interference to either correct such interference or stop using the equipment that is causing the interference. If after thirty (30) days such interference has not been completely corrected to Permittee's reasonable satisfaction, Permittee will have the option to terminate this Permit without further liability hereunder.

C. Permittee shall not, subsequent to its initial installation of equipment, make any modification to its equipment or the use thereof during the Term that will cause radio frequency and/or electrical interference to the equipment of Permittor then in operation, nor to that of any other occupant, tenant, permittee or other user of the Property. Any such user in operation at the time of such modification or change in use shall be considered an Existing User as set forth in Section 20A above, and the provisions of that Section shall apply.

21. TAXES.

A. REAL PROPERTY TAXES. Permittor shall pay all real property taxes, if any, levied against the Premises. Permittee shall pay its share of any general and special assessments, if any, to the extent assessed against the Premises as a result of Permittee's improvements thereto or use thereof during the term of this Permit.

B. PERSONAL PROPERTY TAXES. Permittee shall pay, or cause to be paid, before delinquency, any and all taxes and assessments levied against Permittee's personal property in the Premises.

C. POSSESSORY INTEREST TAX. Permittee recognizes and understands in executing this Permit that its interest in the Premises created herein may be subject to a "Possessory Interest Tax" that the County Assessor may impose on such interest, and any such tax would be the liability of and be paid solely by Permittee. Permittee agrees to pay promptly when due, any Possessory Interest Tax imposed on its interest in the Premises and/or Property.

22. DEFAULT; REMEDIES

A. EVENTS OF DEFAULT. Any of the following shall constitute an event of default (the "Event of Default") by Permittee hereunder:

- i. A failure to comply with any covenant, condition or representation made under this Permit and such failure continues for fifteen (15) days after the date of written notice by Permittor, provided that if it is not feasible to cure such default within such 15-day period, Permittee shall have a reasonable period to complete such cure if Permittee promptly undertakes action to cure such default within such 15-day period and thereafter diligently pursues the same to completion within sixty (60) days after the receipt of notice of default from

Permitter. Permitter shall not be required to provide such notice more than twice in any twelve (12) month period with respect to any material non-monetary defaults and after the second notice in any calendar year, any subsequent failure by Permittee during such 12-month period shall constitute an Event of Default hereunder;

ii. A vacation or abandonment of the Premises for a continuous period in excess of five (5) business days; or

iii. An appointment of a receiver to take possession of all or substantially all of the assets of Permittee, or an assignment by Permittee for the benefit of creditors, or any action taken or suffered by Permittee under any insolvency, bankruptcy, reorganization, moratorium or other debtor relief act or statute, whether now existing or hereafter amended or enacted, if any such receiver, assignment or action is not released, discharged, dismissed or vacated within sixty (60) days.

B. REMEDIES. Upon the occurrence of an Event of Default Permitter shall have the following remedies, which shall not be exclusive but shall be cumulative and shall be in addition to any other remedies now or hereafter allowed by law or in equity:

i. Permitter may terminate Permittee's right to possession of the Premises at any time by written notice to Permittee. Upon such termination in writing of Permittee's right to possession of the Premises, this Permit shall terminate and Permitter shall be entitled to recover damages from Permittee as provided in California Civil Code Section 1951.2 or any other applicable existing or future legal requirement providing for recovery of damages for such breach.

ii. Permitter may continue this Permit in full force and effect and may enforce all of its rights and remedies under this Permit, including, but not limited to, the right to recover any fee as it becomes due.

iii. During the continuance of an Event of Default, Permitter may enter the Premises without terminating this Permit and remove all Permittee's Personal Property, Alterations and trade fixtures from the Premises and store them at Permittee's risk and expense. If Permitter removes such property from the Premises and stores it at Permittee's risk and expense, and if Permittee fails to pay the cost of such removal and storage after written demand therefore and/or to pay any fee then due, then after the property has been stored for a period of thirty (30) days or more Permitter may sell such property at public or private sale, in the manner and at such times and places as Permitter deems commercially reasonable following reasonable notice to Permittee of the time and place of such sale. The proceeds of any such sale shall be applied first to the payment of the expenses for removal and storage of the property, the preparation for and the conducting of such sale, any delinquent amount due under this Permit, and for attorneys' fees and other legal expenses incurred by Permitter in connection therewith.

Permittee hereby waives all claims for damages that may be caused by Permittor's re-entering and taking possession of the Premises or removing and storing Permittee's personal property pursuant to this Section, and Permittee shall indemnify, defend and hold Permittor harmless from and against any and all Claims resulting from any such act. No re-entry by Permittor shall constitute or be construed as a forcible entry by Permittor.

iv. Permittor may require Permittee to remove any and all Alterations from the Premises or, if Permittee fails to do so within ten (10) days after Permittor's request, Permittor may do so at Permittee's expense.

C. **PERMITTOR'S DEFAULT.** Permittor shall not be considered to be in default under this Permit unless:

- i. Permittee has given written notice specifying the default; and
- ii. Permittor has failed for thirty (30) days to cure the default, if it is curable, or to institute and diligently pursue reasonable corrective acts for defaults that cannot be reasonably cured within sixty (60) days.

This Permit may be terminated without further liability on thirty (30) days prior written notice by Permittee if Permittor does not cure a default as set forth herein.

23. LIABILITY; VANDALISM. Permittee agrees that Permittor shall not be responsible for any damage to Permittee's property due to vandalism or natural disasters or for the cost of repair or replacement thereof.

24. INDEMNIFICATION AND INSURANCE.

A. Permittee agrees to indemnify and save harmless Permittor and its officers and employees from all claims, suits, or actions of every name, kind and description, brought for, or on account of, injuries to or death of any person or damage to property of any kind whatsoever and to whomsoever belonging, from any cause or causes whatsoever arising from this Permit or any actions of Permittee related to, or in any way connected with, the Premises during the term of this Permit or any extension hereof, except to the extent such claims are caused by the intentional misconduct or negligent acts or omissions of Permittor, its employees, contractors, servants or agents.

The duty of the Permittee to indemnify and save harmless, as set forth hereinabove, shall include the duty to defend as established in Section 2778 of the California Civil Code, except as provided herein or required by law.

B. Permittee, at no cost to the County, shall procure and keep in effect at all times during the Term insurance as follows:

i. Commercial general liability insurance with limits of One Million Dollars (\$1,000,000) each occurrence combined single limit for bodily injury and property damage, including contractual liability meeting the indemnification obligations herein, independent contractors, broad-form property damage, fire damage legal liability (of not less than Fifty Thousand Dollars (\$50,000)), personal injury, products and completed operations, and explosion, collapse and underground (XCU).

ii. Worker's Compensation Insurance with Employer's Liability Limits of not less than \$1,000,000 each accident.

iii. Business automobile liability insurance with limits not less than \$1,000,000 each accident combined single limit for bodily injury and property damage, including owned and non-owned and hired vehicles, as applicable, if Permittee uses automobiles in connection with its use of the Premises.

iv. Such other insurance as is generally required by commercial owners on properties similar in size, character, use and location as the Property, as may change from time to time.

C. Should any of the required insurance be provided under a claims-made form, Permittee shall maintain such coverage continuously throughout the Term and, without lapse, for a period of three (3) years beyond the expiration or termination of this Permit, to the effect that, should occurrences during the Term give rise to claims made after expiration or termination of this Permit, such claims shall be covered by such claims-made policies.

D. Should any of the required insurance be provided under a form of coverage that includes a general annual aggregate limit or provides that claims investigation or legal defense costs be included in such general annual aggregate limit, such general aggregate limit shall double the occurrence or claims limits specified above.

E. All liability insurance policies, excluding workers compensation and employers' liability, shall provide the following:

i. Include as additional insured the County of San Mateo, its officers, agents and employees.

ii. That such policies are primary insurance to any other insurance available to the additional insureds, with respect to any claims arising out of this Permit, and that insurance applies separately to each insured against whom claim is made or suit is brought, except with respect to limits.

F. Each insurance policy required pursuant to Section 24B(i). above shall be issued by an insurance company authorized in the State of California and with a general policyholders' rating of "A-" or better and a financial size ranking of "Class VIII" or higher in the most recent edition of Best's Insurance Guide.

G. All policies shall provide that insurers will endeavor to provide at least thirty (30) days' advance written notice to County of cancellation, except for nonpayment of premium, mailed to the address(es) for County set forth in the Basic Permit Information.

H. Permittee shall deliver to County certificates of insurance in form and from insurers satisfactory to County, evidencing the coverage required hereunder, on or before the Commencement Date and Permittee shall provide County with certificates or policies thereafter at least seven (7) days before the expiration dates of expiring policies. In the event Permittee shall fail to procure such insurance, County may procure, at its option, without waiving any rights or remedies which Permitter may have for Permittee's default hereunder, the same for the account of Permittee, and the reasonable cost thereof shall be paid to County within five (5) days after delivery to Permittee of bills therefore.

I. Upon County's request, Permittee and County shall periodically review the limits and types of insurance carried pursuant to this Section. If the general commercial practice in the County of San Mateo is to carry liability insurance in an amount or coverage materially greater than the amount or coverage then being carried by Permittee for risks comparable to those associated with the Premises, then Permittee shall, at County's request, increase the amounts or coverage carried by Permittee to conform to such general commercial practice.

J. Permittee's compliance with the provisions of this Section shall in no way relieve or decrease Permittee's liability or any of Permittee's other obligations under this Permit.

K. Notwithstanding anything to the contrary in this Permit, if any of the required insurance coverage lapses and is not immediately renewed nor replaced, County may elect, at its sole discretion, to terminate this Permit by delivering to Permittee five (5) days written notice of termination and, if so delivered, this Permit shall so terminate unless Permittee renews the insurance coverage within the five (5) day notice period.

24.1 PERMITTEE'S PERSONAL PROPERTY. Permittee shall be responsible, at no cost to the County, for Permittee's Personal Property.

24.2 COUNTY'S SELF INSURANCE. Permittee acknowledges that County self-insures against casualty, property damage and public liability risks and agrees that County may at its sole election, but shall not be required to, carry any third party

insurance with respect to the Property, the Premises or otherwise.

24.3 WAIVER OF SUBROGATION. Notwithstanding anything to the contrary contained herein, County, in the event the County does not self-insure, and Permittee (each a "Waiving Party") each hereby waives any right of recovery against the other party for any loss or damage sustained by such other party with respect to the Property or the Premises or any portion thereof or the contents of the same or any operation therein, whether or not such loss is caused by the fault or negligence of such other party, to the extent (i) such loss or damage is actually recovered from valid and collectible insurance covering the Waiving Party, and (ii) the Waiving Party's insurance carrier agrees to its written waiver of right to recover such loss or damage.

25. ENTRY BY PERMITTOR/PERMITTEE.

A. BY PERMITTEE. Permittee shall give ten (10) days advance written notice to Permittor prior to the commencement of Permittee's installation and construction of its communications facility. Thereafter, and subject to the provisions of Section 11 (Access) and Section 14 (Permits) of this Permit, Permittee has the right to enter the Premises at any time without prior notice being given to Permittor for the installation, construction, maintenance, operation, modification or addition of Permittee's existing communications facilities.

B. BY PERMITTOR. Permittor reserves and shall have the right to enter the Premises at any and all reasonable times, to inspect same, supply any services to be provided by Permittor to Permittee hereunder, to show the Premises to any prospective purchasers or Permittees, to post notices of non-responsibility, and to alter, improve, repair or restore the Premises as Permittor may deem necessary or desirable, without abatement of permit fee, so long as Permittor does not unreasonably interfere with Permittee's operations. For each of the aforesaid purposes, Permittor shall at all times have and retain a key with which to unlock all of the gates and/or doors in, upon and about the Premises, excluding Permittee's vaults, cabinets, safes and files. Permittor's right to enter the Premises is subject to:
(a) Permittor having given not less than twenty-four (24) hours prior notice to Permittee, and (b) an employee or agent of Permittee being present during each and any entry to the Premises.

C. EMERGENCY - BY PERMITTOR. Other provisions of this Section notwithstanding, in the event of an emergency, Permittor shall have the right to use any and all means which Permittor may deem proper to gain entry to the Premises without liability to Permittor except for any failure to exercise due care for Permittee's property. Any entry to the Premises obtained by Permittor by any said means, or otherwise, shall not under any circumstances be construed or deemed to be a forcible or unlawful entry into, or a detainer of, the Premises, or an eviction of Permittee from the Premises or any portion thereof.

26. HOLDING OVER. In the event that Permittee, with Permitter's written consent, holds possession of the Premises or any portion thereof after the date upon which the Premises are to be surrendered, Permittee shall pay to Permitter a monthly permit fee increase of ten (10) percent above the monthly permit fee in effect upon the date of such expiration and otherwise subject to all provisions of this Permit except those pertaining to the duration of the term of this Permit or any extensions thereof. Permittee's use and occupancy will continue from month-to-month, at will, until terminated by Permitter or Permittee by the giving of thirty (30) days' written notice to the other. Nothing in this Section is to be construed as consent by Permitter to the occupancy or possession of the Premises by Permittee after the expiration of the term or any extension thereof.

27. AUTHORIZED REPRESENTATIVE OF THE COUNTY OF SAN MATEO. The County Manager, or the designee of the County Manager, shall be the only authorized agent of the County of San Mateo for purposes of giving any notices (including, but not limited to, termination under the terms hereof), enforcing any provision, or exercising any rights, options, privileges, or obligations of the County of San Mateo under this Permit. This Permit shall not be valid or have legal effect unless executed by the President of the Board of Supervisors of the County of San Mateo pursuant to a Resolution adopted in accordance with the California Government Code.

28. NOTICE. All notices or demands are deemed to have been given or made when delivered in person or delivered by certified or registered mail, return receipt requested, postage prepaid, United States mail, and addressed to the respective parties as follows:

Permitter:
County of San Mateo
County Manager's Office
Real Property Division
555 County Center, 4th Floor
Redwood City, CA 94063

Permittee:
CCATT LLC
Attn: Legal Dept. 2000
Corporate Drive
Canonsburg, PA 15317

The address to which any notice or demand may be given to either party may be changed by thirty (30) day prior written notice.

29. ASSIGNMENT BY PERMITTEE. Permittee shall not voluntarily or by operation of law assign, transfer, sublet, or otherwise transfer or encumber all or any part of Permittee's interest in this Permit or in the Premises without Permitter's prior written consent. Any assignment or encumbrance without Permitter's consent shall be voidable and, at Permitter's election, shall constitute a default, subject to any applicable cure periods. No consent to any

assignment or encumbrance shall constitute a further waiver of provisions of this Section. Notwithstanding the foregoing, Permittee shall have the right to assign this Permit, without Permitter's consent to any corporation which controls, is controlled by, or is under common control with Permittee, to any corporation resulting from merger or consolidation with Permittee, or to any partnership in which Permittee, the general partner of Permittee, or any corporation which controls, is controlled by, or is under common control with the general partner of Permittee, is a general partner, or to any person or entity which acquires substantially all of Permittee's assets, provided that such assignee assumes in full all of Permittee's obligations under this Permit.

30. CONSENT. Whenever under this Permit the consent or approval of either party is required or a determination must be made by either party, no such consent or approval shall be unreasonably withheld or delayed, and all such determinations shall be made on a reasonable basis and in a reasonable manner.

31. ENTIRE AGREEMENT AND BINDING EFFECT. This Permit and any attached exhibits, as signed by the parties hereto, constitute the entire agreement between Permitter and Permittee; no prior written promises, and no prior, contemporaneous or subsequent, oral promises or representations shall be binding. This Permit shall not be amended or changed except by written instrument signed by the parties hereto. Section captions herein are for convenience only and neither limit nor amplify the provisions of this instrument. The provisions of this Permit shall be binding upon and inure to the benefit of the heirs, executors, administrators, successors, and assigns of said Permitter and Permittee. This Permit shall not be effective or binding on any party until fully executed by both parties hereto.

32. PROCESSING FEE. Permitter shall require a processing fee from Permittee, to reimburse the County for its costs associated with the review of any request from Permittee.

33. RESERVATIONS. This Permit shall at all times be subject to such rights-of-way for such sewers, pipe lines, conduits, and for such telephone, telegraph, light, heat or power lines, as shall have been duly established or as may from time to time be reasonably determined by Permitter.

This Permit is subsequent to and subject to all prior exceptions, reservations, grants, easements, leases or licenses of any kind whatsoever as the same appear on record in the office of the County Recorder, County of San Mateo, State of California. Permittee covenants not to disturb the quiet and peaceful enjoyment of any and all parties having any legal right, title, interest or privilege in and to the Premises and that the use of the Premises by Permittee shall at all times be conducted with proper regard for such rights, titles, interests and privileges.

34. LIENS.

A. Permittee shall keep the Property free from any liens arising from any work performed, materials furnished, or obligations incurred by or at the request of Permittee.

B. If any lien is filed against the Property as a result of the acts or omissions of Permittee, or Permittee's employees, agents, or contractors, Permittee must discharge the lien or bond the lien off in a manner reasonably satisfactory to Permitter within thirty (30) days after Permittee receives written notice from any party that the lien has been filed.

C. If Permittee fails to discharge or bond any lien within such period, then, in addition to any other right of remedy of Permitter, Permitter may, at Permitter's election, discharge the lien by either paying the amount claimed to be due or obtaining the discharge by deposit with a court or a title company or by bonding, or by such other methods reasonably acceptable to Permitter provided that such methods are specified in writing by Permitter to Permittee.

D. Permittee must pay on demand any amount paid by Permitter for the discharge or satisfaction of any lien, and all reasonable attorneys' fees and other legal expenses of Permitter incurred in defending any such action or in obtaining the discharge of such lien, together with all necessary disbursements in connection therewith.

35. SAN MATEO COUNTY NO SMOKING ORDINANCE. Permittee is aware that on April 18, 2006, the County of San Mateo modified its Ordinance Code, adopting Section 4.96.040, which prohibits smoking in all County facilities whether owned or leased. Permittee understands that said Ordinance authorizes County to enforce the provisions contained therein and Permittee agrees to enforce the provisions of said ordinance on the Premises.

36. NON-DISCRIMINATION

A. Permittee shall comply with any applicable provisions of Section 504 of the Rehabilitation Act of 1973, which provides that no otherwise qualified handicapped individual shall, solely by reason of a disability, be excluded from the participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving Federal financial assistance.

B. No person shall, on the grounds of race, color, religion, ancestry, sex, age (over 40), national origin, medical condition (cancer), physical or mental disability, sexual orientation, pregnancy, childbirth or related medical condition, marital status, or political affiliation be denied any benefits or subject to discrimination under this Permit.

C. Permittee shall ensure equal employment opportunity based on objective standards of recruitment, classification, selection, promotion, compensation, performance evaluation, and management relations for all employees under this Permit. Permittee's equal employment policies shall be made available to Permittor upon request.

D. With respect to the provision of employee benefits, Permittee shall comply with the County Ordinance that prohibits contractors from discriminating in the provision of employee benefits between an employee with a domestic partner and an employee with a spouse.

37. ACCESS ROAD. Permittee, at its sole cost, shall conduct improvements to the access road used by Permittee, which includes grading, widening radius turn-around to ninety-six (96) feet and installing eight hundred fifty (850) feet of v-ditch with rip rap ("Access Road Project"), provided the Access Road Project is approved by the appropriate zoning and permitting agency governing the Premises. Permittee shall complete the Access Road Project six (6) months following completion of construction of the proposed equipment set forth in Section 4 (Use). Upon completion of the Access Road Project, Permittee shall be responsible for the maintenance of the access road except for damages caused by parties not affiliated with Permittee.

38. GENERAL PROVISIONS.

A. **COMPLIANCE WITH LAW.** Permittee shall not use the Premises or permit anything to be done in or about the Premises which will in any way conflict with any law, statute, ordinance or governmental rule or regulation now in force or which may hereafter be enacted or promulgated. Permittee shall, at its sole cost and expense, promptly comply with all laws, statutes, ordinances and governmental rules, regulations or requirements now in force or which may hereafter be in force, and with the requirements of any board of fire insurance underwriters or other similar bodies now or hereafter constituted, relating to, or affecting the condition, use or occupancy of the Premises. The judgment of any court of competent jurisdiction or the admission of Permittee in any action against Permittee, whether Permittor be a party thereto or not, that Permittee has violated any law, statute, ordinance or governmental rule, regulation or requirement, shall be conclusive of that fact as between Permittor and Permittee.

B. **RULES AND REGULATIONS.** Permittee shall faithfully observe and comply with the rules and regulations that Permittor shall from time to time promulgate. Permittor reserves the right from time to time to make all reasonable modifications to said rules. The additions and modifications to those rules shall be binding upon Permittee upon delivery of a copy of them to Permittee. Permittor shall not be responsible to Permittee for the nonperformance of any said rules by any other Permittees or occupants, or the public.

C. AUTHORITY OF PARTIES.

i. Corporate Authority. If either party hereto is a corporation, each party executing this Permit on behalf of the corporation represents and warrants that he or she is duly authorized to execute and deliver this Permit on behalf of said corporation, in accordance with a duly adopted resolution of the board of directors of the corporation or in accordance with the by-laws of the corporation, and that this Permit is binding upon the corporation in accordance with its terms.

ii. Partnership. If either party hereto is a partnership or other unincorporated association, each party executing this Permit on behalf of the partnership or other association represents and warrants that he or she is duly authorized to execute and deliver this Permit on behalf of the partnership or association, in accordance with the partnership agreement or the agreement of said association.

D. WAIVER. The waiver by either party of any term, covenant or condition herein contained shall not be deemed to be a waiver of such term, covenant or condition on any subsequent breach of the same or any other term, covenant or condition herein contained. The subsequent acceptance of the permit fee hereunder by Permitter shall not be deemed to be a waiver of any preceding breach by Permittee of any term, covenant or condition of this Permit, other than the failure of the Permittee to pay the particular permit fee so accepted, regardless of Permitter's knowledge of such preceding breach at the time of the acceptance of such permit fee.

E. JOINT OBLIGATION. "Party" shall mean Permitter or Permittee; and if there be more than one Permittee or Permitter, the obligations hereunder imposed upon Permittees or Permitters shall be joint and several.

F. TIME. Time is of the essence of this Permit and each and all of its provisions in which performance is a factor.

G. RECORDATION. Neither Permitter nor Permittee shall record this Permit, except that if either party requests the other party to do so, the parties shall execute a short form memorandum hereof in recordable form.

H. QUIET POSSESSION. Upon Permittee paying the permit fee and other fees or charges reserved hereunder and observing and performing all of the terms, covenants and conditions on Permittee's part to be observed and performed hereunder, Permittee shall have quiet possession of the Premises for the entire term hereof, subject to all the provisions of this Permit.

I. INABILITY TO PERFORM. This Permit and the obligations of Permittee hereunder shall not be affected or impaired because Permitter is unable to fulfill any

of its obligations hereunder or is delayed in doing so, if such inability or delay is caused by reason of strike, labor troubles, acts of God, or any other cause beyond the reasonable control of Permittor.

J. NEGATION OF PARTNERSHIP. Permittor shall not become or be deemed a partner or a joint venturer with Permittee by reasons of the provisions of this Permit.

K. SALE OR TRANSFER OF PREMISES. In the event of any sale or transfer of the Premises, Permittor shall be and is hereby entirely freed and relieved of all liability under any and all of its covenants and obligations contained in or derived from this Permit arising out of any act, occurrence or omission occurring after the consummation of such sale or transfer; and the purchaser or transferee, at such sale or transfer or any subsequent sale or transfer of the Premises shall be deemed, without any further agreement between the parties or their successors in interest or between the parties or their successors in interest or between the parties and any such purchaser or transferee, to have assumed and agreed to carry out any and all of the covenants and obligations of Permittor under this Permit.

L. NAME. Permittee shall not use the name of the Premises or of the development, Property or facility in which the Premises may be situated for any purpose other than as an address of the business to be conducted by Permittee in the Premises.

M. SEPARABILITY. Any provision of this Permit which shall prove to be invalid, void, illegal or unenforceable shall in no way affect, impair or invalidate any other provision hereof and such other provision shall remain in full force and effect.

N. CUMULATIVE REMEDIES. No remedy or election hereunder shall be deemed exclusive but shall, wherever possible, be cumulative with all other remedies at law or in equity.

O. SIGNS AND AUCTIONS. Permittee shall not place any sign upon the Premises or conduct any auction thereon without Permittor's prior written consent.

P. PROVISIONS, COVENANTS AND CONDITIONS. All provisions herein, whether covenants or conditions, on the part of either party shall be deemed to be both covenants and conditions.

Q. CAPTIONS, TABLE OF CONTENTS. The captions and the Table of Contents of this Permit (if any) shall have no effect on the interpretation of this Permit.

R. PAYMENTS IN U.S. MONEY. Base Permit fee and all sums payable under this Permit must be paid in lawful money of the United States of America.

S. SINGULAR AND PLURAL. When required by the context of this Permit, the singular shall include the plural.

T. CHOICE OF LAW. This Permit shall be construed, interpreted and governed in accordance with the laws of the State of California.

U. VENUE. The venue for any court action to interpret or enforce this agreement or to litigate any claim arising out of this agreement shall be had in State Court of the County of San Mateo.

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IN WITNESS WHEREOF, Permitter and Permittee have executed this Permit as of the date and year first above written.

Date 10/4/21



PERMITTEE:

CCATT LLC,
a Delaware limited liability company

By: *Lisa A. Sedgwick*

Name: Lisa A. Sedgwick
Senior Transaction Manager

Title: _____

PERMITTOR:

COUNTY OF SAN MATEO,
a Political Subdivision of the State of California

By _____
David Canepa
President, Board of Supervisors

Date _____

ATTEST:

Clerk of the Board

EXHIBIT A
PROPERTY MAP

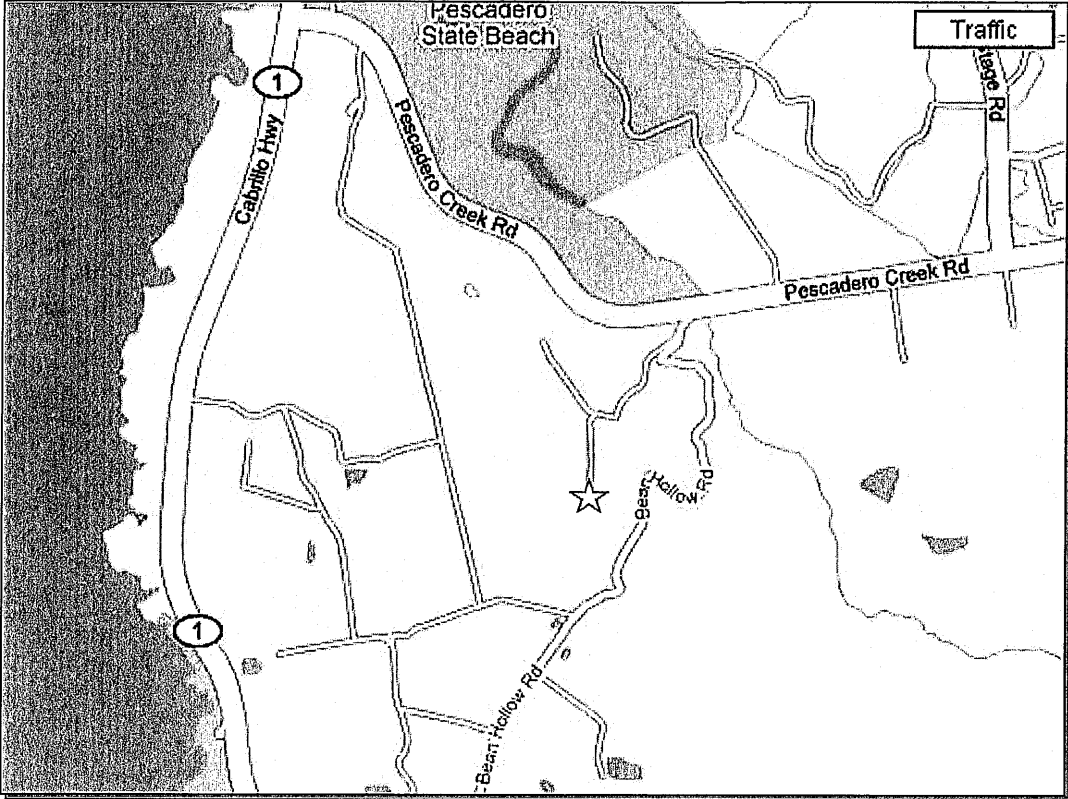


EXHIBIT B
SITE PLAN/CONSTRUCTION DRAWINGS

CONSTRUCTION DRAWINGS

Pages Attached: 30

Prepared By: Motive Infrastructure Solutions

Dated: September 28, 2021

PESCADERO – 30KW GENERATOR UPGRADE

Pages Attached: 15

Prepared By: Morrison Hershfield

Dated: September 20, 2021

CONSTRUCTION DRAWINGS

Pages Attached: 17

Prepared By: J5 INFRASTRUCTURE PARTNERS

Dated: September 24, 2021

ACCESS ROAD PLAN

Pages Attached: 6

Prepared By: Ramsey Civil Engineering, Inc.

Dated: September 20, 2021

(see attached)

PREPARED FOR
CROWN CASTLE
 500 Executive Parkway, West Wing
 San Ramon, California 94583



Tenant:
at&t
 1422 Edinger Avenue, 2nd Floor
 Irvine, California 92618

SITE NUMBER:
CCL05354

CROWN BUNK: 856161
 JCA PROJECT NO: 160796
 DRAWN BY: TUL
 CHECKED BY: LFI

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/14/21	JCA COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	90% CDS

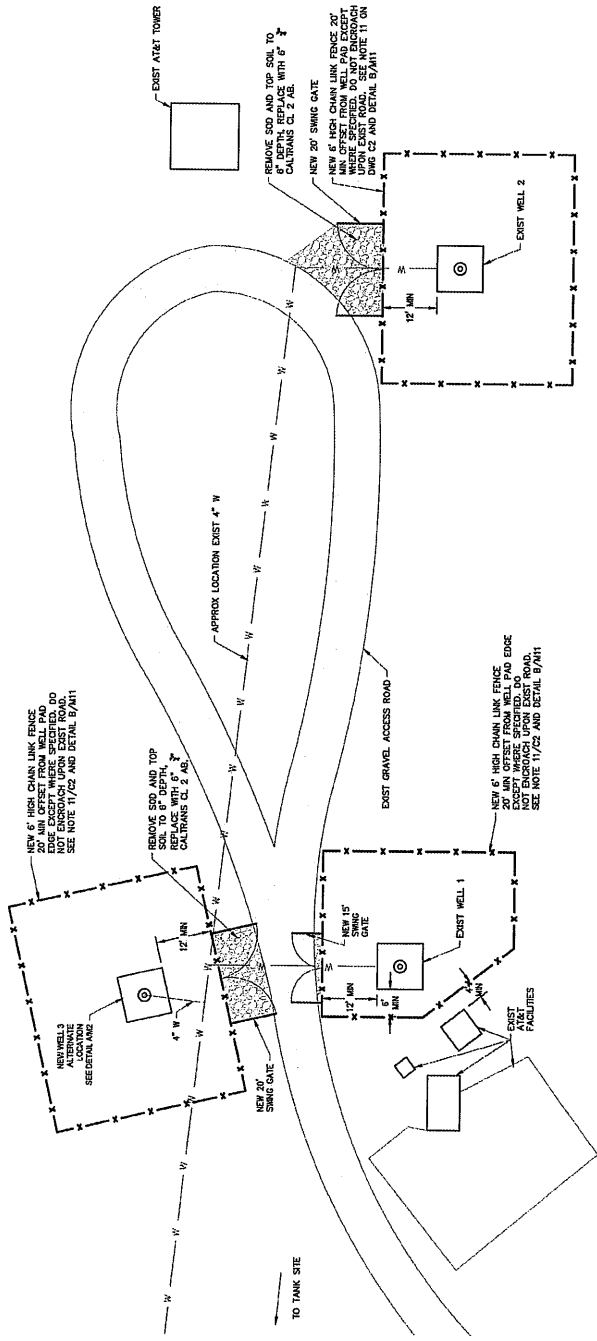
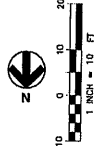


Based For:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD,
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94040

SHEET TITLE:
EXISTING WELL FENCING

SHEET NUMBER:
T-4

APPROVED:
 DATE: 2-10-17
 JAMES C. PARKER, REGISTERED PROFESSIONAL ENGINEER
 No. 50907
 State of California
 160796



NOTE:
 CONTRACTOR TO LOCATE EXISTING 4" WATER MAIN PRIOR TO INSTALLING FENCE POSTS. REMOVE EXISTING WATER MAIN AND INSTALL NEW WATER MAIN FOR NEW WELL 3 ALTERNATE LOCATION.

APPROVED DATE: 08-30-2017
 CONSULTANT: JAMES C. PARKER / LICENSE 50907
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4

REVISIONS:

NO.	DATE	DESCRIPTION
1	08-30-2017	ISSUE FOR PERMIT

DATE: 08-30-2017
 DRAWN BY: TUL
 CHECKED BY: LFI
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4

APPROVED DATE: 08-30-2017
 CONSULTANT: JAMES C. PARKER / LICENSE 50907
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4

REVISIONS:

NO.	DATE	DESCRIPTION
1	08-30-2017	ISSUE FOR PERMIT

DATE: 08-30-2017
 DRAWN BY: TUL
 CHECKED BY: LFI
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4

APPROVED DATE: 08-30-2017
 CONSULTANT: JAMES C. PARKER / LICENSE 50907
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4

REVISIONS:

NO.	DATE	DESCRIPTION
1	08-30-2017	ISSUE FOR PERMIT

DATE: 08-30-2017
 DRAWN BY: TUL
 CHECKED BY: LFI
 PROJECT: PESCADERO CREEK ROAD / 1000
 SHEET: T-4



CROWN CASTLE
500 Executive Parkway, West Wing
San Ramon, California 94583

PREPARED FOR
CROWN CASTLE
500 Executive Parkway, West Wing
San Ramon, California 94583

PROJECT NO: 140796
DRAWN BY: ELL
CHECKED BY: ELL

SITE NUMBER:
CCL05354

CROWN CASTLE
500 Executive Parkway, West Wing
San Ramon, California 94583

DATE: 09/28/21
CLIENT COMMENTS

DATE: 09/28/21
CLIENT COMMENTS

DATE: 09/28/21
CLIENT COMMENTS

DATE: 09/28/21
CLIENT COMMENTS

DATE: 09/28/21
CLIENT COMMENTS

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CONDITIONS OF APPROVAL

1

AS-BUILT SURVEY
 PTN. LOT 14, BOOK 11, PAGES 18-26
 SAN MATEO COUNTY, STATE OF CA.



SITE: PESCADARO
 BUN: 856161
 ADDR.: 1000, PESCADARO CREEK RD.
 PESCADARO, CA 94060
 SAN MATEO COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:
GEOLINE
 SURVEYING, INC.
 13430 NW 10th Terrace, Suite A, Alachua, FL 32015
 Office: (386) 418-6500 Fax: (386) 462-9888
 WWW.GEOLINE.COM

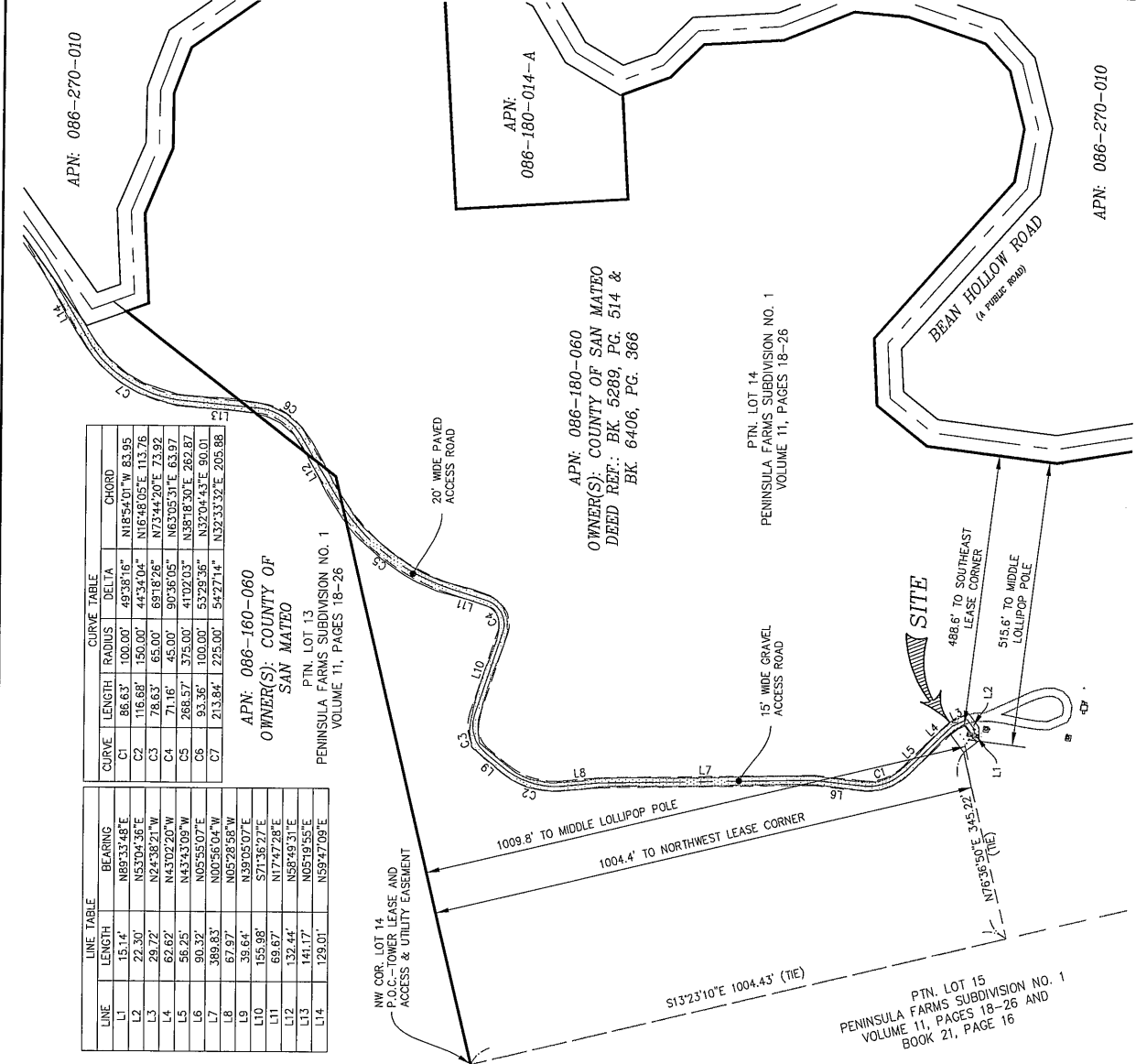


SMITHCO SURVEYING ENGINEERING
 1400 NW 65th Street, Suite 200, Alachua, FL 32010
 PHONE: (386) 352-2127 FAX: (386) 352-2128

DRAWN BY: SL / CHECK'D BY: DA / JOB #: 71-530
SURVEYOR'S NOTES
 1. BASIS OF BEARING: BEARINGS SHOWN HEREON ARE GEODETIC, DETERMINED BY GPS OBSERVATION.
 2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. ANY HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
 3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
 4. ALL VISIBLE TOWER EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.

SURVEYOR'S CERTIFICATION
 I, Matthew Albo, do hereby certify to Crown Castle, Inc. that I am a duly Licensed Professional Engineer, and Fidelity National Title Insurance Company, that this plat, and the information contained herein, is a true and accurate representation of the land surveyed, prepared by me, or under my direction and that, to the best of my knowledge, all tower improvements are contained within Crown Castle described area, and are not on any other parcels.
 SMITHCO SURVEYING ENGINEERING

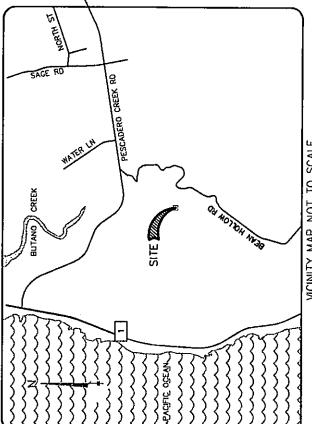
d'Artagnan Albo
 LAND SURVEYOR - CA L#57 8052
 Date:
 Revision: 4 09/12/2017



OWNER(S): COUNTY OF SAN MATEO
 PTN. LOT 13
 PENINSULA FARMS SUBDIVISION NO. 1
 VOLUME 11, PAGES 18-26

CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	86.63'	100.00'	49°38'16"	N18°54'01"W 83.95
C2	116.68'	150.00'	44°34'04"	N16°48'05"E 113.76
C3	78.63'	65.00'	69°18'26"	N73°44'20"E 73.92
C4	71.16'	45.00'	90°46'05"	N63°05'31"E 63.97
C5	268.57'	375.00'	41°02'03"	N38°18'30"E 262.87
C6	93.36'	100.00'	53°28'36"	N37°04'43"E 60.01
C7	213.84'	225.00'	54°27'14"	N32°33'32"E 203.88

LINE	LENGTH	BEARING
L1	15.14'	N89°33'48"E
L2	29.20'	N53°04'36"E
L3	29.72'	N24°38'21"W
L4	62.82'	N43°02'20"W
L5	56.25'	N43°43'09"W
L6	90.32'	N05°55'07"E
L7	389.83'	N00°56'04"W
L8	67.97'	N05°28'58"W
L9	39.64'	N38°05'07"E
L10	155.98'	S71°36'27"E
L11	69.67'	N174°7'08"E
L12	132.44'	N58°49'31"E
L13	141.77'	N05°19'55"E
L14	129.01'	N59°47'09"E

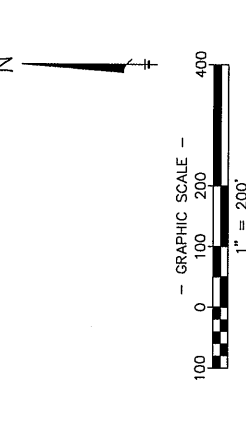


NOTES
 THE INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE RECORD AND TITLE INFORMATION, UNLESS NOTED OTHERWISE. PROPERTY LINES ARE DERIVED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. NO TITLE REPORT WAS PROVIDED AT THE TIME OF THE SURVEY.

FLOOD NOTE:
 THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE MAP FOR COMMUNITY NO. 060311, PANEL NO. 0432E, REVISED OCTOBER 16, 2012, SHOWS THAT THIS SITE FALLS WITHIN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING:
 AG-40: AGRICULTURAL

- LEGEND:**
- POINT OF BEGINNING
 - POINT OF COMMENCEMENT
 - PORTION
 - FENCE AS NOTED
 - OVER HEAD UTILITY LINES
 - POWER POLE
 - ELECTRIC METER BOX
 - TELCO/ATT BOX
 - FOUND MONUMENT
 - FOUND ELEVATION
 - EQUIPMENT CABINET



AREA TABLE	SQUARE FT.	ACREAGE
(A) PARENT PARCEL	±4,939,226	±113.39
(B) TOWER LEASE AREA	±1,300	±0.030
(C) ACCESS & UTILITY EASEMENT	±42,047	±0.965

AS-BUILT SURVEY

PIN, LOT 14, BOOK 11, PAGES 18-26
SAN MATEO COUNTY, STATE OF CA.



SITE: PESCADARO
BUN: 856161
ADDR.: 1000 PESCADERO CREEK RD.
PESCADERO, CA 94060
SAN MATEO COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:
GEOLINE
SURVEYING, INC.
13430 NW 10th Terrace, Suite A, Alachua, FL 32615
Office: (904) 418-0000 Fax: (904) 462-9886
www.geoline-surveying.com

SURVEY WORK PERFORMED BY:
SMITHCO
SURVEYING ENGINEERING
P.O. BOX 8124 BAYSHIRFIELD, CA 94086
PHONE: (641) 395-1217 FAX: (641) 955-1218

DRAWN BY: SL CHECKED BY: DA JOB #: 71-530

SURVEYOR'S NOTES

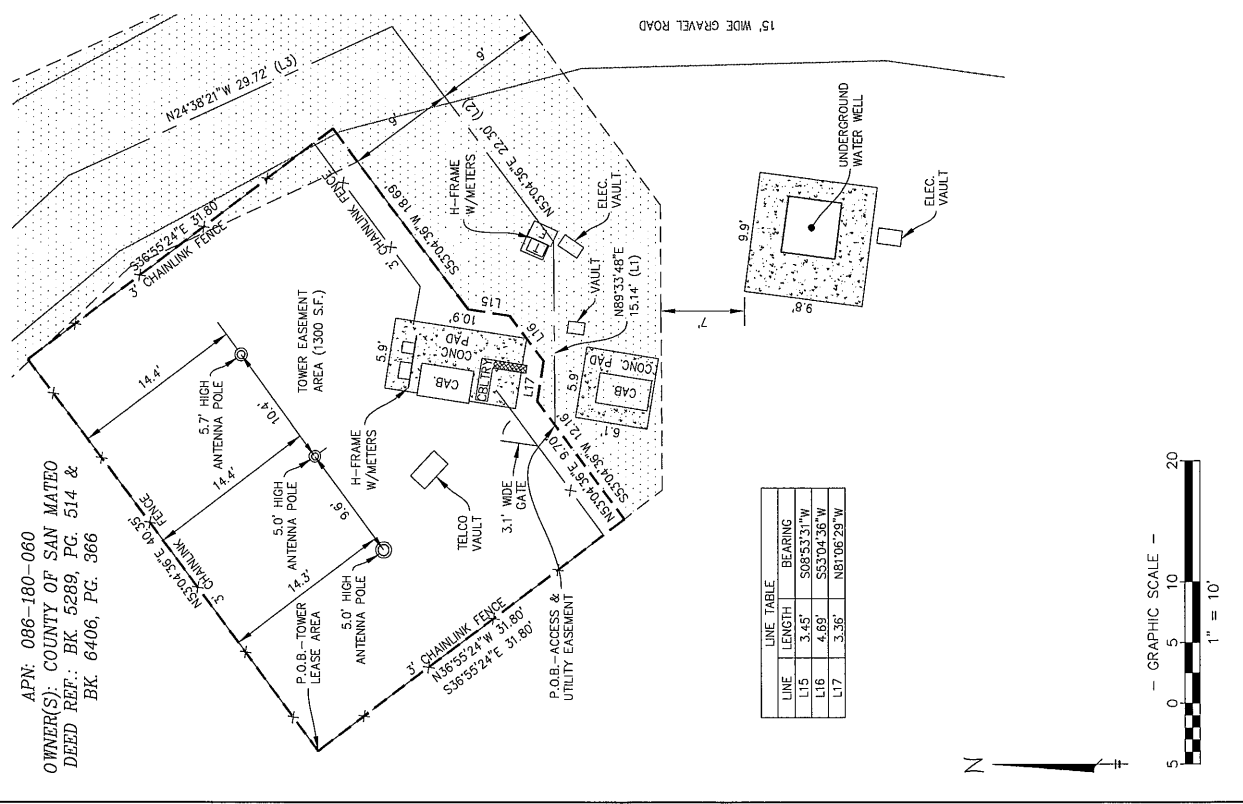
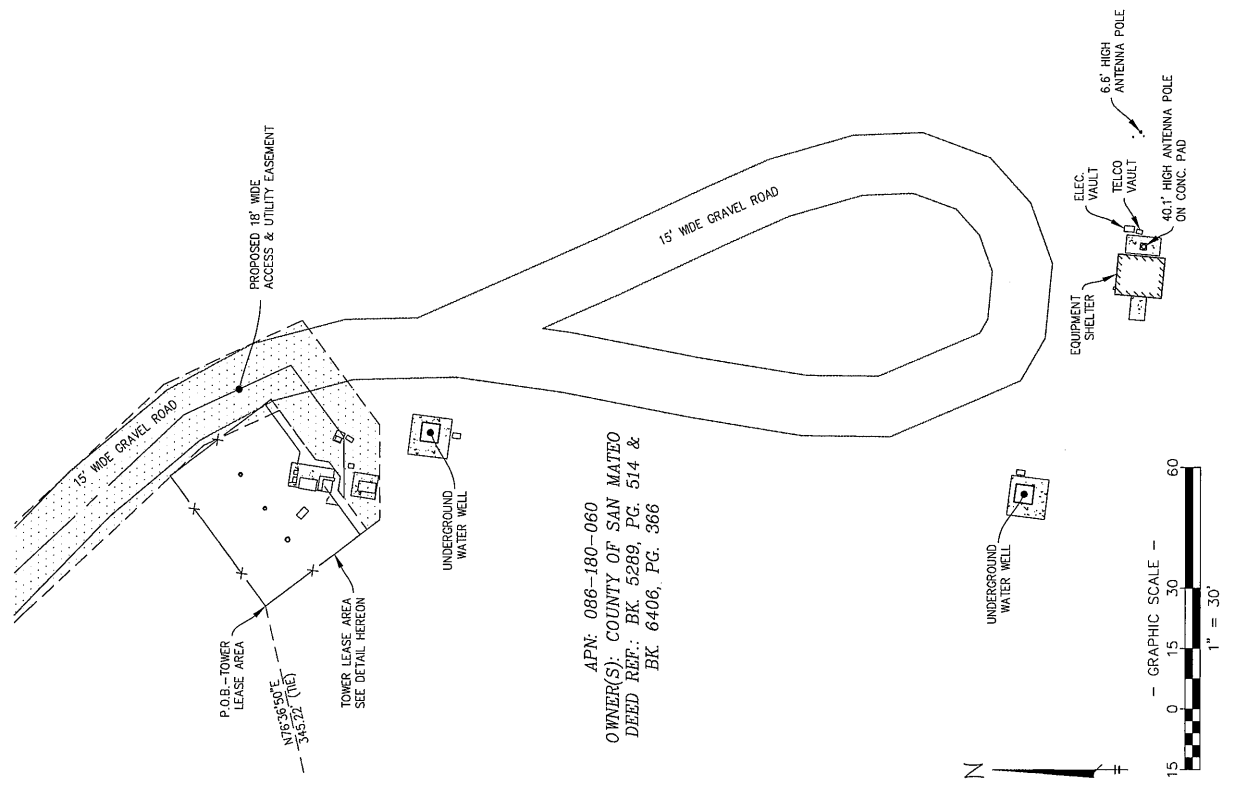
1. BASIS OF BEARINGS SHOWN HEREON ARE GEODESIC, DETERMINED BY GPS OBSERVATION.
2. NO SUBSURFACE INVESTIGATION WAS CONDUCTED FOR GAS, WATER AND UTILITIES. UTILITIES SHOWN HEREON ARE BASED TO AND ARE PER OBSERVED EVIDENCE ONLY.
3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
4. ALL VISIBLE TOWER EQUIPMENT AND UTILITY STRUCTURES ARE CONTAINED WITHIN THE DESCRIBED AREA.

SURVEYOR'S CERTIFICATION

I, d'Antonio Alpo, do hereby certify, to Crown Castle, its subsidiaries, affiliates, successors and assigns, and Fidelity National Title Insurance Company, that the information and the representation of a survey that was performed by me, or under my direction and that, to the best of my knowledge and belief, the improvements are contained within Crown Castle describe area, unless shown otherwise.

SMITHCO SURVEYING ENGINEERING

d'Antonio Alpo
LAND SURVEYOR - CA Lic# 9052
Date: 09/12/2017
Revision: 4



AS-BUILT SURVEY
PTN. LOT 14, BOOK 11, PAGES 18-26
SAN MATEO COUNTY, STATE OF CA.



SITE: PISCADARO
BUN: 866161
ADDR.: 1000 PISCADARO CREEK RD.
PISCADARO, CA 94060
SAN MATEO COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:
GEO LINE
SURVEYING, INC.
Office (386) 418-0500 Fax (386) 462-8688
13430 NW 104th Terrace, Suite A, Alachua, FL 32016
WWW.GEOLINEINC.COM



DRAWN BY: S. J. CHURCH BY: DA. J. JOE #. 71-530

- SURVEYOR'S NOTES**
1. BASIS OF BEARING: BEARINGS SHOWN HEREON ARE GEODETIC, DETERMINED BY GPS OBSERVATION.
 2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
 3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
 4. ALL VISIBLE TOWER EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.

SURVEYOR'S CERTIFICATION

I, **Matthew Alba**, do hereby certify to **Crown Castle** that this **AS-BUILT SURVEY** was prepared and designed by me, or under my direction and that, to the best of my knowledge, all tower improvements are contained within **Crown Castle** described area.

SMITHCO SURVEYING ENGINEERING

d'Artoignan Alba
LAND SURVEYOR - CA LSI# 9052
Date: 06/12/2017
Revision: 06/12/2017

PARENT PARCEL LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN MATEO, CITY OF PISCADARO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

TRACT 1
LOT 14 AS SHOWN ON THE MAP ENTITLED "PENINSULA FARMS COMPANY SUBDIVISION NO. 1, BEING A PART OF RANCHO BUTANO AND PUNTA DEL ANO NUEVO, NEAR PISCADARO, SAN MATEO COUNTY, CAL." WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 8, 1923 IN BOOK 11 OF MAPS AT PAGE 18, 19, 20, 21, 22, 23, 24, 25, AND 26.

ALL THAT SHOWN AS PARCEL B OF LOT 15 CONTAINING 48.964 ACRES ON THE PARCEL MAP BEING A RESUBDIVISION OF LOT 15 ON THE "PENINSULA FARMS COMPANY'S SUBDIVISION NO. 1 BEING A PART OF RANCHO BUTANO AND PUNTA DEL ANO NUEVO" OWNED BY LAWRENCE H. LEONHARDT RICE NO. 16274, DATED AUGUST 1974 AND RECORDED SEPTEMBER 17, 1974 IN VOLUME 26 PAGE 7 IN SAN MATEO COUNTY, CALIFORNIA.

BEING A PORTION OF THE PROPERTY CONVEYED TO THE COUNTY OF SAN MATEO, A POLITICAL SUBDIVISION, FROM LOMA LINDA UNIVERSITY, A CALIFORNIA CORPORATION, IN A GRANT DEED DATED MARCH 10, 1967 AND RECORDED APRIL 4, 1967 IN BOOK 5289 PAGE 514.
BEING A PORTION OF THE PROPERTY CONVEYED TO THE COUNTY OF SAN MATEO, A POLITICAL SUBDIVISION, FROM EMMA MUZZI IN A GRANT DEED DATED APRIL 23, 1973 AND RECORDED JUNE 8, 1973 IN BOOK 6406 PAGE 366 IN SAN MATEO COUNTY, CALIFORNIA.
TRACT 3 BEING THE SAME PROPERTIES CONVEYED TO THE COUNTY OF SAN MATEO, A POLITICAL SUBDIVISION, FROM J.O. ARCHIBALD AND ELIZABETH ARCHIBALD IN A DEED DATED APRIL 11, 1956 AND RECORDED JUNE 11, 1956 IN BOOK 3038 PAGE 710 IN SAN MATEO COUNTY, CALIFORNIA.

OWNER LEASE LEGAL DESCRIPTION (PREPARED BY THIS OFFICE):

BEING A PORTION OF LOT 14 AS SHOWN ON THE MAP OF PENINSULA FARMS SUBDIVISION NO. 1, RECORDED JANUARY 8, 1923 IN VOLUME 11, PAGES 18 THROUGH 26, SAN MATEO COUNTY RECORDS, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY MOST CORNER OF SAID LOT 14, THENCE S 13°23'10" E, ALONG THE WEST LINE OF SAID LOT 14, A DISTANCE OF 1004.43 FEET; THENCE LEAVING SAID WEST LINE, N 76°36'50" E, A DISTANCE OF 345.22 FEET TO THE POINT OF BEGINNING;

- COURSE 1) THENCE S 53°04'36" E, A DISTANCE OF 40.35 FEET; COURSE 2) THENCE S 36°55'24" E, A DISTANCE OF 31.80 FEET;
COURSE 3) THENCE S 53°04'36" W, A DISTANCE OF 18.69 FEET; COURSE 4) THENCE S 08°53'31" W, A DISTANCE OF 3.45 FEET;
COURSE 5) THENCE S 53°04'36" W, A DISTANCE OF 4.69 FEET; COURSE 6) THENCE N 81°06'29" W, A DISTANCE OF 3.36 FEET;
COURSE 7) THENCE S 53°04'36" W, A DISTANCE OF 12.61 FEET; COURSE 8) THENCE N 36°55'24" W, A DISTANCE OF 31.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,300 SQUARE FEET (0.030 ACRES), MORE OR LESS.

APN: 086-180-060
OWNER(S): COUNTY OF SAN MATEO
DEED REFERENCE: BOOK 5289, PAGE 514 & BOOK 6406, PAGE 366

ACCESS & UTILITY EASEMENT LEGAL DESCRIPTION (PREPARED BY THIS OFFICE):

AN 18.00 FOOT WIDE EASEMENT FOR INGRESS, EGRESS AND UTILITY PURPOSES OVER A PORTION OF LOT 13 & 14 AS SHOWN ON THE MAP OF PENINSULA FARMS SUBDIVISION NO. 1, RECORDED JANUARY 8, 1923 IN VOLUME 11, PAGES 18 THROUGH 26, SAN MATEO COUNTY RECORDS, STATE OF CALIFORNIA, LING 9.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCING AT THE NORTHWESTERLY MOST CORNER OF SAID LOT 14, THENCE S 13°23'10" E, ALONG THE WEST LINE OF SAID LOT 14, A DISTANCE OF 1004.43 FEET; THENCE LEAVING SAID WEST LINE, N 76°36'50" E, A DISTANCE OF 345.22 FEET; THENCE S 36°55'24" E, A DISTANCE OF 31.80 FEET; THENCE N 53°04'36" E, A DISTANCE OF 9.70 FEET TO THE POINT OF BEGINNING;

- COURSE 1) THENCE N 89°33'48" E, A DISTANCE OF 15.14 FEET;
COURSE 2) THENCE N 53°04'36" E, A DISTANCE OF 22.30 FEET;
COURSE 3) THENCE N 24°35'21" W, A DISTANCE OF 29.72 FEET;
COURSE 4) THENCE N 43°02'20" W, A DISTANCE OF 62.62 FEET;
COURSE 5) THENCE N 43°43'09" W, A DISTANCE OF 56.25 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 100.00 FEET;
COURSE 6) THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°38'16", AN ARC DISTANCE OF 86.63 FEET, SUBTENDED BY A CHORD BEARING N 18°54'01" W, A DISTANCE OF 83.95 FEET;
COURSE 7) THENCE N 05°55'07" E, A DISTANCE OF 90.32 FEET;
COURSE 8) THENCE N 00°56'04" W, A DISTANCE OF 389.83 FEET;
COURSE 9) THENCE N 05°28'58" W, A DISTANCE OF 67.97 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 150.00 FEET;
COURSE 10) THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 44°34'04", AN ARC DISTANCE OF 116.68 FEET, SUBTENDED BY A CHORD BEARING N 16°48'05" E, A DISTANCE OF 113.76 FEET;
COURSE 11) THENCE N 39°05'07" E, A DISTANCE OF 39.64 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 65.00 FEET;
COURSE 12) THENCE EASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 69°18'26", AN ARC DISTANCE OF 78.63 FEET, SUBTENDED BY A CHORD BEARING N 73°44'20" E, A DISTANCE OF 73.92 FEET;
COURSE 13) THENCE S 71°36'27" E, A DISTANCE OF 155.98 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 45.00 FEET;
COURSE 14) THENCE NORTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°26'05", AN ARC DISTANCE OF 71.16 FEET, SUBTENDED BY A CHORD BEARING N 63°05'31" E, A DISTANCE OF 63.97 FEET;
COURSE 15) THENCE NORTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°47'28" E, A DISTANCE OF 69.67 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 375.00 FEET;
COURSE 16) THENCE NORTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 41°02'03", AN ARC DISTANCE OF 268.57 FEET, SUBTENDED BY A CHORD BEARING N 38°18'30" E, A DISTANCE OF 262.87 FEET;
COURSE 17) THENCE N 56°49'31" E, A DISTANCE OF 132.44 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 100.00 FEET;
COURSE 18) THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 53°29'36", AN ARC DISTANCE OF 93.36 FEET, SUBTENDED BY A CHORD BEARING N 32°04'43" E, A DISTANCE OF 90.01 FEET;
COURSE 19) THENCE N 05°19'55" E, A DISTANCE OF 141.17 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 225.00 FEET;
COURSE 20) THENCE NORTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 54°27'14", AN ARC DISTANCE OF 213.84 FEET, SUBTENDED BY A CHORD BEARING N 32°33'32" E, A DISTANCE OF 205.88 FEET;
COURSE 21) THENCE N 95°47'09" E, A DISTANCE OF 129.01 FEET TO THE WEST LINE OF BEAN HOLLOW ROAD, A PUBLIC ROAD, AND THE TERMINUS OF THIS DESCRIPTION.

CONTAINING 42,047 SQUARE FEET (0.965 ACRES), MORE OR LESS.

APN: 086-180-060
OWNER(S): COUNTY OF SAN MATEO
DEED REFERENCE: BOOK 5289, PAGE 514 & BOOK 6406, PAGE 366

APN: 086-160-060
OWNER(S): COUNTY OF SAN MATEO

AS-BUILT SURVEY
 PTN, LOT 14, BOOK 11, PAGES 18-26
 SAN MATEO COUNTY, STATE OF CA.



SITE: PESCADARO
 BUN: 856161
 ADDR.: 1000 PESCADERO CREEK RD.
 PESCADERO, CA 94060
 SAN MATEO COUNTY

NATIONAL SURVEY SERVICES COORDINATION BY:
GEO LINE
SURVEYING, INC.
 Office: (386) 418-6500 Fax: (386) 462-9985
 13430 NW 10th Terrace, Suite A, Alachua, FL 32615
 WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:

 80 RIVERVIEW TERRACE, CA, 94028
 PHONE: (650) 292-2277 FAX: (650) 292-2288

DRAWN BY: ST. LOUIS BY: DA JOB #: 71-530
SURVEYOR'S NOTES
 1. BASIS OF BEARING: BEARINGS SHOWN HEREON ARE GEODETIC, DETERMINED BY GPS OBSERVATION.
 2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. BEARINGS SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
 3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
 4. ALL VISIBLE TOWER EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.

SURVEYOR'S CERTIFICATION
 I, Arington Albo, do hereby certify to Crown Castle, the client, that I am a duly Licensed Professional Engineer, and Fidelity National Title Insurance and Company, that this plat, and the information contained herein, is a true and accurate representation of the facts as shown to me, or under my direction and that to the best of my knowledge, all lower improvements are contained within Crown Castle described area.
 Arington Albo, Surveyor
 SMITHCO SURVEYING ENGINEERING

d'Arignan, Albo
 LAND SURVEYOR - CA L# 9052
 Date:
 Revision: 4 09/12/2017

SCHEDULE B - SECTION II - EXCEPTIONS PER TITLE COMMITMENT NO. CRC-WC-582285-C, EFFECTIVE DATE OCTOBER 17, 2016:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

2. (A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

3. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

4. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

5. EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

6. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

7. (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHT, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN BY THE PUBLIC RECORDS.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

8. ANY LIEN OR RIGHT TO LIEN FOR SERVICES, LABOR OR MATERIAL, NOT SHOWN BY THE PUBLIC RECORDS.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

9. TAXES FOR THE FISCAL YEAR 2015/2016 AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

10. RIGHTS OF FEE SIMPLE OWNERS IN AND TO THE SUBJECT PROPERTY.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

11. ANY AND ALL MATTERS DISCLOSED ON PENINSULA FARMS COMPANY'S SUBDIVISION NO. 1, COMPLETED BY H.F. COZZENS AND W.M. DAVIS, DATED DECEMBER 30, 1922 AND RECORDED JANUARY 28, 1923 IN BOOK 11 PAGE 18 IN SAN MATEO COUNTY, CALIFORNIA.
 *** PLOTTED AS SHOWN HEREON ***

12. RESOLUTION NO. 10397 DATED APRIL 17, 1956 RECORDED APRIL 17, 1956, IN BOOK 3038 PAGE 707, IN SAN MATEO COUNTY, CALIFORNIA.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

13. RESOLUTION NO. 9291 DATED APRIL 3, 1955 RECORDED MAY 04, 1955, IN BOOK 3038 PAGE 708, IN SAN MATEO COUNTY, CALIFORNIA.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

14. RESOLUTION NO. 10244 DATED FEBRUARY 25, 1956 RECORDED JUNE 11, 1956, IN BOOK 3038 PAGE 712, IN SAN MATEO COUNTY, CALIFORNIA.
 *** NOT PLOTTABLE DUE TO NATURE OF ITEM ***

15. UNDERGROUND EASEMENT CONTAINED IN THE GRANT DEED BETWEEN EMMA MUZZI AND THE COUNTY OF SAN MATEO, A POLITICAL SUBDIVISION, DATED APRIL 23, 1973 AND RECORDED JUNE 8, 1973 IN BOOK 6406 PAGE 366 IN SAN MATEO COUNTY, CALIFORNIA.
 *** PLOTTED - NOT WITHIN SUBJECT AREA ***

16. EASEMENT DEED BETWEEN EMMA MUZZI, A SINGLE WOMAN DEALING WITH HER SEPARATE PROPERTY, AND COUNTY OF SAN MATEO, A POLITICAL SUBDIVISION, DATED APRIL 23, 1973 RECORDED JUNE 08, 1973, IN BOOK 6406 PAGE 364, IN SAN MATEO COUNTY, CALIFORNIA.
 *** PLOTTED - NOT WITHIN SUBJECT AREA ***

17. ANY AND ALL MATTERS DISCLOSED ON PARCEL MAP BEING A RESUBDIVISION OF LOT 15, COMPLETED BY LAWRENCE H. LEONHARDT RCE NO. 16274, DATED AUGUST 1974 RECORDED SEPTEMBER 17, 1974 IN BOOK 28 PAGE 7 IN SAN MATEO COUNTY, CALIFORNIA.
 *** PLOTTED AS SHOWN HEREON ***

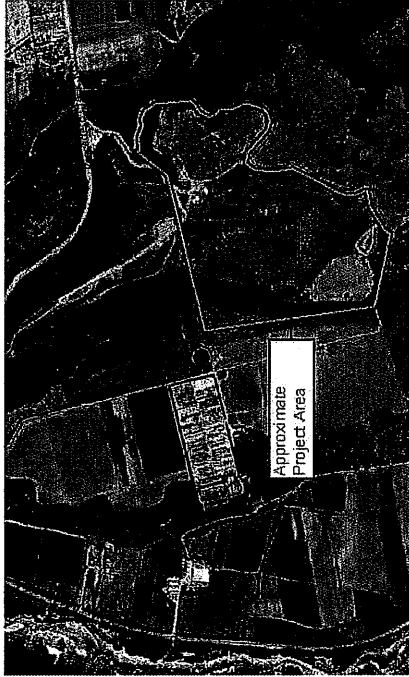
18. ANY AND ALL MATTER DISCLOSED ON RECORD OF SURVEY COMPLETED BY JOSEPH P. MCNUITY LLC 5481, DATED AUGUST 2000 AND RECORDED AUGUST 25, 2000 IN BOOK 21 PAGE 16 IN SAN MATEO COUNTY, CALIFORNIA.
 *** THE LAND SHOWN ON SAID MAP LIES OUTSIDE OF THE SUBJECT PARCEL ***

ACCESS ROAD PLAN

FOR

CROWN CASTLE

SITE FORMERLY REFERRED AS 1000 PESCADERO CREEK ROAD WHICH IS LOCATED OFF BEAN HOLLOW ROAD IN PESCADERO, CA 94060



PROPERTY BOUNDARY PER SAN MATEO COUNTY GIS ASSESSORS MAP. PROPERTY BOUNDARY & ACCESS POINT. NO DISCREPANCY ARE SHOWN ON THE SMC ASSESSORS MAP.

DRAWN BY DMP
DESIGNED BY DMP
CHECKED BY DMP
SCALE AS SHOWN
PROJECT NO. 200403
SHEET C1.0

REVISION BLOCK

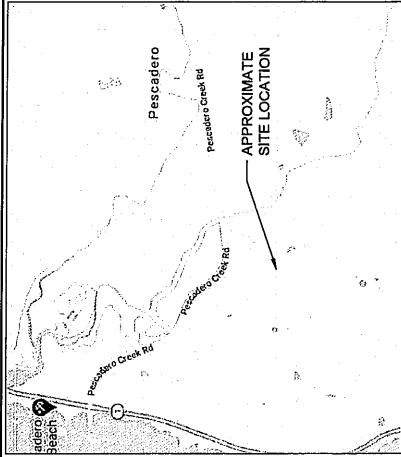
DATE

DESCRIPTION

COVER SHEET / SITE PLAN

CROWN CASTLE - PESCADERO

BEAN HOLLOW ROAD, PESCADERO CA 94060

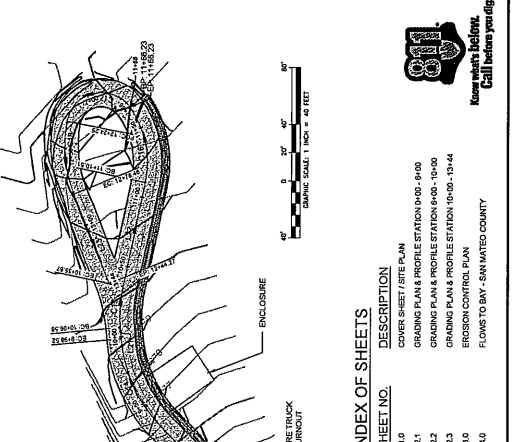


VICINITY MAP

NOT TO SCALE

COUNTY SAN MATEO FIRE DEPARTMENT NOTES:

- ACCESS MARKERS SHALL BE A MINIMUM OF 3' IN HEIGHT ON CONTRACTING BACKGROUND AND BE VISIBLE FROM THE ROAD IN THE SECTIONS OF THE ROAD. MARKERS SHALL NOT BE GREATER THAN 6" REEF. REMOTE ADDRESSING MAY BE REQUIRED AT INTERSECTIONS AND TO BE REFLECTIVE AND CONTRASTING BACKGROUND. EQUIVALENT TO "ROAD BYT" SIGNAGE WITH MINIMUM 4" NUMBERS. C/F C/O 2011
- ADDITIONAL NUMBERS AND DIRECTIONAL ARROWS MAY BE REQUIRED AT THE ENTRANCE OF ACCESS ROADS. C/F C/O 2011
- EXISTING NUMBERED ACCESS ROADS MUST BE MAINTAINED. ALL POTS HOLES AND ANY DAMAGED ROADWAY TO BE REPAIRED AND COMPACTED TO ORIGINAL FINISHED HEIGHT OF 1.5" SURFACE. EXISTING 7,000 LBS. GRAVEL ROAD ACCESS SHALL BE CERTIFIED BY AN ENGINEER AS TO THE COMPACTION AND WEAR IT WILL SUPPORT.
- SURFACE SHALL BE A MINIMUM OF TWENTY FOOT WIDE ALL WEATHER SURFACE AND SHALL BE ABLE TO SUPPORT A 15,000 LBS. TRUCK. AN ENGINEER CERTIFICATION MAY BE REQUIRED FOR YOUR PROJECT. GRADES UP TO 15% SHALL BE ALLOWED. SURFACE SHALL BE PAVED WITH ASPHALT, CONCRETE OR EQUIVALENT WITH A NON-SKID SURFACE AND A SURFACE OF CLASS 2 AGGREGATE, OR EQUIVALENT, COMPACTED TO 98%.
- GATES SHALL BE A MINIMUM OF 5 FEET WIDER THAN THE ACCESS ROADWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM CLEARANCE OF 10 FEET. GATES SHALL HAVE A KEY SWITCH, ELECTRIC GATES SHALL AUTOMATICALLY OPEN IN CASE OF POWER FAILURE. C/F C/O 2011
- ALL VEHICLES AND EQUIPMENT SHALL BE KEPT OFF ROADWAY. CONTACT SAN MATEO COUNTY FIRE DEPARTMENT FOR FURTHER INFORMATION. IF YOU NEED FURTHER ASSISTANCE PLEASE CONTACT THE SAN MATEO COUNTY FIRE DEPARTMENT AT (415) 933-5368.



IMPERVIOUS SURFACE CALCULATION

IMPERVIOUS SURFACE CALCULATION: IMPROVED PROJECTS LESS THAN 20,000 SQ FT OF IMPERVIOUS SURFACE SHALL BE TYPICAL FOR STORM DRAINAGE. IMPROVED PROJECTS GREATER THAN 20,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 24" DIA. STORM DRAIN AND A 12" DIA. STORM MANHOLE WITH A 6" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 50,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 30" DIA. STORM DRAIN AND A 16" DIA. STORM MANHOLE WITH A 8" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 100,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 36" DIA. STORM DRAIN AND A 18" DIA. STORM MANHOLE WITH A 10" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 200,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 42" DIA. STORM DRAIN AND A 20" DIA. STORM MANHOLE WITH A 12" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 500,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 48" DIA. STORM DRAIN AND A 24" DIA. STORM MANHOLE WITH A 14" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 1,000,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 54" DIA. STORM DRAIN AND A 26" DIA. STORM MANHOLE WITH A 16" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 2,000,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 60" DIA. STORM DRAIN AND A 28" DIA. STORM MANHOLE WITH A 18" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 5,000,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 66" DIA. STORM DRAIN AND A 30" DIA. STORM MANHOLE WITH A 20" DIA. STORM MANHOLE COVER. IMPROVED PROJECTS GREATER THAN 10,000,000 SQ FT SHALL REQUIRE A DRAINAGE SYSTEM WITH A 72" DIA. STORM DRAIN AND A 32" DIA. STORM MANHOLE WITH A 22" DIA. STORM MANHOLE COVER.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET / SITE PLAN
C2.1	GRADES PLAN & PROFILE ELEVATION 10-00 - 10-00
C2.2	GRADES PLAN & PROFILE ELEVATION 10-00 - 10-14
C2.3	GRADES PLAN & PROFILE ELEVATION 10-00 - 10-14
C2.4	EROSION CONTROL PLAN
C2.5	FLOW TO BAY - SAN MATEO COUNTY



RAMSEY CIVIL ENGINEERING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT. THE GEOTECHNICAL REPORT SHALL INSURE THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT.
- PROFESSIONAL REPORT PREPARED BY CHTA CIVIL GROUP, JOSEPH V. SOBELLY, JR., 120 DIVISADERO ROAD, SUITE 100, CAPELL HILL, NORTH CAROLINA 27514
- PLANS BASED ON TOPOGRAPHIC SURVEY, BY PHIL AMER SURVEYING, PERFORMED IN 2013.
- NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING.
- EROSION CONTROL PLANS SHALL BE SUBMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
- THE ENGINEER PREPARED THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES OR CONSTRUCTION OPERATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE DIVISION OF ASTM SPECIFICATIONS IDENTIFIED BY THE COUNTY OF SAN MATEO, STANDARD PLANS AND SPECIFICATIONS LATEST EDITION.
- IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL VERIFY THE RELIABILITY OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA, LOCATIONS, AND DEPTHS OF EXISTING UTILITIES. THE ENGINEER CAN ASSURE NO LIABILITY FOR ANY UTILITIES WHICH MAY BE ENCOUNTERED IF AT ANYTIME THE CONTRACTOR IS UNABLE TO IDENTIFY EXISTING UTILITIES. CONTACT USA OR LOCAL UTILITY COMPANIES TO VERIFY THE LOCATION OF UTILITIES.
- ALL UTILITIES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, STRUCTURES, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
- ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR ALL GRADED AREAS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
- ALL GRADING, TRENCHING, BORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE OSHA REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO.
- FOR THE FINAL APPROVED GRADING PERMIT, THE PROPERTY OWNER SHALL ENSURE THE PERFORMANCE OF THE FOLLOWING ACTIVITIES WITHIN THIRTY (30) DAYS OF THE COMPLETION OF THE GRADING AT THE PROJECT: THE CONTRACTOR SHALL SUBMIT WRITTEN CERTIFICATION THAT ALL GRADING HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, CONDITIONS OF APPROVAL, AND THE GRADING PERMIT. THE CONTRACTOR SHALL SUBMIT WRITTEN CERTIFICATION THAT ALL GRADING HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, CONDITIONS OF APPROVAL, AND THE GRADING PERMIT.

Curve #	Radius	Length	Clear Dimension
C10	150.00	135.25	520' 39" 48.97' W
C11	500.00	42.33	58' 09" 58.35' E
C12	300.00	47.38	59' 59" 03.69' W
C13	100.00	93.00	51' 17" 05.27' E
C14	100.00	93.00	52' 49" 37.72' E
C15	100.00	26.10	59' 59" 32.91' W
C16	68.88	55.71	51' 27" 59" 42.72' E
C17	25.00	54.02	1' 19" 59" 47.20' E
C18	92.18	52.24	1' 02" 39" 11.39' W

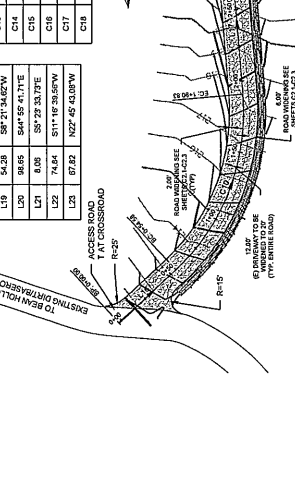
Line #	Length	Direction
L18	94.58	540' 32" 08.91' W
L17	90.32	59' 32" 30.99' E
L16	132.70	59' 21" 27.09' E
L15	94.26	59' 21" 27.09' E
L14	96.45	54' 58" 31.71' E
L13	88.65	59' 22" 33.37' E
L12	74.04	51' 17" 26.35' W
L11	57.22	102' 42" 53.89' W

ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
COMPACTED BASEDROCK FOR PAVING	16,787	0
COMPACTED BASEDROCK FOR CURBS	0	8,857
TOTAL		8,857

ESTIMATED EARTHWORK QUANTITIES

ITEM	QUANTITY
CUBIC YARDS EXCAVATION	870
CUBIC YARDS EMBANKMENT	327
CUBIC YARDS FILL	7

NOTES: EXCAVATED VOLUMES INCLUDE THE MATERIAL TO BE REMOVED TO ACCOMMODATE AT-OR ROAD USE SECTION. EMBANKMENT VOLUMES INCLUDE ALL FILL MATERIAL AND A 6% EXPANSION FACTOR ON ALL CUT MATERIAL. 3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



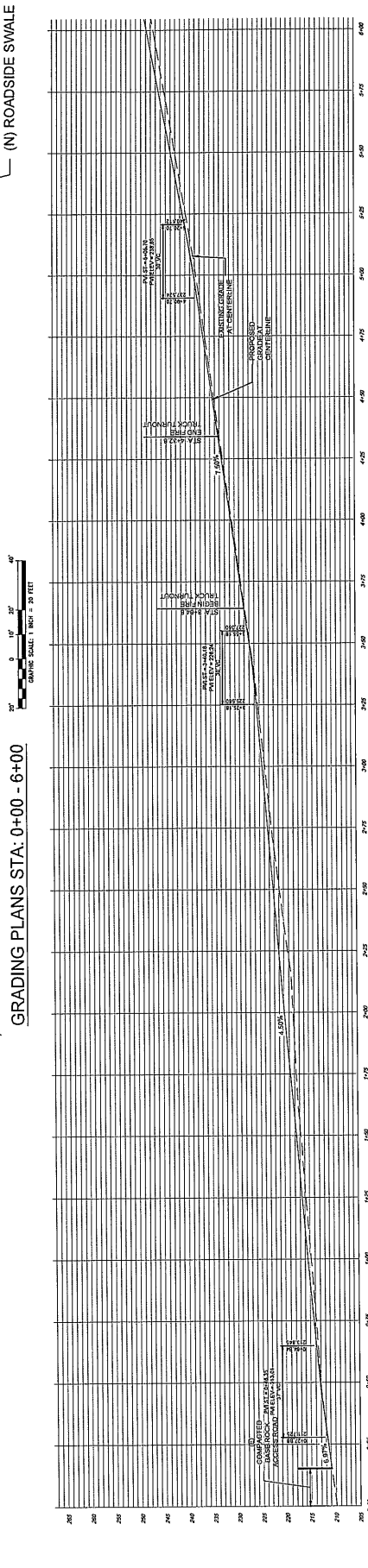
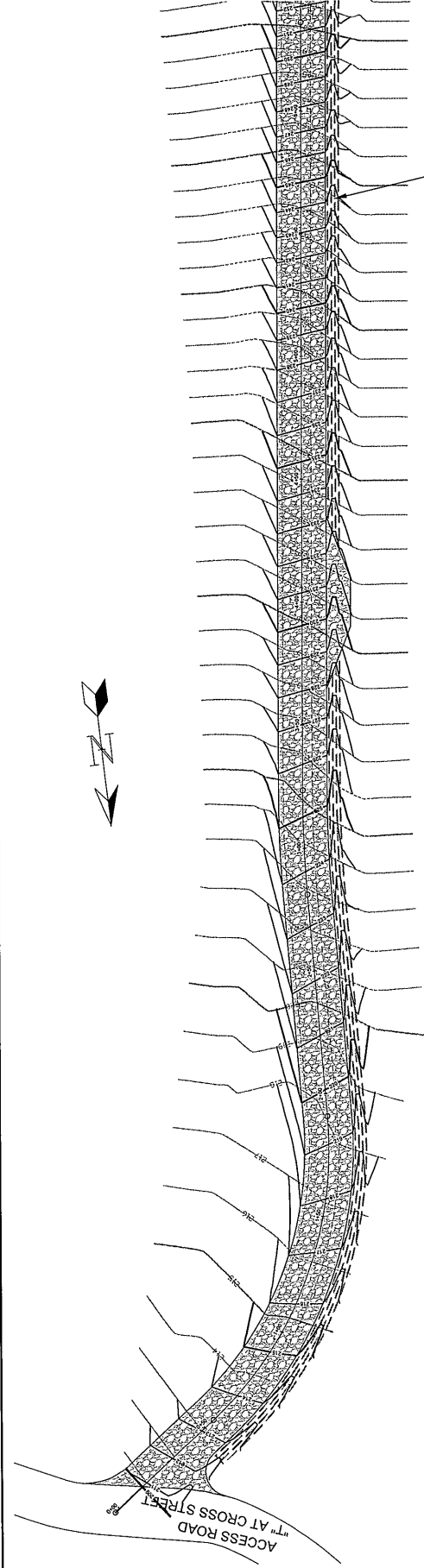
NOTE: TO COMMENSURATE WITH CONSTRUCTION OF PERMITS, PERMITS AND CONTRACTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PESCADERO.

CIVIL ENGINEERING
 PROJECT MANAGEMENT
 CONSULTING AND DESIGN SERVICES
 2005 KRISTIE COURT
 SAN MATEO, CA 94060
 TEL: (811) 647-2595
 WWW.MASTERPLANNING.COM

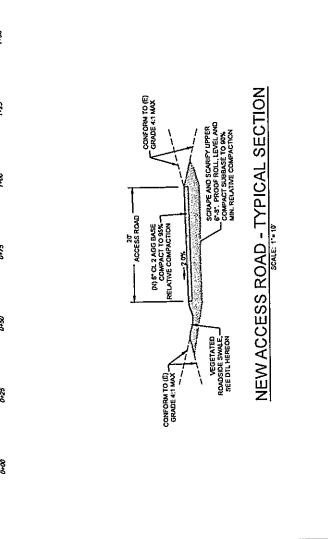
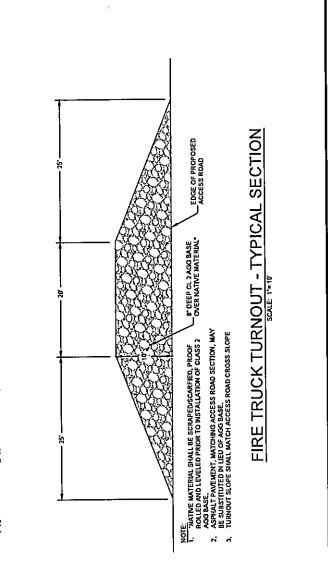
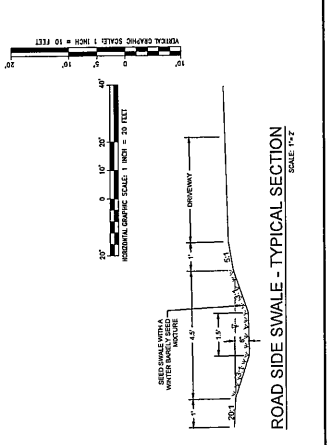
SAN MATEO COUNTY
 STATE OF CALIFORNIA
 BUILDING PERMIT
 BEAN HOLLOW ROAD, PESCADERO CA 94060
CROWN CASTLE - PESCADERO
 GRADING & PROFILE PLAN (STA: 0+00 - 6+00)

REVISION BLOCK	NUMBER	BY	DATE	DESCRIPTION

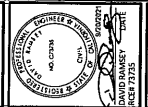
DRAWN BY: []
 CHECKED BY: []
 DATE: 12/20/21
 SCALE: AS NOTED
 SHEET NO. OF 100: 10005
C2.1



NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND THE DESIGN PROFESSIONAL. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION.



CALL CONSULTING
 PLANNING ARCHITECTURE
 CIVIL AND ENVIRONMENTAL
 2905 MARSH COURT
 SANTA CRUZ, CA 95065
 (408) 298-1111
 www.callconsulting.com



SAN MATEO COUNTY
 APN: 086-180-060
 SITE #: CCL18334
 BILLING PERIOD:

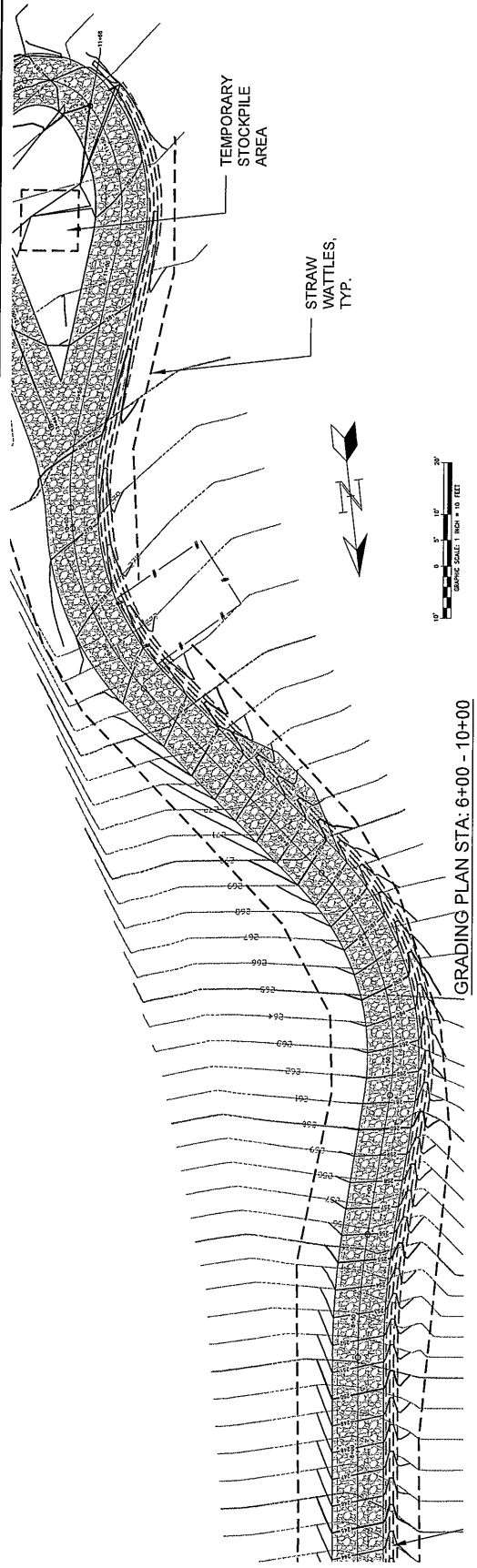
CROWN CASTLE - PASCADERO
 GRADING & PROFILE PLAN (STA: 6+00 - 10+00)
 BEAN HOLLOW ROAD, PASCADERO CA 94060

REVISION BLOCK	NUMBER	BY	DATE	DESCRIPTION

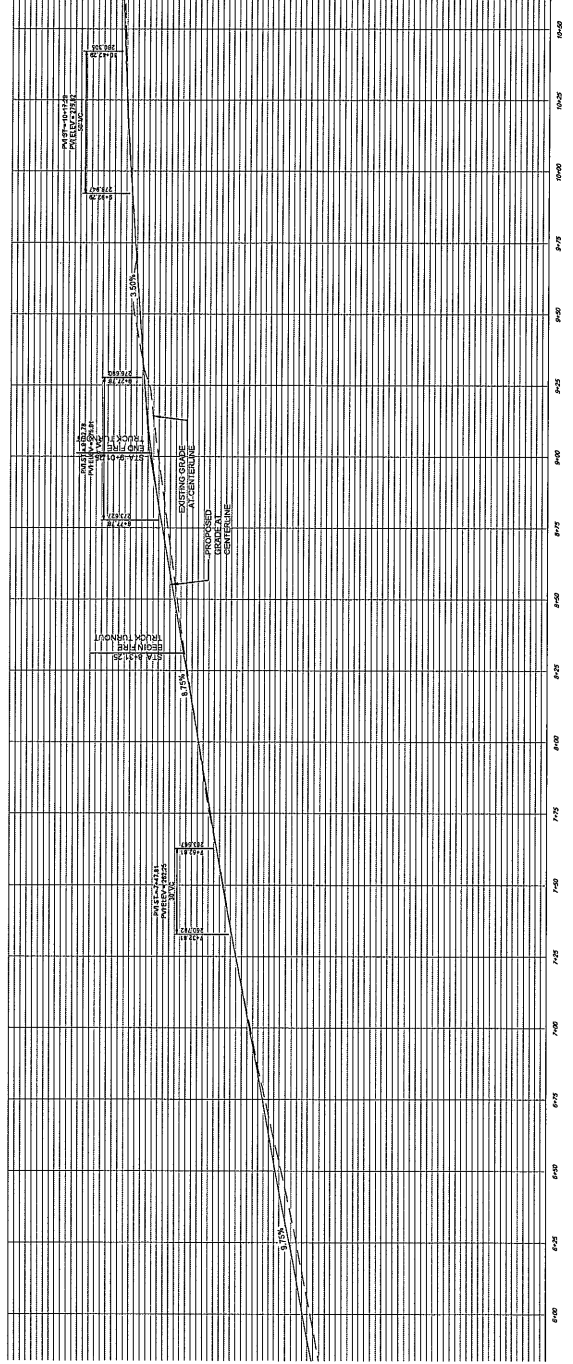
DESIGNED BY: DMB
 DATE: 08/20/2013
 PROJECT NO.: 20043
 SHEET NO.: C2.2



NOTE: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ON SITE CONDITIONS DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES FROM ANY AND ALL LIABILITY. CALL OR ALLOWED TO CONDUCT WORK PERFORMANCE OF THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE PERFORMANCE OF THE DESIGN PROFESSIONAL.

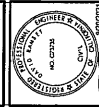


GRADING PLAN STA: 6+00 - 10+00



ACCESS ROAD PROFILE STA: 6+00 - 10+00

CIVIL ENGINEERING
 PROFESSIONAL SEAL
 CIVIL ENGINEER
 2805 HERBIE COURT
 SANTA CRUZ, CA 95065
 www.mtravisengineering.com



DAVID HANSETT
 10217225

SAN MATEO COUNTY
 APN: 0865-180-080
 SITE # SC100554
 BUILDING PERMIT

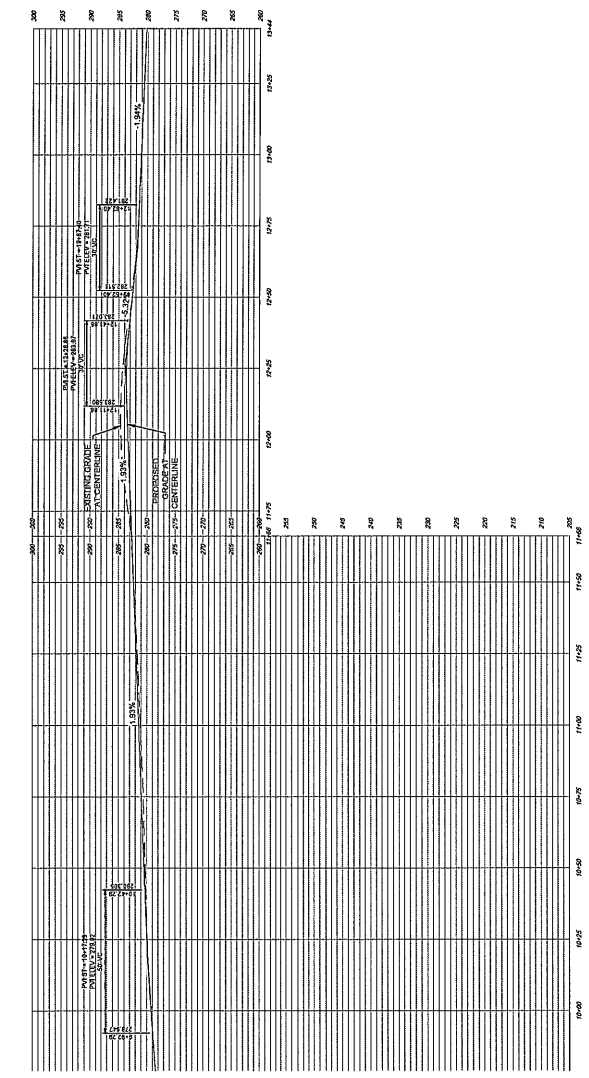
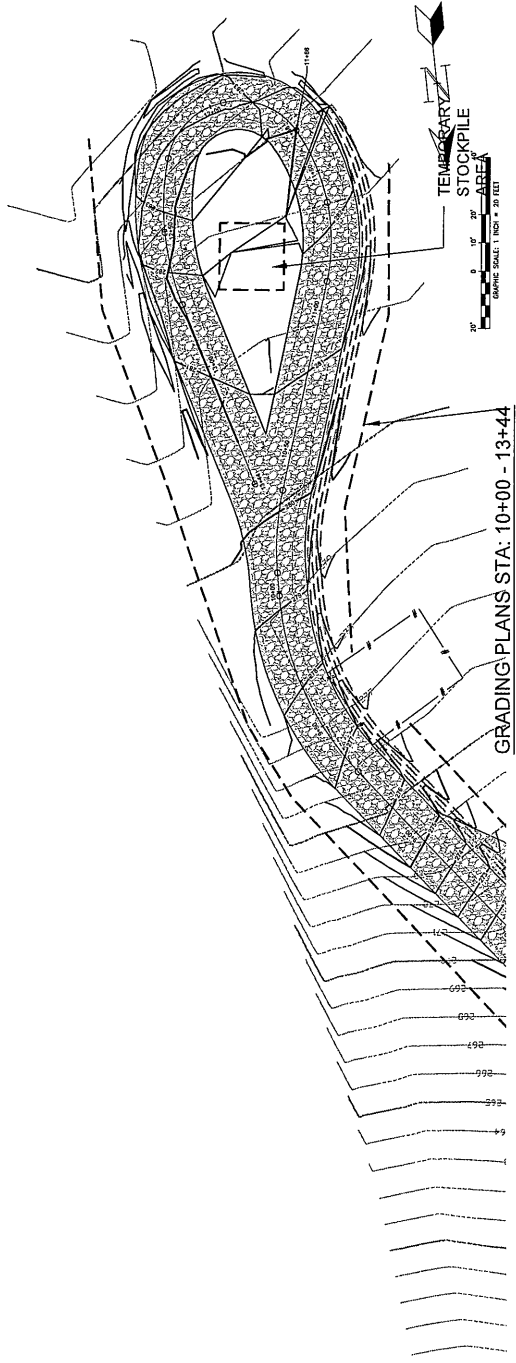
GRADING & PROFILE PLAN (STA: 10+00 -13+44)
CROWN CASTLE - PASCADERO
 BEAN HOLLOW ROAD, PASCADERO CA 94060

NO.	DATE	DESCRIPTION

DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 PROJECT NO: 10-043
 SHEET: C2.3



NOTE:
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONSTRUCTION RESPONSIBILITY FOR THE JOB SITE SPECIFICATIONS DURING THE CONSTRUCTION OF THIS PROJECT, INCLUDING THE CONSTRUCTION OF THE CONSTRUCTION OF THIS PROJECT, CONTIGUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION SHALL BE PERFORMED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE INCURRENCE OF THE WORKER OR CONTRACTOR.

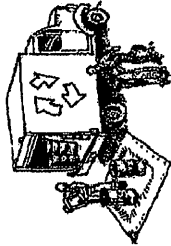


ACCESS ROAD PROFILE STA: 10+00 - 13+44

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management

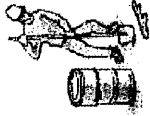


- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment sources to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the State Emergency Services Warning Center, (800) 852-7590 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, in-fill and maintain temporary erosion control fabric (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting stormwater runoff.
 - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
 - Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
 - If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



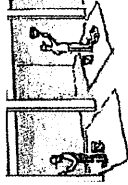
- Store concrete, grout, and mortar away from storm drains. Use tarps, or other rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any leaks and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



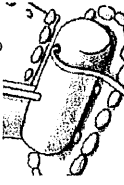
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discourage application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or five paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Leaking paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be pumped to a designated area. When possible, send dewatering effluent to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-off water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and limited off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

NUMBER	BY	DESCRIPTION	DATE

DATE	BY	DESCRIPTION

DATE	BY	DESCRIPTION

PREPARED FOR
CROWN CASTLE
 5001 Executive Parkway, West Wing
 San Ramon, California 94583


Vendor:
MOTIVE
 INFRASTRUCTURE SOLUTIONS

Vendor:
at&t
 4000 Regency Avenue, 3rd Floor
 Irvine, California 92614

SITE NUMBER:
CCL05354

GROWNBUD: 856161
 JSA PROJECT NO: 160796
 DRAWN BY: T.J.L
 CHECKED BY: E.F.

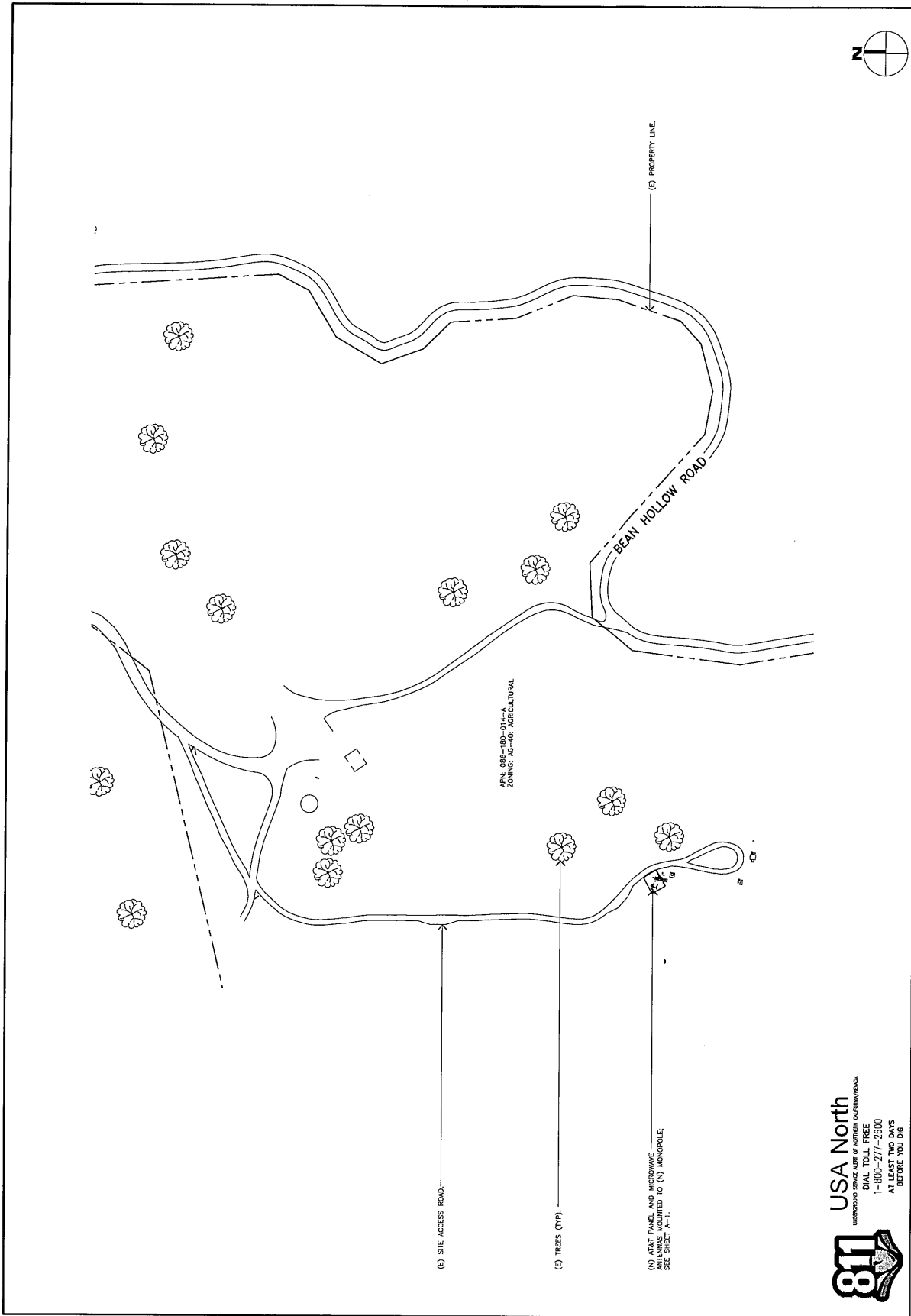
REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POW CDS

Licensee:

 I.E. ANGELO & CO. INC. FOR PROFESSIONAL ENGINEERING SERVICES OF ATTORNEYS AND ARCHITECTS TO HELP INDUSTRY.

Issued For:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94060

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A-0



11x17 SCALE: 1"=200'
 24x36 SCALE: 1"=100'

SITE PLAN

811
 USA North
 OPERATIONS
 811 CALL CENTER
 1-800-277-2800
 AT LEAST 24 HOURS
 BEFORE YOU DIG

(N) ART PANEL AND MICROWAVE
 ANTENNA MOUNTED TO (N) MONOPOLE;
 SEE SHEET A-1.1

(E) TREES (TYP.)

(E) SITE ACCESS ROAD.

APN: 085-180-014-A
 ZONING: AG-10C AGRICULTURAL

PREPARED FOR
CROWN CASTLE
 5001 Executive Parkway, West Wing
 San Ramon, California 94583



Vendor:
at&t
 10000 Wilshire Blvd, Suite 1000
 Los Angeles, California 90024

SITE NUMBER:
CCL05354

CROWNJOB: 806161
 JVA PROJECT NO: 160796
 DRAWN BY: T.J.L.
 CHECKED BY: L.E.J.

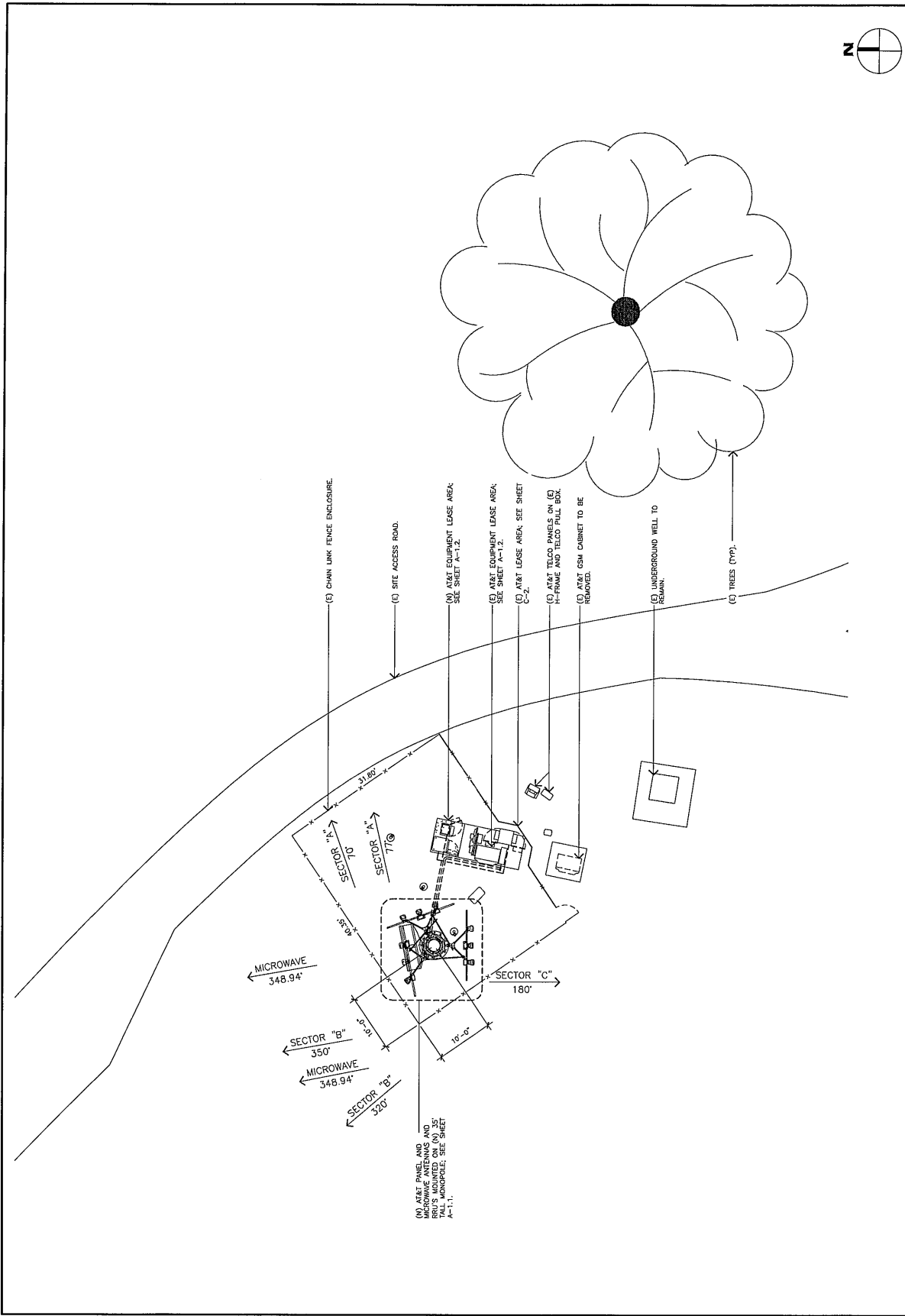
REV	DATE	DESCRIPTION
E	09/28/21	CLIENT COMMENTS
D	09/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POISE CD'S



Issued For:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94060

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A-1



11x17 SCALE: 1/16"=1'-0"
 24x36 SCALE: 1/8"=1'-0"

ENLARGED SITE PLAN



SITE NUMBER
CCL05354

CROWN BUN: 856161
JRA PROJECT NO: 160796
DRAWN BY: T.J.L.
CHECKED BY: I.F.J.

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	100% CDS



Issued For:
PESCADERO
SITE FORMERLY AS 1000
PESCADERO CREEK ROAD
WHICH IS LOCATED OFF BEAN
HOLLOW ROAD, CALIFORNIA
94060

SHEET TITLE:
ANTENNA PLAN

SHEET NUMBER:
A-1.1



SITE NUMBER
CCL05354

CROWN BUN: 856161
JRA PROJECT NO: 160796
DRAWN BY: T.J.L.
CHECKED BY: I.F.J.

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	100% CDS



Issued For:
PESCADERO
SITE FORMERLY AS 1000
PESCADERO CREEK ROAD
WHICH IS LOCATED OFF BEAN
HOLLOW ROAD, CALIFORNIA
94060

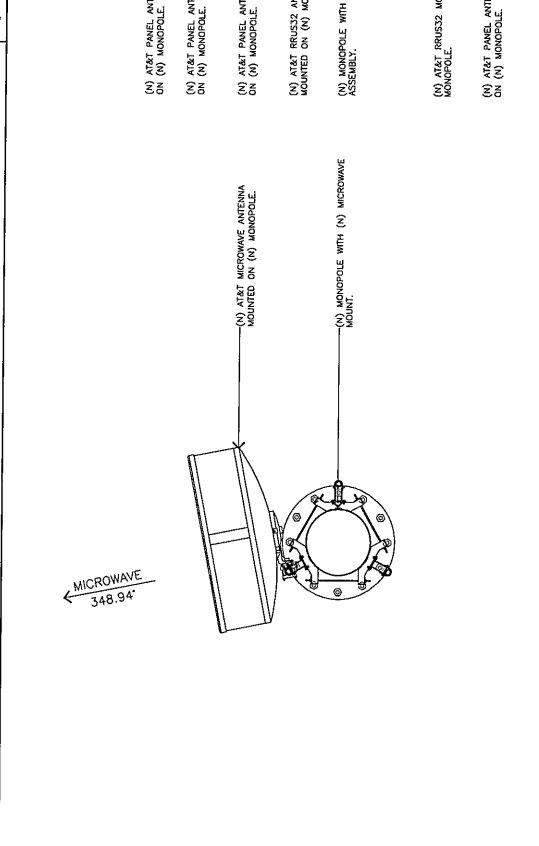
SHEET TITLE:
ANTENNA PLAN

SHEET NUMBER:
A-1.1

PROPOSED ANTENNA TABLE

ANTENNA POSITION	TECHNOLOGY	TYPE	MODEL	RAD	AZIMUTH	TWSS/FILTERS	RRU	TRANSMISSION LINE LENGTH (LST)	TYPE
SECTOR "A"	1	FWLL	QUINTEL OS6656-3	29'	77°	-	(1) RRU5-32	45'	FIBER
	2	LTE	SRNH-1065B	29'	70°	-	(1) RRU5-11 (1) RRU5-32 BZ	45'	FIBER
	3	UMTS	SRNH-1065B	29'	70°	-	-	7/8" COAX	
SECTOR "B"	1	LTE	SRNH-1065B	29'	350°	-	(1) RRU5-11 (1) RRU5-32 BZ	45'	FIBER
	2	UMTS	SRNH-1065B	29'	350°	-	-	7/8" COAX	
	3	FWLL	QUINTEL OS6656-3	29'	320°	WCS FILTER	(1) RRU5-32	45'	FIBER
SECTOR "C"	1	FWLL	QUINTEL OS6656-3	29'	180°	-	(1) RRU5-32	45'	FIBER
	2	LTE	SRNH-1065B	29'	180°	-	(1) RRU5-11 (1) RRU5-32 BZ	45'	FIBER
	3	UMTS	SRNH-1065B	29'	180°	WCS FILTER	-	7/8" COAX	

PANEL ANTENNA SCHEDULE TABLE



PROPOSED ANTENNA PLAN

11x17 SCALE: 3/16"=1'-0"

24x36 SCALE: 3/8"=1'-0"

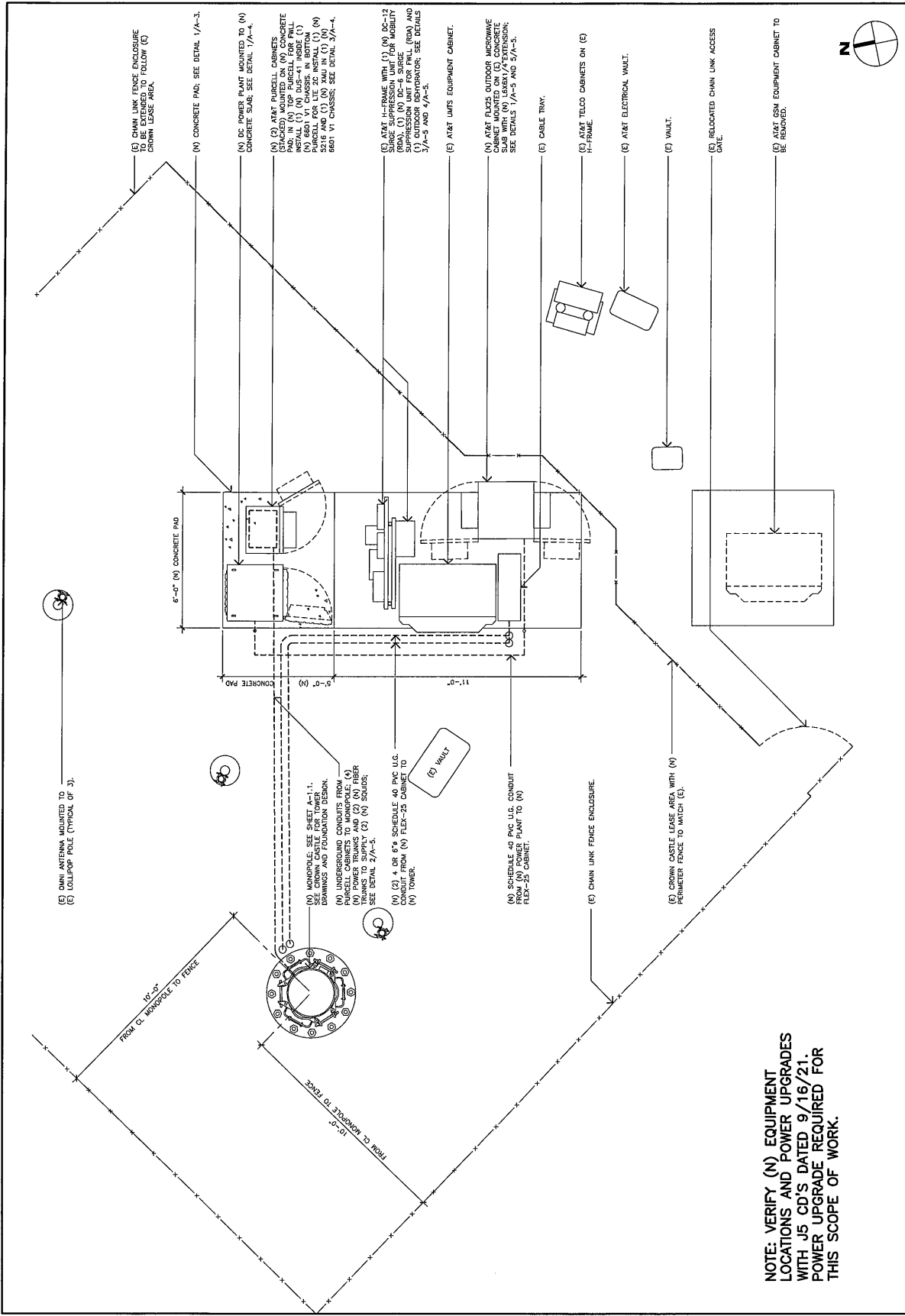
REV	DATE	DESCRIPTION
E	09/28/21	CLIENT COMMENTS
D	09/16/21	CLIENT COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POB CDS



License:
 INKED FOR:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94560

SHEET TITLE:
EQUIPMENT PLAN

SHEET NUMBER:
A-1.2



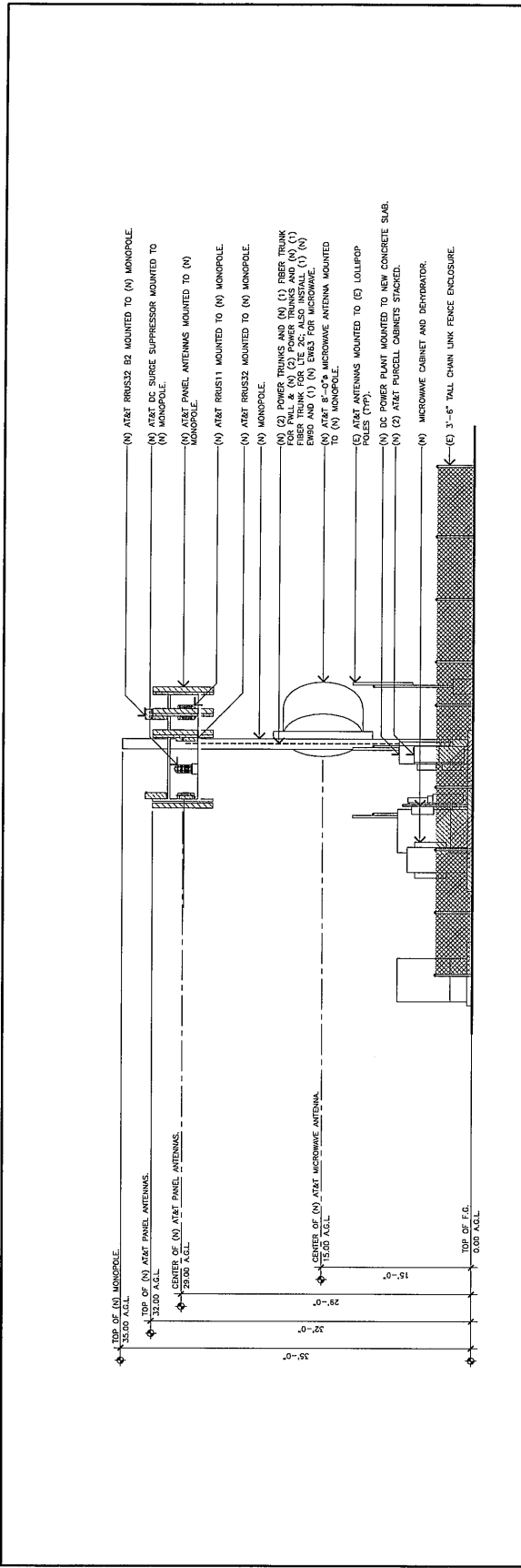
NOTE: VERIFY (N) EQUIPMENT LOCATIONS AND POWER UPGRADES WITH JS CD'S DATED 9/16/21. POWER UPGRADE REQUIRED FOR THIS SCOPE OF WORK.



11x17 SCALE: 1/4"=1'-0"
 24x36 SCALE: 1/2"=1'-0"

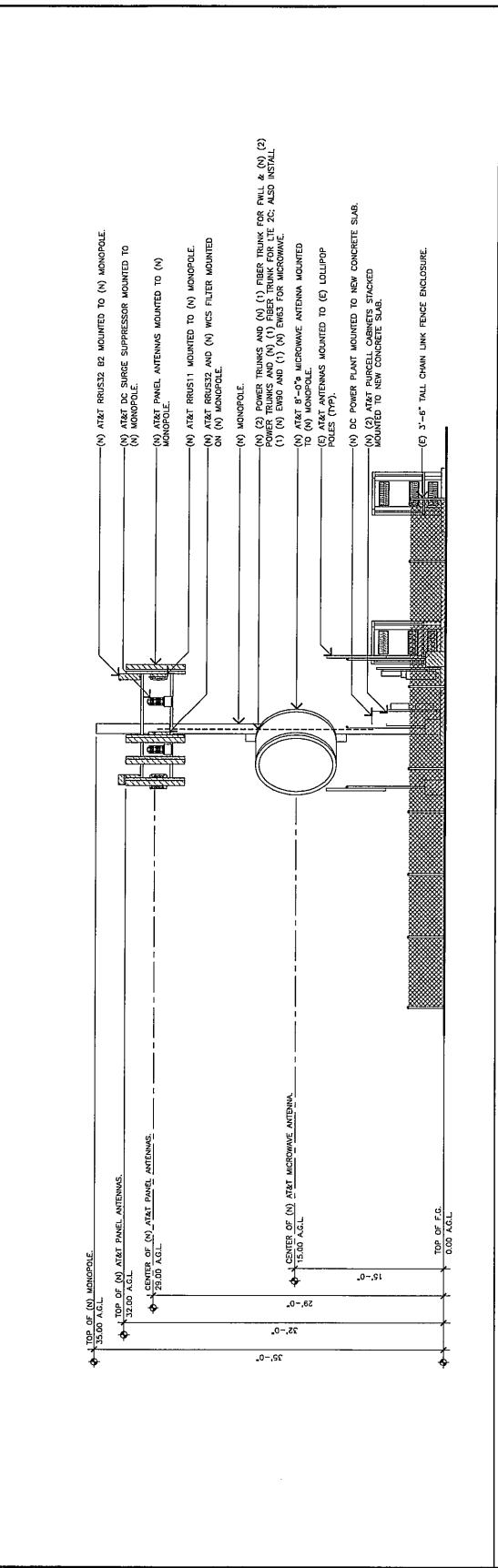
EQUIPMENT PLAN

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/17/18	99% CDS



EAST ELEVATION
 11x17 SCALE: 3/32"=1'-0"
 24x36 SCALE: 3/16"=1'-0" 0 3' 6" 12'

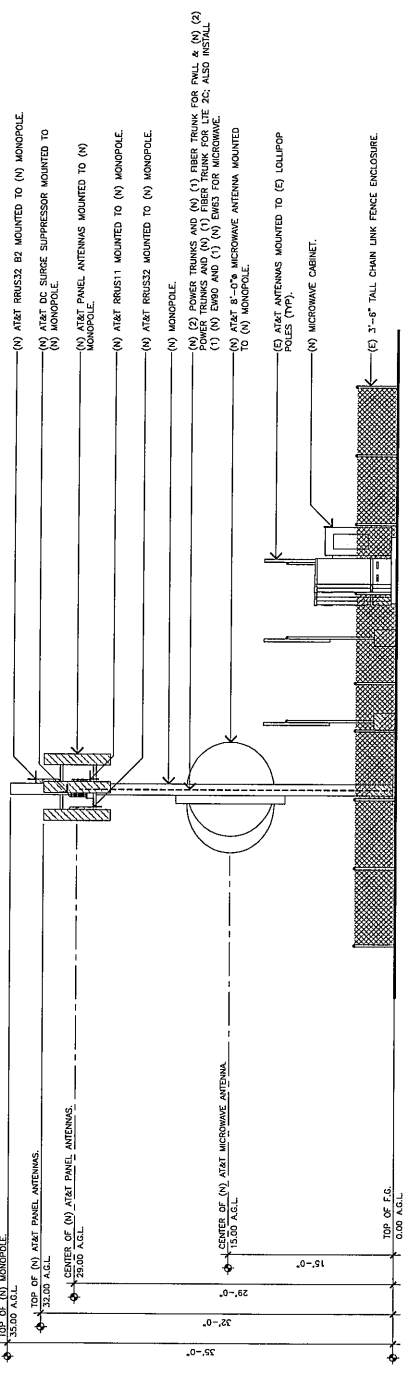
2



WEST ELEVATION
 11x17 SCALE: 3/32"=1'-0"
 24x36 SCALE: 3/16"=1'-0" 0 3' 6" 12'

1

REV	DATE	DESCRIPTION
A	12/12/18	PKW CDS
B	04/25/19	CLIENT COMMENTS
C	04/29/19	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
E	07/28/21	CLIENT COMMENTS

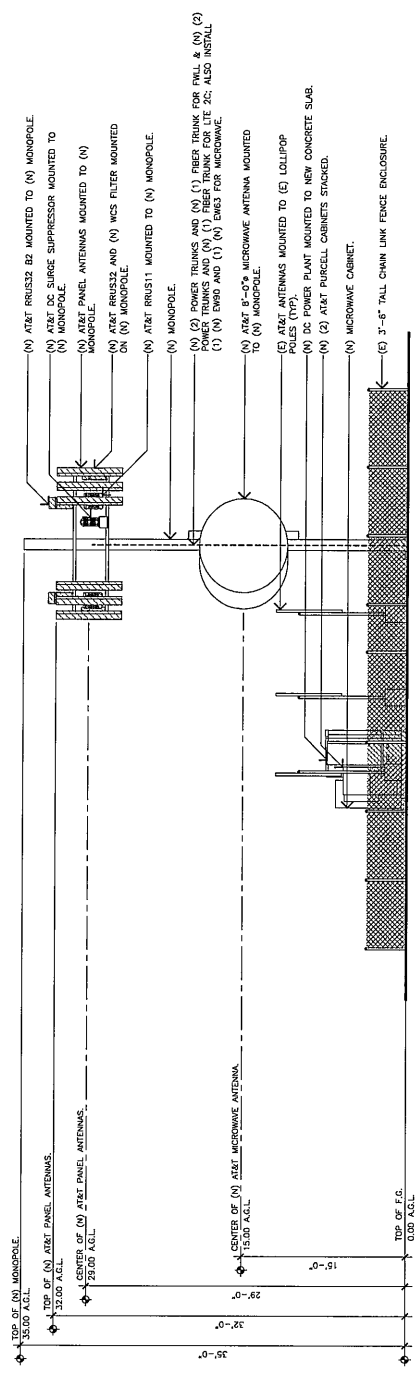


SOUTH ELEVATION

1x17 SCALE: 3/32"=1'-0"
 2x36 SCALE: 3/16"=1'-0"



2

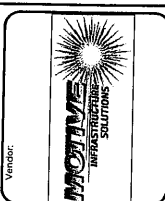


NORTH ELEVATION

1x17 SCALE: 3/32"=1'-0"
 2x36 SCALE: 3/16"=1'-0"



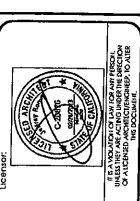
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SITE NUMBER:
CCL05354

CROWNBUN: 856161
 JSA PROJECT NO: 140796
 DRAWN BY: JLA
 CHECKED BY: IJF

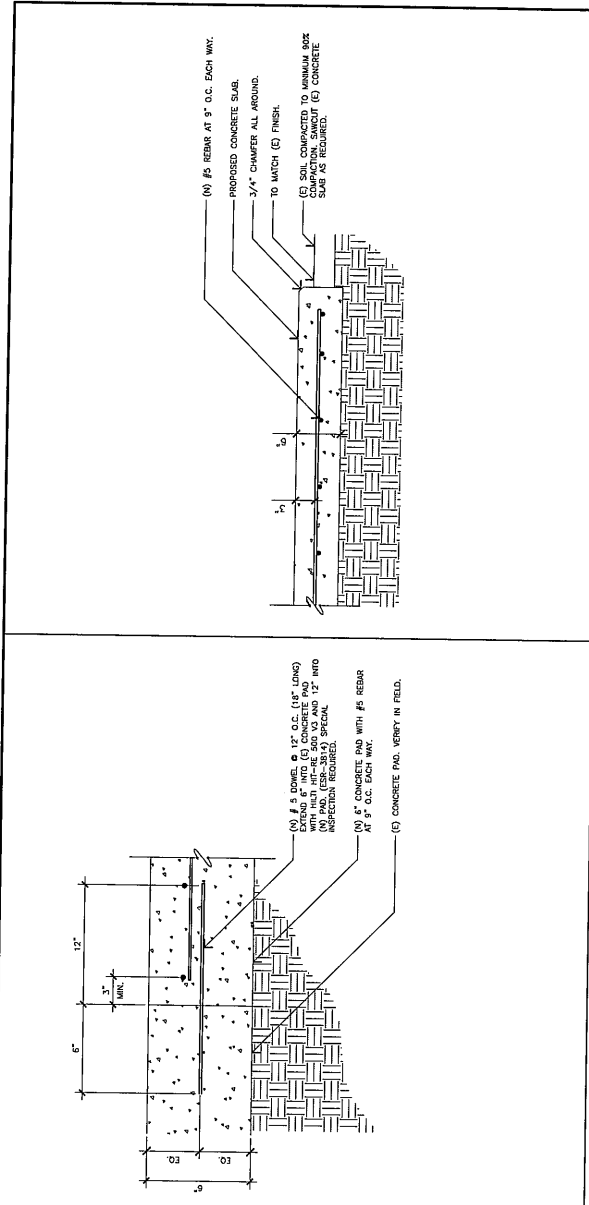
REV	DATE	DESCRIPTION
E	09/28/21	CLIENT COMMENTS
D	09/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	90% CDS



James A. Pescadero
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94600

SHEET TITLE:
DETAILS

SHEET NUMBER:
A-3



CONCRETE GENERAL NOTES:

- SLAB TO BE LEVEL ±1/4" AND FLAT SURFACE.
- FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
- CONCRETE STRENGTH SHALL BE A MINIMUM OF 2500 PSI.
- CONCRETE SHALL BE PLACED IN LAYERS AND EACH LAYER SHALL BE COMPACTED TO THE FULL DEPTH OF THE LAYER. BRING SITE TOP TO WORK COMPACTED.
- CHAMFER ALL EXPOSED CONCRETE EDGES 3/4".
- MANUFACTURER TO VERIFY CONCRETE STAIR-LIP LOCATIONS, GENERATOR USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER ICBO & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.

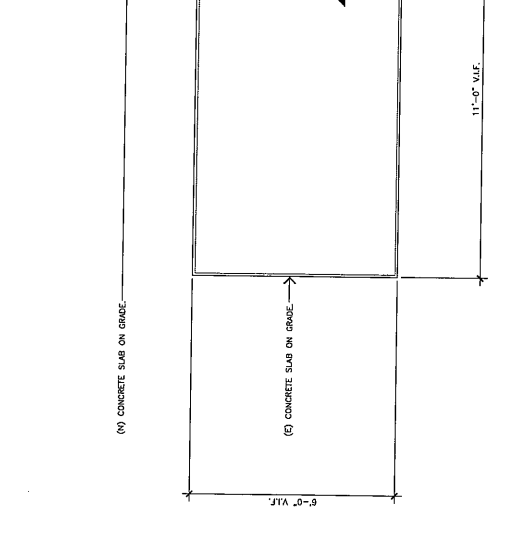
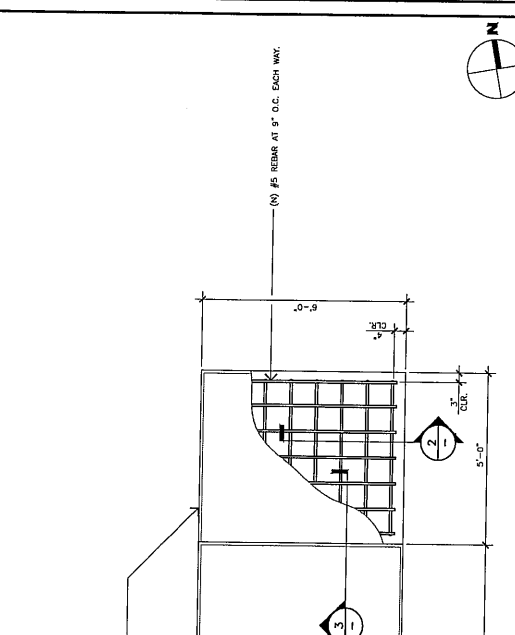
CONCRETE PAD GENERAL NOTES:

1. ALL STEEL REINFORCING SHALL BE IN ACCORDANCE WITH THE ACI 301-89.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED BARS. ALL WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE SHALL CONFORM TO ASTM A 185, GRADE 60, WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPACES "60" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS NOTED OTHERWISE ON DIMENSIONS:
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #5 AND LARGER: 2 IN.
 #5 AND SMALLER: 1-1/2 IN.
 CONCRETE CAST AGAINST EARTH:
 #5 AND LARGER: 3 IN.
 #5 AND SMALLER: 1-1/2 IN.
 SLABS AND WALLS:
 #5 AND LARGER: 2 IN.
 #5 AND SMALLER: 1-1/2 IN.
 BEAMS AND COLUMNS:
 #5 AND LARGER: 3 IN.
 #5 AND SMALLER: 1-1/2 IN.
 CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE UNLESS NOTED OTHERWISE ON DIMENSIONS.
 UNLESS NOTED OTHERWISE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
5. ALL ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR WELD UNLESS NOTED OTHERWISE ON DIMENSIONS.
6. MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON DIMENSIONS SHALL BE USED UNLESS NOTED OTHERWISE ON DIMENSIONS. USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER ICBO & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.

5 DOWEL AT CONCRETE FOUNDATION SCALE: NONE

3 CONCRETE PAD SECTION SCALE: NONE

2 CONCRETE PAD PLAN SCALE: N.T.S.



4 CONCRETE PAD PLAN SCALE: N.T.S.

NOT USED

REV	DATE	DESCRIPTION
E	09/28/21	CLIENT COMMENTS
D	09/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POW CDS



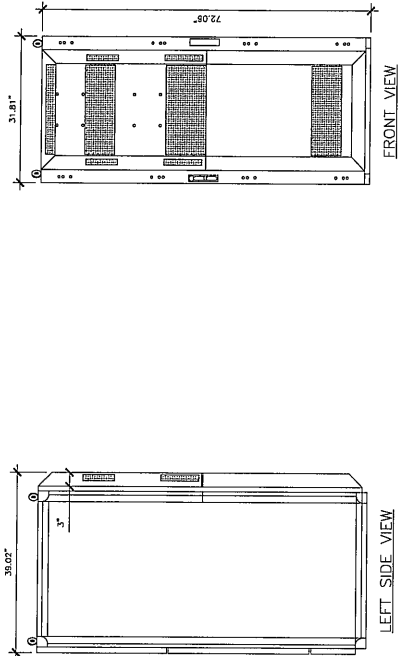
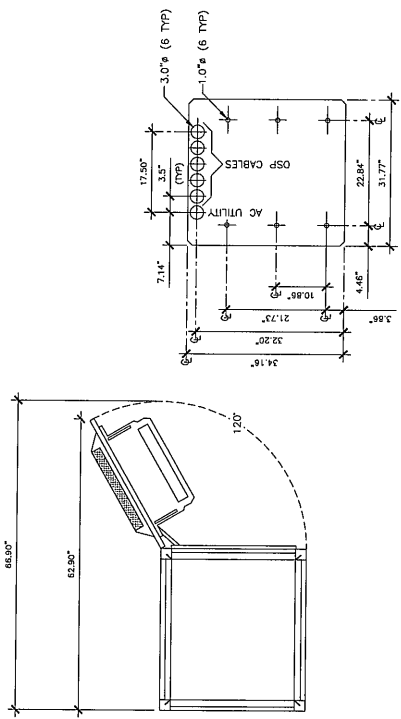
Issued For:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94060

SHEET TITLE:
DETAILS

SHEET NUMBER:
A-4

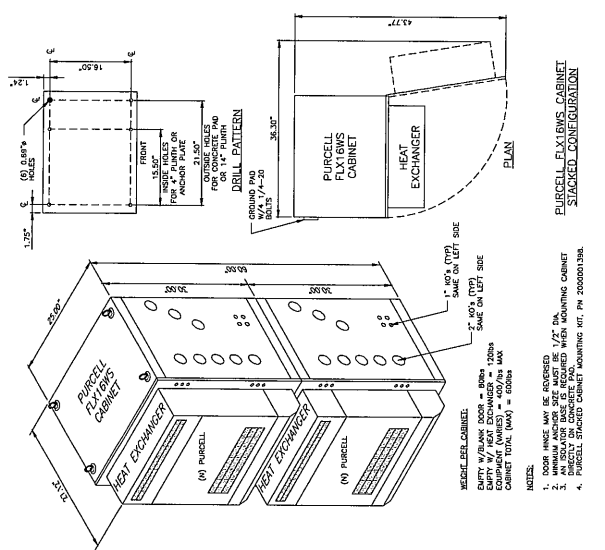
EMERSON - OUTDOOR NETSURE 512 POWER PLANT

DIMENSIONS: 72.0" H X 32.0" W X 39.0" D
 SQUIRT WEIGHT: 752 lbs
 W/CD (TYP) WEIGHTS: 2,050 lbs
 SEISMIC ZONE 4 COMPLIANT



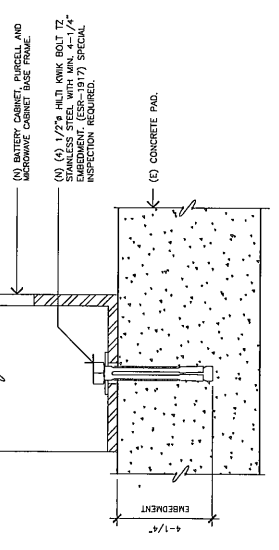
CLEARANCES	
1. FRONT	30"
2. REAR	12"
3. LEFT	0"
4. RIGHT	0"
CONDUIT KNOCKOUTS	
1. SPARE	4. SPARE
2. SPARE	5. SPARE
3. SPARE	6. SPARE

TEMPLATE NOTES:
 A. (Ø) 1" DIAMETER HOLE POSITIONS *N* USED FOR MOUNTING CABINETS OR PLINTHS.
 B. (Ø) 1/4" DIAMETER HOLE POSITIONS *P* USED WITHOUT METAL MOUNTING TEMPLATES.



(N) PURCELL (STACKED)

SCALE: NONE



(N) BATTERY CABINET, PURCELL AND MICROWAVE CABINET BASE FRAME.
 (N) (Ø) 1/2" x 1/4" x 1/4" ANCHOR BOLT T-Z EMBEDMENT. (ESR-1917) SPECIFY. INSPECTION REQUIRED.
 (E) CONCRETE PAD.

CABINET ANCHORAGE DETAIL

SCALE: NONE

2 OUTDOOR EMERSON DC 512

SCALE: NONE

1

PREPARED FOR
CROWN CASTLE
 500 Executive Parkway, West Wing
 San Ramon, California 94583

Vendor:
ACTIVE INFRASTRUCTURE SOLUTIONS

Vendor:
at&t
 4500 Telegraph Avenue, 9th Floor
 Emeryville, California 94608

SHEET NUMBER:
CCL05354

CROWN BUN: 856161
 I&A PROJECT NO: 160796
 DRAWN BY: T.J.L.
 CHECKED BY: L.S.J.

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POPE CD'S

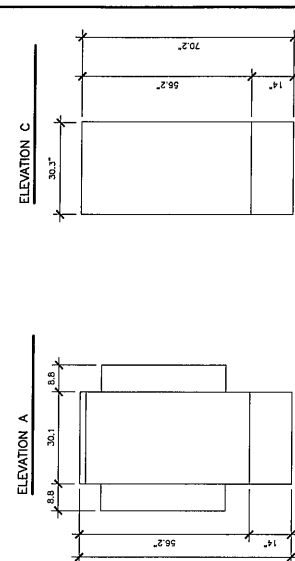
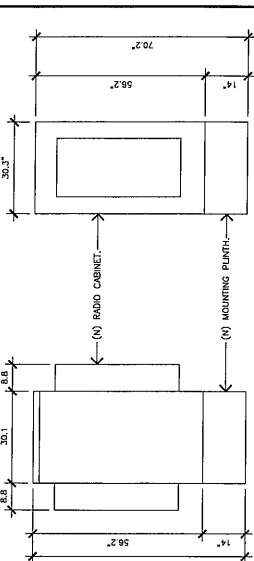
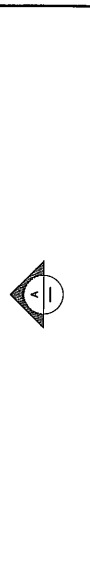
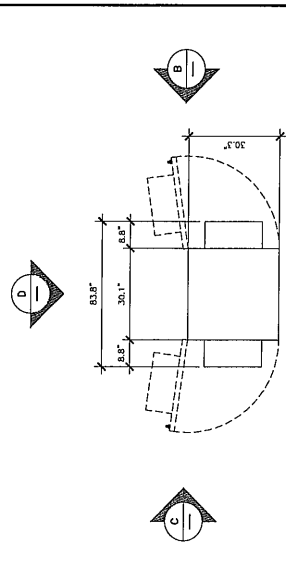


Insured for:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94060

SHEET TITLE:
DETAILS

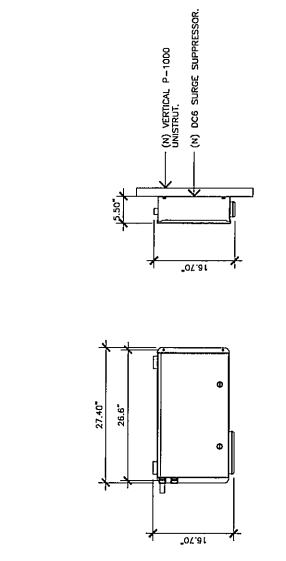
SHEET NUMBER:
A-5

SPECIFICATIONS
 WEIGHT: 1014 LBS. MAX
 A/C REQUIRED: (1) 2 POLE 50 AMP BREAKER
 PEAK LOAD: 1840 WATTS @ 4800C OR 35.33 AMPS

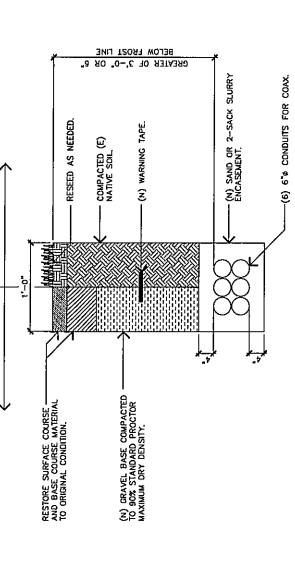
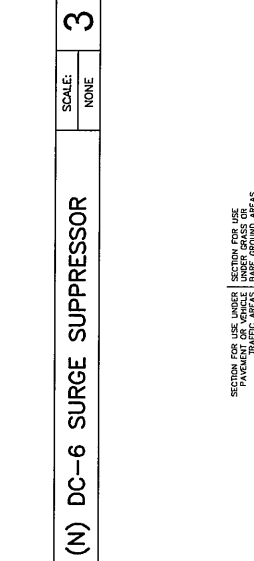


NOTE: SEE DETAIL 27A-4 FOR CONNECTION DETAIL INFORMATION.
(N) FLX25 MICROWAVE CABINET
 SCALE: NONE
1

RAYCAP DC6-48-60-18 SURGE SUPPRESSOR
 COLOR: LIGHT TAN
 DIMENSIONS: 27.4" WIDE X 16.7" TALL X 5.5" DEEP
 WEIGHT: +/- 43.8 LBS. (INCLUDING MOUNTING HARDWARE)



FRONT VIEW
SIDE VIEW

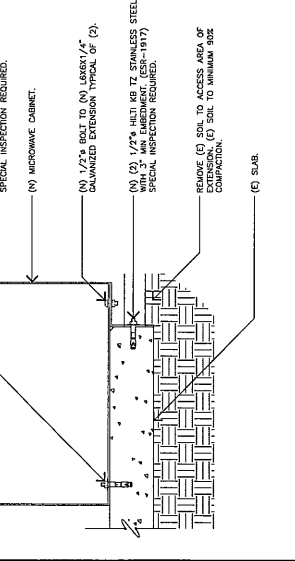
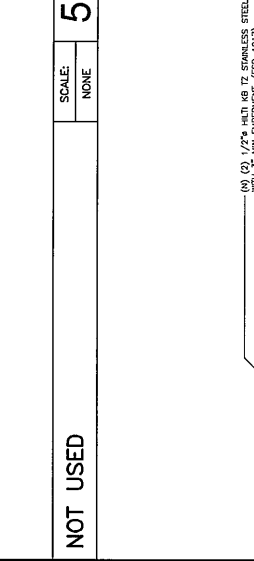


(N) DC-6 SURGE SUPPRESSOR
 SCALE: NONE
3

NOT USED
 SCALE: NONE
5



FRONT VIEW
SIDE VIEW



(N) UNDERGROUND TRENCH
 SCALE: NONE
2

NOT USED
 SCALE: NONE
4



FRONT VIEW
SIDE VIEW



**(N) L6X6X1/4\"/>
 SCALE: NONE
4**

PREPARED FOR
CROWN CASTLE
 2001 Executive Parkway, West Wing
 San Ramon, California 94583

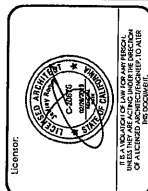
Vendor:
MOTIVE
 INFRASTRUCTURE SOLUTIONS

Client:
at&t
 1452 Estepner Avenue, 3rd Floor
 Irvine, California 92618

SHEET NUMBER:
CCL05354

CROWN BUN: 856161
 JSA PROJECT NO: 160796
 DRAWN BY: T.J.L.
 CHECKED BY: L.F.J.

REV	DATE	DESCRIPTION
E	09/20/21	CLIENT COMMENTS
D	09/16/21	JX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	POW CD'S



Issued For:
PESCADERO
 SITE FORMERLY AS 1000
 PESCADERO CREEK ROAD
 WHICH IS LOCATED OFF BEAN
 HOLLOW ROAD, CALIFORNIA
 94506

SHEET TITLE:
**SINGLE LINE DIAGRAM
 AND PANEL SCHEDULE**

SHEET NUMBER:
E-1

SEE J5 CD'S DATED 9/16/21

SEE J5 CD'S DATED 9/16/21

PANEL SCHEDULES	2	SINGLE LINE DIAGRAM	1
	SCALE: NONE	SCALE: NONE	



PREPARED FOR
CROWN CASTLE
500 Executive Parkway, West Wing
San Ramon, California 94583

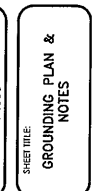
Vendor:
MOTIVE INFRASTRUCTURE SOLUTIONS

Project:
at&t
1432 Edinger Avenue, 3rd Floor
Irvine, California 92618

Site Number:
CCL05354

CROWN BUN: 8561641
J&A PROJECT NO: 160796
DRAWN BY: T.J.L.
CHECKED BY: L.F.J.

REV	DATE	DESCRIPTION
E	07/28/21	CLIENT COMMENTS
D	07/16/21	J&A COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	190E CDS

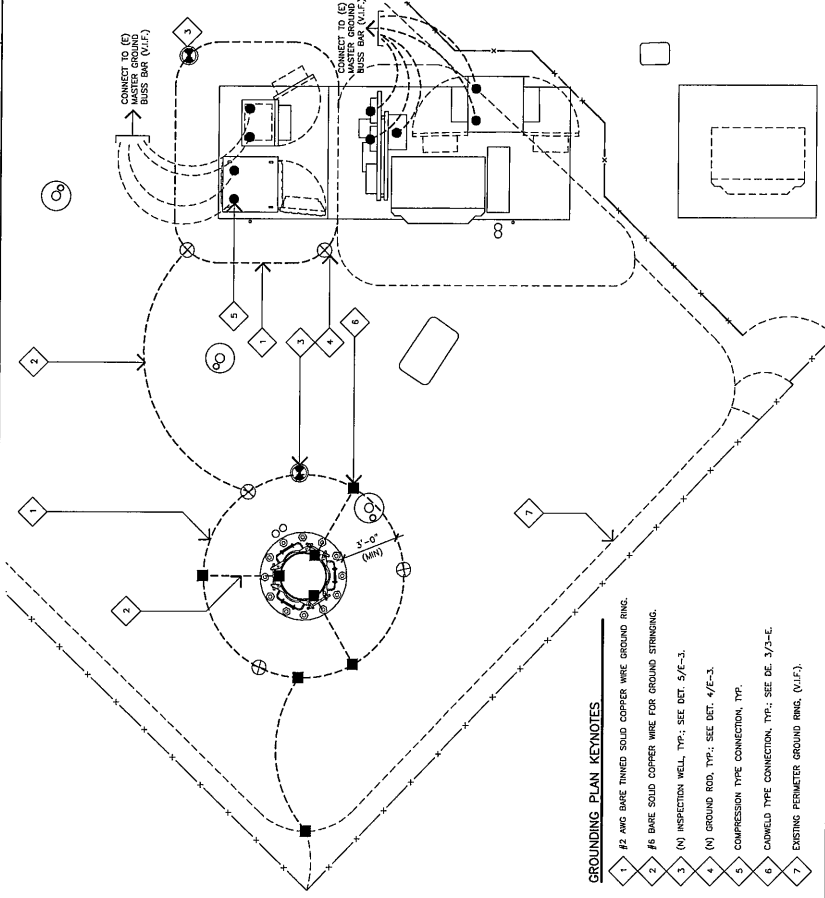


Issued for:
PASCADERO
SITE FORMERLY AS 1000
PESCADERO CREEK ROAD
WHICH IS LOCATED OFF BEAN
HOLLOW ROAD, CALIFORNIA
94540

SHEET TITLE:
GROUNDING PLAN & NOTES

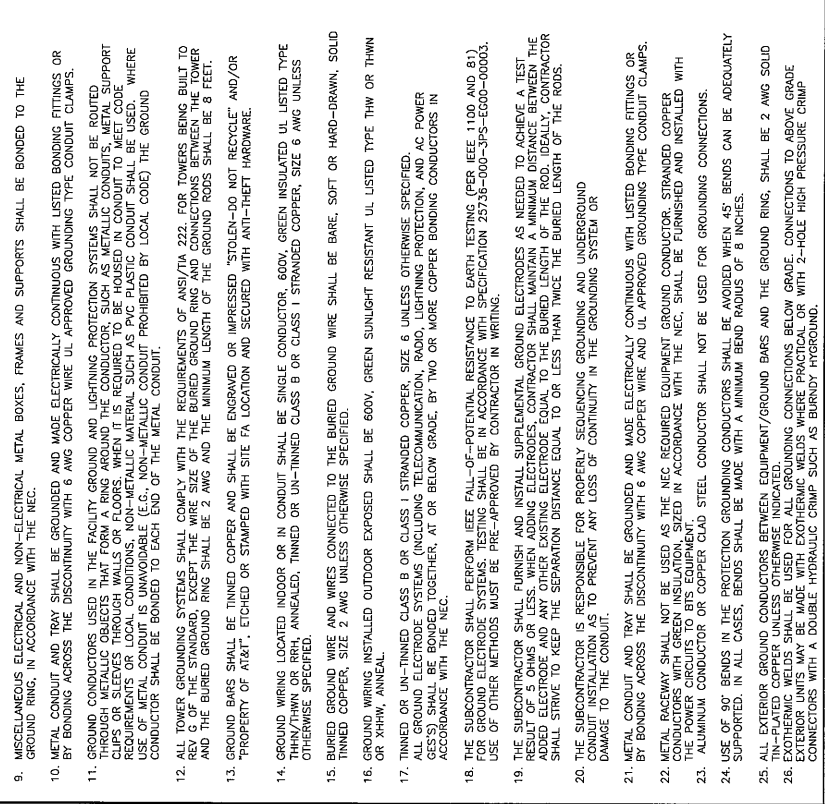
SHEET NUMBER:
E-2

SYMBOLS	
	SOLID GROUND BUS BAR
	SOLID NEUTRAL BUS BAR
	SUPPLEMENTAL GROUND BAR
	INSPECTION WELL
	GROUND ROD
	DISCONNECT SWITCH
	METER
	CADWELD TYPE CONNECTION
	COMPRESSION TYPE CONNECTION
	(E) GROUNDING WIRE
	(N) GROUNDING WIRE



ABBREVIATIONS	
ACL	ABOVE GRADE LEVEL
BTS	BASE TRANSCIVER STATION
(E)	EXISTING
(N)	NEW
MIN	MINIMUM
N.T.S.	NOT TO SCALE
REF	REFERENCE
RF	RADIO FREQUENCY
TYP	TYPICAL

- THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR DEFECTS AND DEFICIENCIES. THE REVIEW SHALL BE IN ACCORDANCE WITH THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTNING PROTECTION CODE AND GENERAL COMPLIANCE WITH TELLORIDA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.
- ALL GROUND ELECTRODE SYSTEMS (GES) (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) ON ALL GROUND ELECTRODE SYSTEMS. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE TIA GROUNDING STANDARDS. TESTS SHALL BE PERFORMED IN ACCORDANCE WITH PROJECT PROCEDURES FOR TESTING OF FACILITY GROUNDING FOR CELL SITES.
- METAL RACEWAY SHALL NOT BE USED, AS THE NEC REQUIRED EQUIPMENT GROUNDING CONDUCTORS, STRANDED COPPER CONDUCTORS WITH GREEN INSULATION SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BITS EQUIPMENT.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED WITH STAINLESS STEEL HARDWARE TO THE BRIDGE AND THE TOWER GROUND BAR.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- METAL CONDUIT AND TRAY SHALL BE GROUNDING AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH TRAYS OR CONDUITS THAT FORM PART OF THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES. WHERE THE USE OF METAL CONDUIT IS UNAVOIDABLE, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- ALL TOWER GROUNDING SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF ANSI/TIA 222. FOR TOWERS BEING BUILT TO REV 0 OF THE STANDARD, EXCEPT THE WIRE SIZE OF THE BURIED GROUND RING AND CONNECTIONS BETWEEN THE TOWER AND THE BURIED GROUND RING SHALL BE 2 AWG AND THE MINIMUM LENGTH OF THE GROUND RODS SHALL BE 8 FEET.
- GROUND BARS SHALL BE THINER COPPER AND SHALL BE ENGRAVED OR IMPRESSED "STOLEN-DO NOT RECYCLE" AND/OR PROPERTY OF AT&T, ETCHED OR STAMPED WITH SITE FA LOCATION AND SECURED WITH ANTI-PRETT HARDWARE.
- GROUND WIRING LOCATED INDOOR OR IN CONDUIT SHALL BE SINGLE CONDUCTOR, 600V, GREEN INSULATED UL LISTED TYPE TINNED COPPER, SIZE 2 AWG UNLESS OTHERWISE SPECIFIED.
- BURIED GROUND WIRE AND WIRES CONNECTED TO THE BURIED GROUND WIRE SHALL BE BARE, SOFT OR HARD-DRAWN, SOLID TINNED COPPER, SIZE 2 AWG UNLESS OTHERWISE SPECIFIED.
- GROUND WIRING INSTALLED OUTDOOR EXPOSED SHALL BE 600V, GREEN SUNLIGHT RESISTANT UL LISTED TYPE THW OR THWN OR XHHW, ANNAL.
- TINNED OR UN-TINNED CLASS B OR CLASS 1 STRANDED COPPER, SIZE 6 UNLESS OTHERWISE SPECIFIED.
- ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING.
- THE CONTRACTOR SHALL BURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS REFERED TO ABOVE. A TEST RESULT OF 5 OHMS OR LESS, WHEN ADDING ELECTRODES, CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE BETWEEN THE ADDED ELECTRODE AND ANY OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE ROD. IDEALLY, CONTRACTOR SHALL STRIVE TO KEEP THE SEPARATION DISTANCE EQUAL TO OR LESS THAN TWICE THE BURIED LENGTH OF THE RODS.
- THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- METAL CONDUIT AND TRAY SHALL BE GROUNDING AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BITS EQUIPMENT.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- USE OF 90 DEGREE BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN AS' BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
- ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE 2 AWG SOLID TINNED COPPER, SIZE 2 AWG UNLESS OTHERWISE SPECIFIED.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS MAY BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2-HOLE HIGH PRESSURE CRIMP CONNECTORS WITH A DOUBLE HYDRAULIC CRIMP SUCH AS BURNDY HYGROUND.



GROUNDING PLAN KEYNOTES	
1	#2 AWG BARE TINNED SOLID COPPER WIRE GROUND RING.
2	#6 BARE SOLID COPPER WIRE FOR GROUND STRIKING.
3	(N) INSPECTION WELL, TYP.; SEE DET. 5/1E-3.
4	(N) GROUND ROD, TYP.; SEE DET. 4/E-3.
5	COMPRESSION TYPE CONNECTION, TYP.
6	CADWELD TYPE CONNECTION, TYP.; SEE DET. 3/1-E.
7	EXISTING PERIMETER GROUND RING, (V.I.F.).

3 GROUNDING PLAN

SCALE: NONE

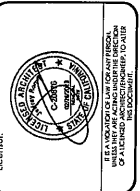
3 GROUNDING NOTES



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CCL05354

CROWN/BUN: 856141
S&P PROJECT NO: 160796
DRAWN BY: T.J.L.
CHECKED BY: L.F.J.

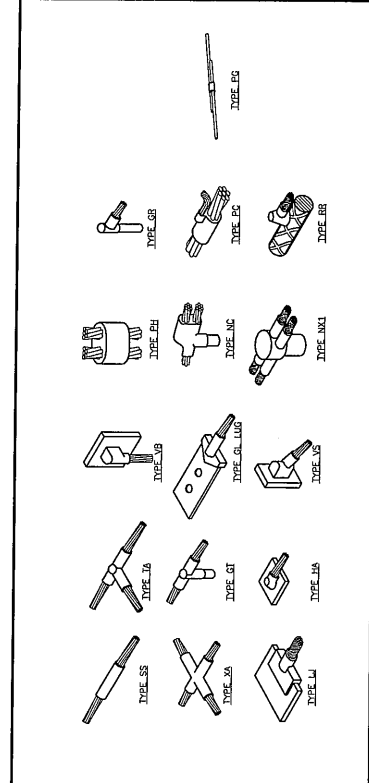
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E	07/28/21	CLIENT COMMENTS
D	09/16/21	JK COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	10% CDS



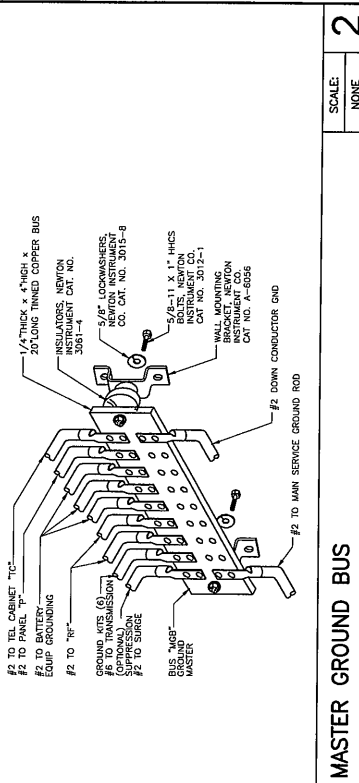
Revised For:
PESCADERO
SITE FORMERLY AS 1000
PESCADERO CREEK ROAD
WHICH IS LOCATED OFF BEAN
HOLLOW ROAD, CALIFORNIA
94060

SHEET TITLE:
GROUNDING DETAILS

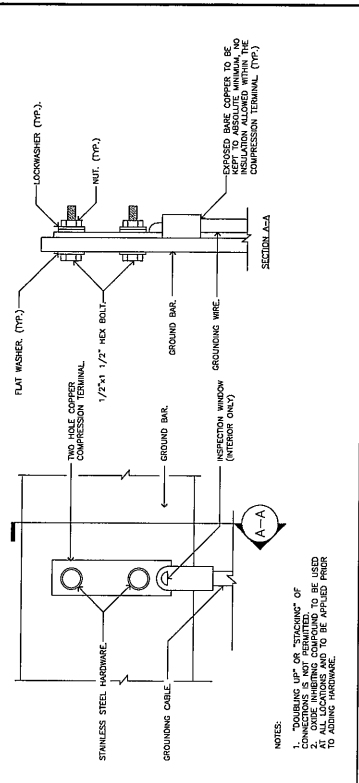
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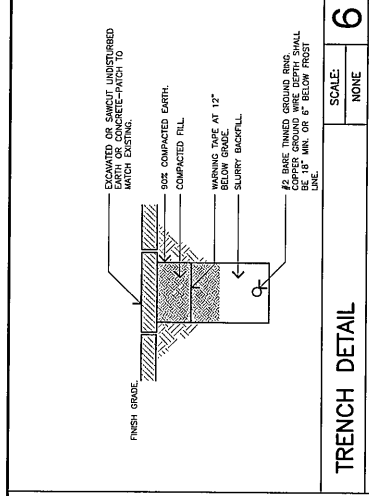
TYPICAL CADWELD TYPES
SCALE: NONE



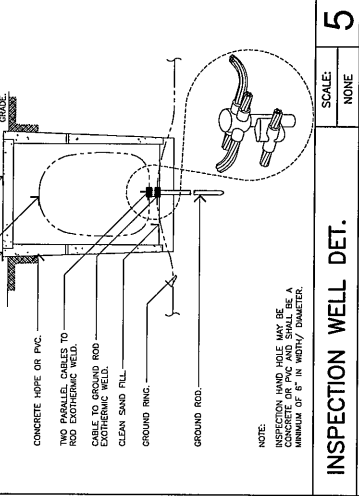
MASTER GROUND BUS
SCALE: NONE



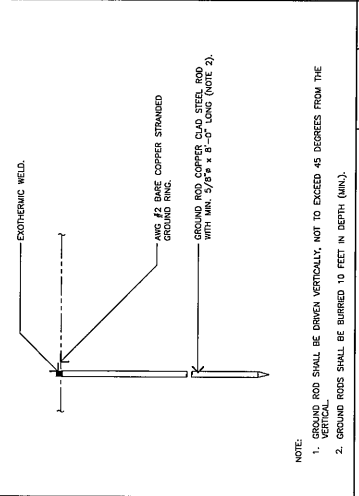
LUG CONNECTION DETAIL
SCALE: NONE



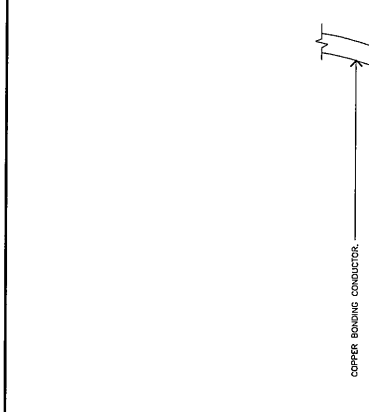
TRENCH DETAIL
SCALE: NONE



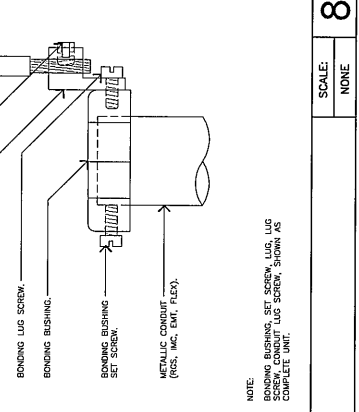
INSPECTION WELL DET.
SCALE: NONE



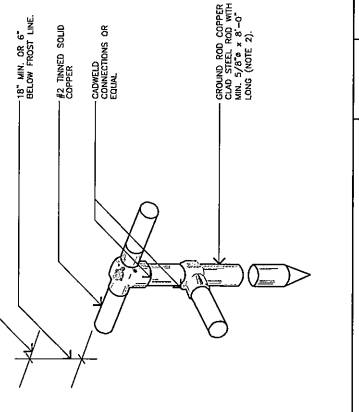
GRND. ROD DETAIL
SCALE: NONE



GRND. ROD DETAIL
SCALE: NONE



INSPECTION WELL DET.
SCALE: NONE



LUG CONNECTION DETAIL
SCALE: NONE



SITE NUMBER:
CCL05354

CROWN/BUN: 864141
J&A PROJECT NO: 160796
DRAWN BY: TIL
CHECKED BY: LEI

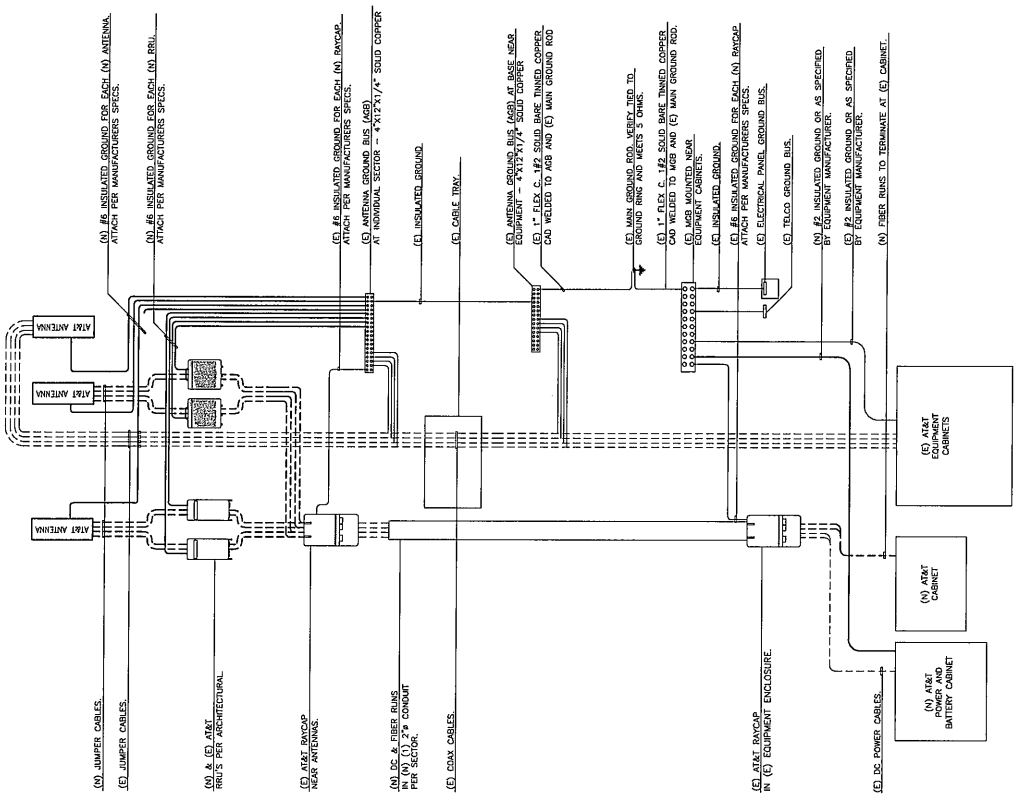
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D	09/16/21	LX COMMENTS
C	04/29/19	CLIENT COMMENTS
B	04/25/19	CLIENT COMMENTS
A	12/14/18	FINAL CD'S



ISSUED FOR:
PESCADERO
SITE FORMERLY AS 1000
PESCADERO CREEK ROAD
WHICH IS LOCATED OFF BEAN
HOLLOW ROAD, CALIFORNIA
94060

SHEET TITLE:
GROUNDING SCHEMATIC

SHEET NUMBER:
E-4



- GENERAL NOTES:**
1. SPICE GROUND CONNECTIONS.
 2. FOLLOW MANUFACTURER'S RECOMMENDATIONS (TYPICAL).
 3. INSULATED GROUND WIRING TO BE INSTALLED.
 4. THIS IS TYPICAL FOR ONE SECTOR OF ANTENNAS. SEE PLANS FOR NUMBER OF SECTORS.
 5. NUMBER OF COAX IS DIAGRAMATIC.

2	COAX & GROUNDING SYSTEM SCHEMATIC	
	SCALE:	NONE

NOT USED



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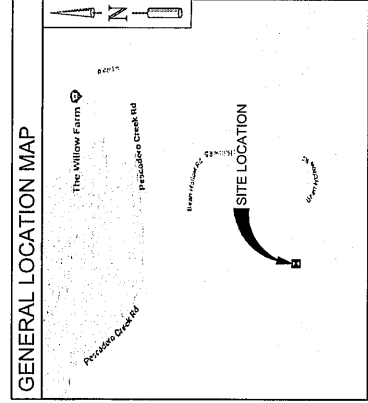
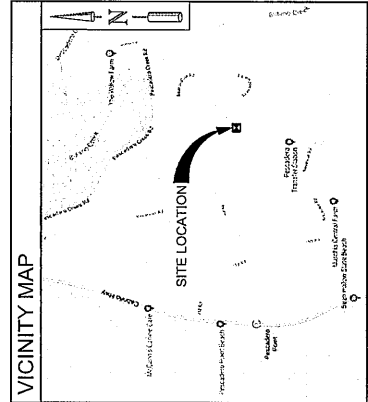
GENERAL DYNAMICS

PESCADERO - 30KW GENERATOR UPGRADE

SITE FORMERLY REFERRED AS 1000 PESCADERO CREEK ROAD WHICH IS LOCATED OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY

FA #: 10095739

CCI BU #: 856161



APPROVAL/SIGN OFF OF DRAWINGS	DATE	SIGNATURE
PROJECT MANAGER		
CONSTRUCTION MANAGER		
SITE ACQUISITION		
LANDLORD'S REPRESENTATIVE		
CARRIER		
PROJECT MANAGER		
RF ENGINEER		
INTERCONNECT		
OPERATIONS		
COMPLIANCE		

DRIVING DIRECTIONS

FROM SAN FRANCISCO INTERNATIONAL AIRPORT:

HEAD SOUTH
KEEP LEFT TO FOLLOW SIGNS FOR US-101 SIBAN JOSE AND MERGE ONTO US-101 S
USE THE RIGHT LANE TO TAKE EXIT 414B FOR STATE HWY 92
ESTATE HWY 92 W/FASHION ISLAND BLVD TOWARD
MORRISON HERSHFIELD CORP
KEEP RIGHT AT THE Y JUNCTION TO STAY ON EXIT 414B
FOLLOW SIGNS FOR CA-52 WHALF MOON BAY AND MERGE
WITH CA-52 W/STATE HWY 92 W
KEEP LEFT TO CONTINUE ON CA-52/CA-92 W
TURN LEFT ONTO PESCADERO CREEK RD
TURN LEFT ONTO BEAN HOLLOW RD/RUBIANO CREEK
SHARP RIGHT ONTO BEAN HOLLOW RD
CONTINUE TO FOLLOW BEAN HOLLOW RD

CODE OF COMPLIANCE

GOVERNING CODES IF APPLICABLE:

- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2019 EDITION
- NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE, 2019 EDITION

PROJECT TEAM

APPLICANT:
NEW CIRCULAR WIRELESS
PCS, LLC
ATTORNEY: REAL ESTATE
ADMINISTRATION
RE: CELL SITE #, CELL SITE NAME:
FIXED ASSET NO.:
1025 LENOX PARK BLVD NE
ATLANTA, GA 30319

CLIENT:
AT&T TECHNOLOGY OPERATIONS
CONSTRUCTION & OPERATIONS WIRELESS
RHIL, RSDI, RSPR & RWOR GENERATORS
81319@att.com
81319@att.com

**ATTN: NETWORK REAL ESTATE
ADMINISTRATION
RE: CELL SITE #, CELL SITE NAME:
1025 LENOX PARK BLVD NE
3RD FLOOR
ATLANTA, GA 30319**

PROJECT CONSULTANT:
GENERAL DYNAMICS
1759 FOUNDERS PARKWAY, SUITE 120
ATLANTA, GA 30009
(770) 225-1684

A&E CONTACT:
MORRISON HERSHFIELD CORP
500 SIBAN JOSE BLVD, SUITE 500
ATLANTA, GA 30329
RYLAN BROWNING
(609) 924-2521

PROFESSIONAL OF RECORD:
MORRISON HERSHFIELD CORP
ROBERT J. LAJKA
(854) 577-4668

ENGINEER OF RECORD:
RYLAN BROWNING
6 LANGE CIRCLE
(609) 924-2515

PROPERTY OWNER:
NEW CIRCULAR WIRELESS
455 COUNTY CENTER/5TH FL
REDWOOD CITY, CALIFORNIA 94063

TOWER OWNER:
CROWN CASTLE

PROJECT LEAD:
BRIAN GUILLEN
GENERAL MANAGER
SITE ACQUISITION
GENERAL DYNAMICS
WIRELESS SERVICES
1940 DES MOINES DRIVE SOUTH
SUITE 300 SEATAC, WA 98148
425.201.4824
brian.guillen@grdl.com

CONSTRUCTION MANAGER:
VIRGIL CHEWNING
1 480.296.7465 / M 480.798.3512
8864 S. DATELAND, SUITE B
TEMPE, AZ 85283

LEASING:
SARAH GRANT KLIMAN
(603) 855-1085
sarah.grantkliman@gmail.com

PERMITTING:
SARAH GRANT KLIMAN
sarah.grantkliman@gmail.com

SITE ACQUISITIONS MANAGER:
PROJECT LEAD:
BRIAN GUILLEN
GENERAL MANAGER
1940 DES MOINES MEMORIAL DRIVE SOUTH
SUITE 300
SEATAC, WA 98148
425.201.4824
brian.guillen@grdl.com

RF/RF ENGINEER:
VIRGIL CHEWNING
1 480.296.7465 / M 480.798.3512
8864 S. DATELAND, SUITE B
TEMPE, AZ 85283

DRAWING INDEX

DWG	DESCRIPTION
T-1	TITLE SHEET
G-1	GENERAL NOTES
A-1	SITE PLAN
A-1.1	SURVEY SHEET
A-2	UNGRADED EQUIPMENT PLAN
A-3	CONCRETE DETAILS
A-4	GENERATOR DETAILS
A-5	GENERATOR DETAILS
A-6	GENERATOR DETAILS
A-7	GENERATOR PAD & FOUNDATION DETAILS
S-1	ELECTRICAL AND GROUNDING PLAN
E-2	ELECTRICAL AND GROUNDING DETAILS
E-3	ELECTRICAL AND GROUNDING DETAILS
E-4	ATS MANUFACTURER SPECIFICATIONS

PROJECT DESCRIPTION

- INSTALL NEW GENERAC 30000 DIESEL GENERATOR WITH SUBBASE FUEL TANK ON PROPOSED CONCRETE PAD.
- INTEGRATE EXISTING SERVICE WITH NEW GENERATOR.
- INSTALL NEW GENERAC VESKY 200A NEMA 3R AUTOMATIC TRANSFER SWITCH AND NEW CABLE-LOCK TOGETHER.
- INSTALL NEW EMERGENCY STOP BUTTON.
- REMOVE & CAP EXISTING CABLE-LOCK.

PROJECT INFORMATION

CODE INFORMATION:
ZONING CLASSIFICATION: RM-CZ, CD
BUILDING CODE: 2019 CBC
CONSTRUCTION TYPE: V-9
URBANITY: GROUP U
PROPOSED BUILDING USE: TELECOMM

SITE LOCATION (BASED ON NAD 83):
NAD 83 POINT COORDINATES: 122° 24' 00.2" W (122.40006°)
LONGITUDE: 122° 24' 00.2" W (122.40006°)
TOP OF STRUCTURE: 5276.57' AMSL
BASE OF STRUCTURE: 5276.57' AMSL

PARCEL NUMBER:
085-180-050
AREA OF PARCEL:
.171,85 ACRES

PROJECT AREA:
NEW IMPERVIOUS AREA:
GENERAL INFORMATION:
1. PARKING REQUIREMENTS ARE UNCHANGED.
(NON ASSIGNED TECH PARKING)
2. TRAFFIC IS UNAFFECTED.

LEGAL DESCRIPTION

NEW IMPERVIOUS AREA:
GENERAL INFORMATION:
1. PARKING REQUIREMENTS ARE UNCHANGED.
(NON ASSIGNED TECH PARKING)
2. TRAFFIC IS UNAFFECTED.

at&t
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PLANS PREPARED BY:
MORRISON HERSHFIELD
5100 SW 30TH AVENUE, SUITE 500
PORTLAND, OR 97239
TEL: 503.585.9128
WWW.MORRISONHERSHFIELD.COM

PROJECT INFO:
CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:
CONSTRUCTION

REV: DATE: ISSUED FOR: BY:

3	09/20/21	UPDATE ADDRESS AND GENERAL NOTE	BS
2	06/04/20	UPDATE CODE REFERENCE	BS
1	03/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: APV: SS

CURRENT ISSUE DATE: 09/20/21

LICENSEURE:

JURISDICTIONAL APPROVAL:

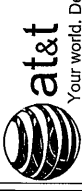
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PROPRIETARY INFORMATION:
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DRAWING TITLE: TITLE SHEET


DRAWING NUMBER: T-1

IMF JOB NUMBER: 200954800



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PLANS PREPARED BY:



MORRISON HERSHFELD
5100 SW 53RD AVENUE, SUITE 200
FORT LAUDERDALE, FL 33314
TEL: 304.388.2328
WWW.MORRISONHERSFELD.COM

PROJECT INFO

CCLO03354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:

CONSTRUCTION

REV. DATE ISSUED FOR:

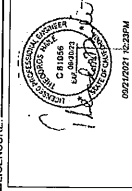
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1	03/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK APP: SS

CURRENT ISSUE DATE:

09/20/21

LICENSE:



09/20/2021 - 12:30PM

JURISDICTIONAL APPROVAL:

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HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS
STRICTLY PROHIBITED.

GENERAL NOTES

DRAWING NUMBER:

G-1

JOB NUMBER:

200054800

COMPOUND NOTES

- THE MINIMUM LOWEST FIRST FLOOR ELEVATION SHALL NOT BE LESS THAN 4" ABOVE CROWN OF ROAD OR THE FEDERAL AND/OR COUNTY FLOOD CRITERIA ELEVATION, WHICHEVER IS HIGHER. CONTRACTOR SHALL SUBMIT AN ELEVATION CERTIFICATE (IF REQUIRED BY THE JURISDICTION) UPON COMPLETION OF PROJECT.
- WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE AND UTILITY CONNECTIONS.
- EXISTING TREES WITHIN CONSTRUCTION FOOTPRINT SHALL BE REMOVED AND PROPERLY ASSSESSED FOR PROTECTION. CONTRACTOR SHALL PROCURE PERMIT PRIOR TO REMOVAL.
- CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. IT IS RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE AND VERIFY ALL DIMENSIONS AND NOTES BEFORE SUBMITTING BID AND PROCEEDING WITH WORK.
- SOIL AT THIS SITE IS UNDISTURBED ROCK AND SAND ADEQUATE OF SUPPORTING THE DESIGN LOAD OF 2000 P.S.F. IF OTHER CONDITIONS ARE ENCOUNTERED, NOTIFY MORRISON HERSHFELD BEFORE PROCEEDING WITH WORK. THIS VALUE IS CONSIDERED SAFE WITH RESPECT TO ACTUAL FAILURE OF THE SUPPORTING GROUND, BUT DOES NOT NECESSARILY ENSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS.
- BURY PHONE, AND ELECTRIC SERVICE NO LESS THAN 24" BELOW FINISH GRADE WITH 1-1/2" RADIUS SAND BACKFILL AROUND PIPES, COORDINATE W/ ELECTRICAL DRAWINGS.
- IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.
- THE POWER CABINET MUST BE CLEAR OF FLAMMABLE MATERIAL WITHIN 12 INCHES OF THE CABINET, INCLUDING ABOVE THE CABINET.
- EXHAUST OUTLETS MUST BE LOCATED AT LEAST 10 FEET FROM ANY HVAC AIR INTAKES, WINDOWS, DOORS, AND OTHER OPENINGS INTO A BUILDING - COORDINATE IN FIELD.
- THE POWER CABINET MUST BE INDICATED ON THE FOUNDATION TO ALLOW WATER TO DRAIN FROM THE DRAIN OUTLET AND AWAY FROM THE CABINET.
- TO ENSURE SERVICEABILITY, THE DOORS OF CABINETS WILL REQUIRE AN OPENING RADIUS OF 28 INCHES OF CLEARANCE FROM THE CLOSED POSITION TO THE OPEN POSITION.

SITE GENERAL NOTES

- RESTORE EXISTING ASPHALT AND/OR CONCRETE COMPOUND TO ITS ORIGINAL CONDITION
- CONTRACTOR SHALL DETECT AND MARK ANY UNDERGROUND LINES, PIPING, PRIOR TO START OF EXCAVATION
- PRIOR TO COMMENCING CONSTRUCTION INSTALLATION, PERMITS AND REPRESENTATIVES OF CONTRACTOR SHALL BE REQUIRED TO CONDUCT AN ON-SITE MEETING WITH MEMBERS OF THE COUNTY'S STAKEHOLDER REPRESENTATIVE GROUP (INCLUDING, AND NOT LIMITED TO, REPRESENTATIVES OF ANY IMPACTED PUBLIC WORKS DEPARTMENT(S))

ELECTRICAL GENERAL NOTES

- GENERAL
 - EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID PRICE ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.
 - OBTAIN ALL PERMITS, PAY ASSOCIATED FEES AND SCHEDULE INSPECTION.
 - PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, INSURANCE, AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH ALL CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF A/E & LANDOWNER OWNER.
 - PRIOR TO BEGINNING WORK COORDINATE ALL POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONNECTIONS FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR.
 - FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP PER NECA STANDARD 1-2009 BY QUALIFIED PERSONNEL EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPEDE PROGRESS OF THE PROJECT.
- BASIC MATERIALS AND METHODS
 - ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
 - ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROVIDED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
 - THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
 - SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE MODULAR CABINETS WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING.
 - CONDUCTORS AND CONNECTORS
 - UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG, WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WC3 OR GROSS-LINKED POLYETHYLENE INSULATION CONFORMING TO NEMA WC7, (TYPES THIN). INSULATION SHALL BE RATED FOR 90 DEG. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC.
 - CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE PRIOR APPROVAL FROM THE ENGINEER, MUST BE OBTAINED.
 - ALL TERMINATIONS AND LUGS SHALL BE TEMPERATURE RATED FOR A MINIMUM 75 DEGREE CELSIUS.
 - GROUNDING
 - ALL LIGHTNING PROTECTION GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NFPA STANDARDS.
 - ALL GROUND LUGS AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI-OXIDANT AGENT, SUCH AS NC-OX, NAOLOX, PENETROX OR KOPRSHELD.
 - ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHOWN IN DRAWINGS. ALL GROUNDING SHALL BE RATED 90°. RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL BE ROUNDED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
 - REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING WITH ERICO T-319 GALVANIZING BAR.
 - ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO EXTERIOR GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS WHICH ARE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLLV LECTROSOL #15-501.

PROJECT INFORMATION

- THIS IS AN UNMANNED AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
- THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY AND IS EXEMPT FROM THE FLORIDA ENERGY REVIEW CODE.
- NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
- NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
- NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
- ATTN: MAINTENANCE CHEM (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.

ARCHITECTURAL GENERAL NOTES

- WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC. REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS OF THE EXISTING WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN NEW CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREWAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
- WORKING DETAIL IS SHOWN FOR ONE CONDITION. IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- WHERE NEW PAINTING, CONCRETE, SBERALS OR PARTS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH WITH THE EXISTING FINISH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
- THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
- IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNERS REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
- PART OF THIS SET ARE COMPLEMENTARY INFORMATION IS NOT LIMITED TO ONE PLAN, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE ISSUED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MORRISON HERSHFELD. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
- IF THE CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL ARCHITECT PLANS, THEN IT IS THE CONTRACTORS AND THE SUB-CONTRACTORS RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
- IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
- THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL INSPECTION AND INFORMATION PROVIDED BY OTHERS. MORRISON HERSHFELD ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.



Your world. Delivered.

PLANS PREPARED BY:



MORRISON HERSHFIELD
5100 SW HAYSTACK RD
PORTLAND, OR 97239
www.morrisonhershfield.com

PROJECT INFO:

CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
ON THE OLD ROAD
PESCADERO CALIFORNIA 94880
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:

CONSTRUCTION

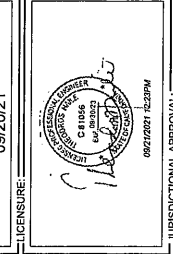
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2	05/04/20	UPDATE CODE REFERENCE	BS
1	03/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK.: APV.:
BS RB SS

CURRENT ISSUE DATE: 09/20/21

LICENSE:



JURISDICTIONAL APPROVAL:

PROPRIETARY INFORMATION:
DO NOT SCALE DIMENSIONS FROM THIS DRAWING. VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS EDITIONS OF THIS DRAWING ARE HEREBY REVOKED. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS STRICTLY CONFIDENTIAL AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER THAN WHICH IS RELATED TO AWARD CLIENT IS STRICTLY PROHIBITED.

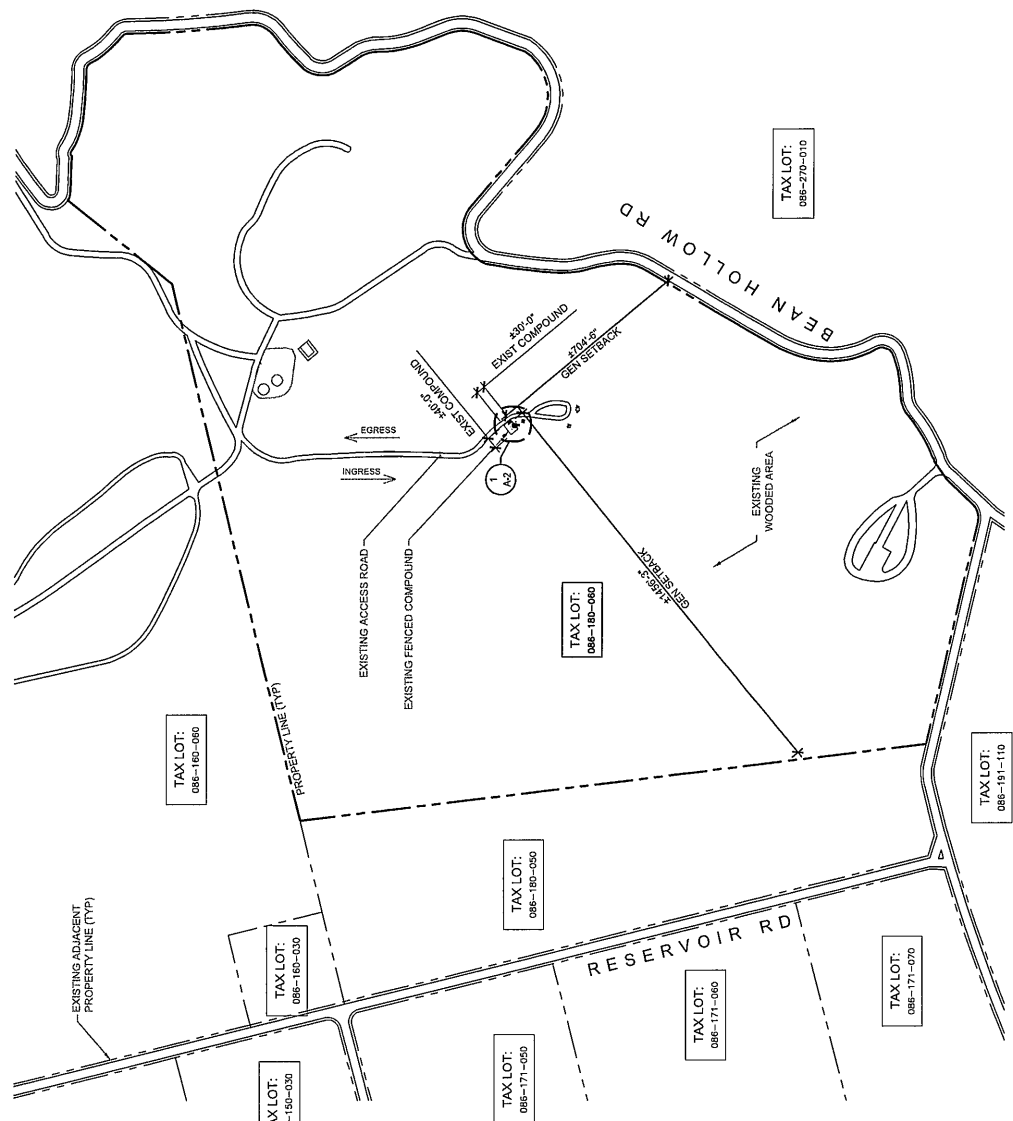
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DRAWING NUMBER: A-1

MPL JOB NUMBER: 200054600

3

THIS IS NOT A SURVEY
ALL INFORMATION AND TRUE NORTH HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND ARE APPROXIMATE.



TRUE NORTH



SCALE: 1"=200'-0" (22x34)
(OR) 1/2"=200'-0" (11x17)



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND UTILITIES BEFORE YOU DIG ALERT CALIFORNIA CALL 811 OR TOLL FREE: 1-800-227-2600 OR WWW.DIGALERT.ORG CALIFORNIA STATUTE REQUIRES MIN OF 2 WORKING DAYS BEFORE YOU EXCAVATE



Know what's below. Call before you dig.

SITE PLAN



Your world. Delivered.

PLANS PREPARED BY:



MORRISON HERSHFIELD
5100 SW MACADAM AVENUE, SUITE 500
PORTLAND, OREGON 97205
TEL: 503.585.9128
WWW.MORRISONHERSHFIELD.COM

PROJECT INFO:

CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY
FA #: 10095739
ISSUED FOR:

CONSTRUCTION

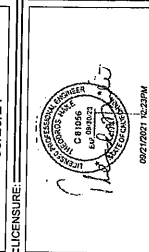
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0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK.: ,APV.:
BS RB SS

CURRENT ISSUE DATE: 09/20/21

LICENSE: 09/20/21



JURISDICTIONAL APPROVAL:

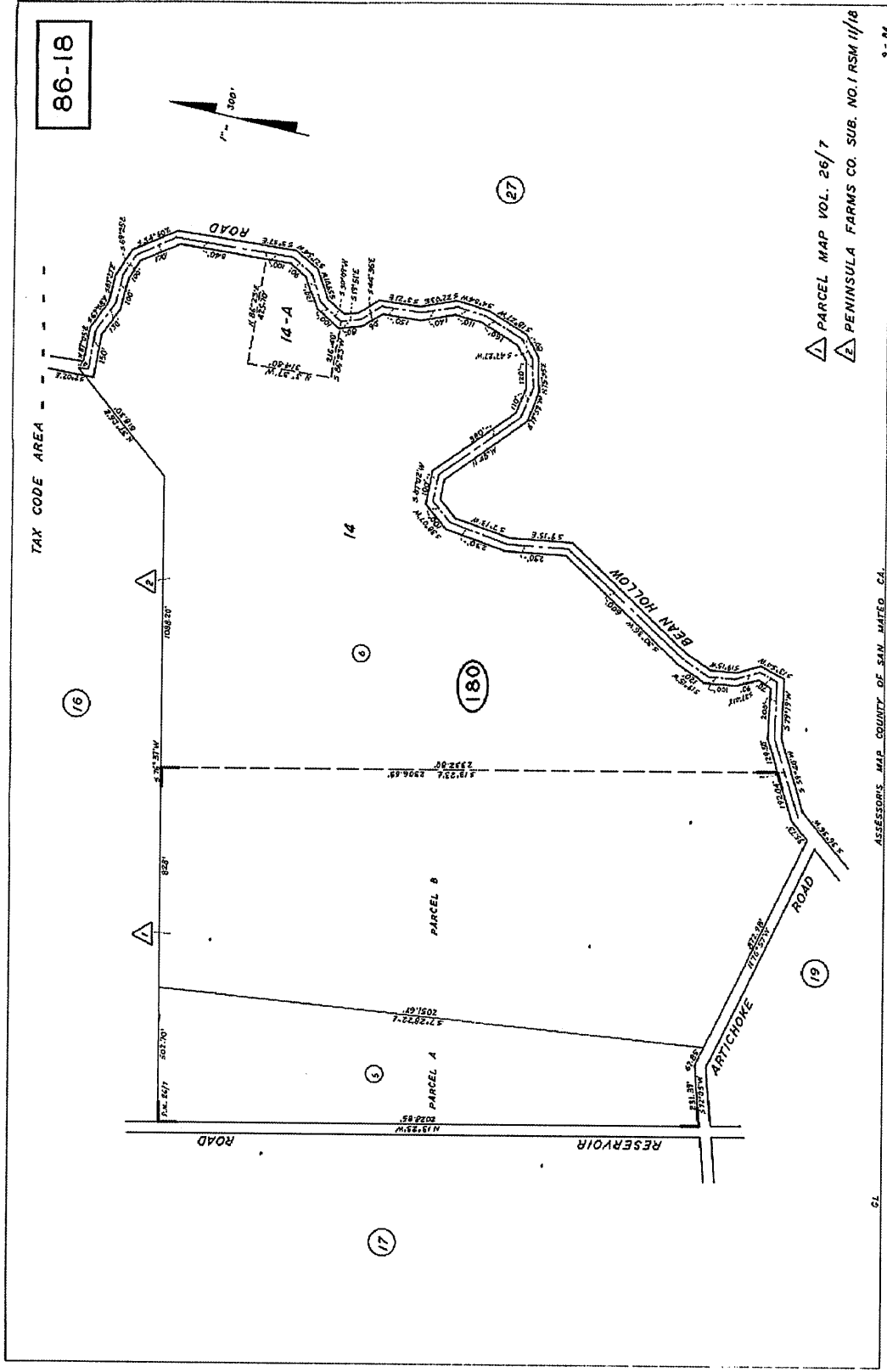
PROPRIETARY INFORMATION:
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DRAWING TITLE: SURVEY SHEET

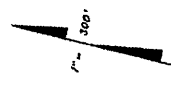
DRAWING NUMBER: A-1.1

3

MH JOB NUMBER: 200054800



86-18



PARCEL MAP VOL. 26/7
PENINSULA FARMS CO. SUB. NO. 1 RSM 11/18

TRUE NORTH
SCALE
N.T.S.
1

SITE SURVEY

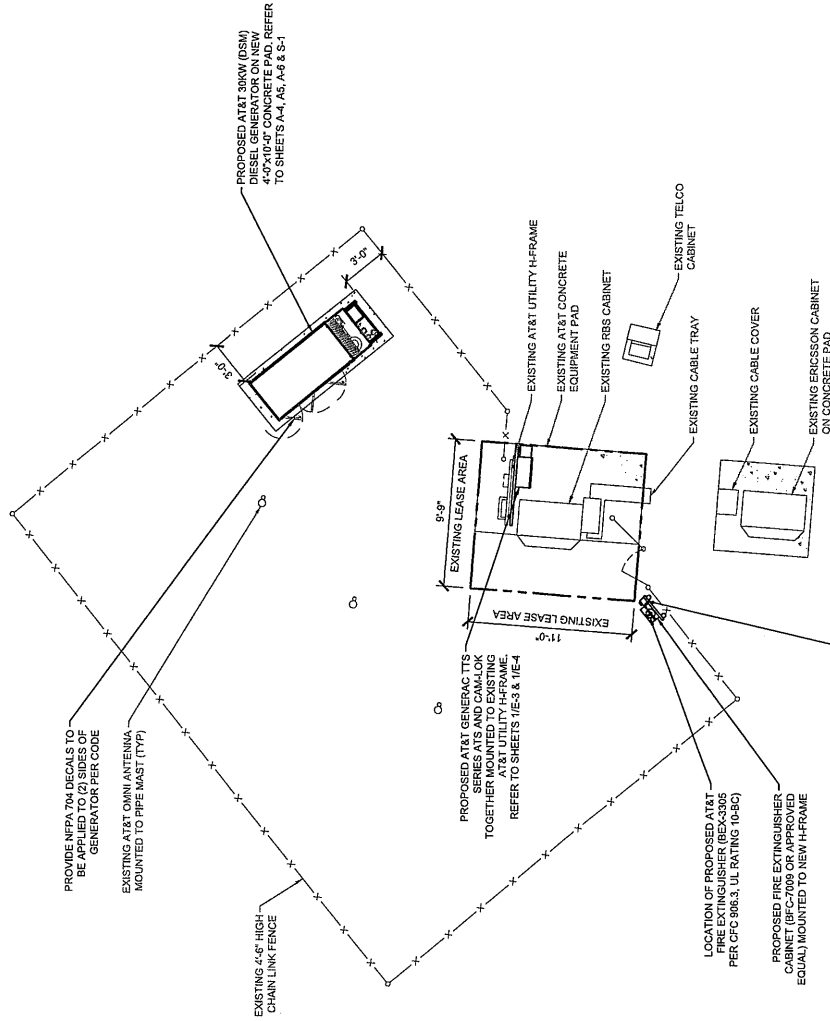
ASSESSOR'S MAP COUNTY OF SAN MATEO, CA.

61

9-84

NOTES:

- EXISTING LEASE AREA OF 9'-9"X11'-0" (107 SF)
- EXISTING CONCRETE PAD OF 6'-0"X11'-0" (66 SF)
- 4'-0"X10'-0" PAD TO INCREASE AT&T LEASE AREA (60 SF) WITHIN CCI COMPOUND



FUEL TANK NOTE:

CONTRACTOR SHALL SUPPLY AND INSTALL THE FOLLOWING ITEMS IF NOT SUPPLIED WITH TANK:

- INSTALL 12" VENT PIPES FOR TANK AS REQUIRED BY JURISDICTION. THE TANK SHALL BE MANUFACTURED WITH THE FOLLOWING: INTERSTITIAL ELECTRONICALLY MONITORED RUPTURE BASIN ALARM TO MONITOR THE SPACE BETWEEN THE PRIMARY AND SECONDARY TANKS FOR VAPOR. VISUAL AND AUDIBLE WARNING SHALL BE PROVIDED TO PREVENT SPILL OF FUEL DURING FILLING OPERATIONS. TANK IS FILLED UPON CAPACITY. DESIGNER SHALL PROVIDE ALL PORTS TO PREVENT SPILL OF FUEL DURING FILLING OPERATIONS. 2.55 GALLON OVERSPILL CONTAINMENT W/ LOCKABLE CAP.

NEPA NOTES:

- CONSTRUCTION, INSTALLATION, MAINTENANCE, & OPERATIONAL TESTING OF THE PROJECT SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF NFPA 116.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF NFPA 70 - NATIONAL ELECTRICAL CODE.

ENLARGED EQUIPMENT PLAN



PLANS PREPARED BY:
MORRISON HERSHFELD
 5100 SW JACOBSON AVENUE, SUITE 500
 PORTLAND, OREGON 97206
 TEL: 503.596.9178
 WWW.MORRISONHERSFELD.COM

PROJECT INFO:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1030
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CALIFORNIA 94060
 SAN MATEO COUNTY
 FA #: 10085739

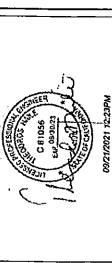
CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
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2	05/04/20	UPDATE CODE REFERENCE	BS
1	03/08/20	REVISION FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: SS
 APV: SS

CURRENT ISSUE DATE: 09/20/21

LICENSE: 09/20/21



JURISDICTIONAL APPROVAL: 09/20/21 12:30PM

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DRAWING TITLE:
ENLARGED EQUIPMENT PLAN

DRAWING NUMBER:
A-2

DRAWING NUMBER:
3

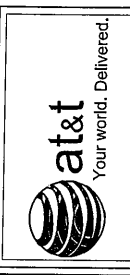
M/J JOB NUMBER:
 200054800



SCALE: 1/4"=1'-0" (22:34)
 (OR) 1/8"=1'-0" (11:17)

0 1 2 4

1



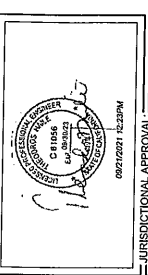
PLANS PREPARED BY:
MORRISON HERSHFELD
 5100 SW MACDONALD AVENUE, SUITE 500
 PORTLAND, OREGON 97207
 TEL: 503.595.9128
 WWW.MORRISONHERSFELD.COM

PROJECT INFO:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CALIFORNIA 94060
 SAN MATEO COUNTY
 FA #100005739

ISSUED FOR:
CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
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2	05/04/20	UPDATE CODE REFERENCE	BS
1	03/08/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: APT: SS
 BS RB SS
 CURRENT ISSUE DATE: 09/20/21
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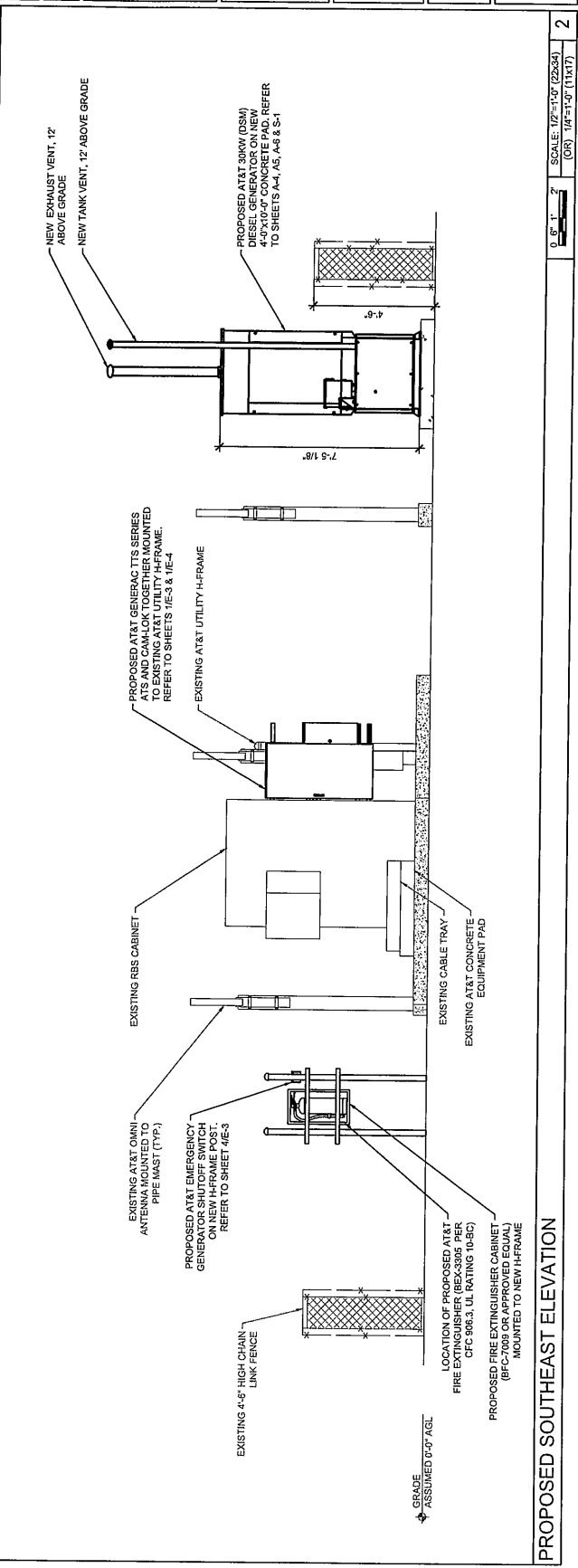
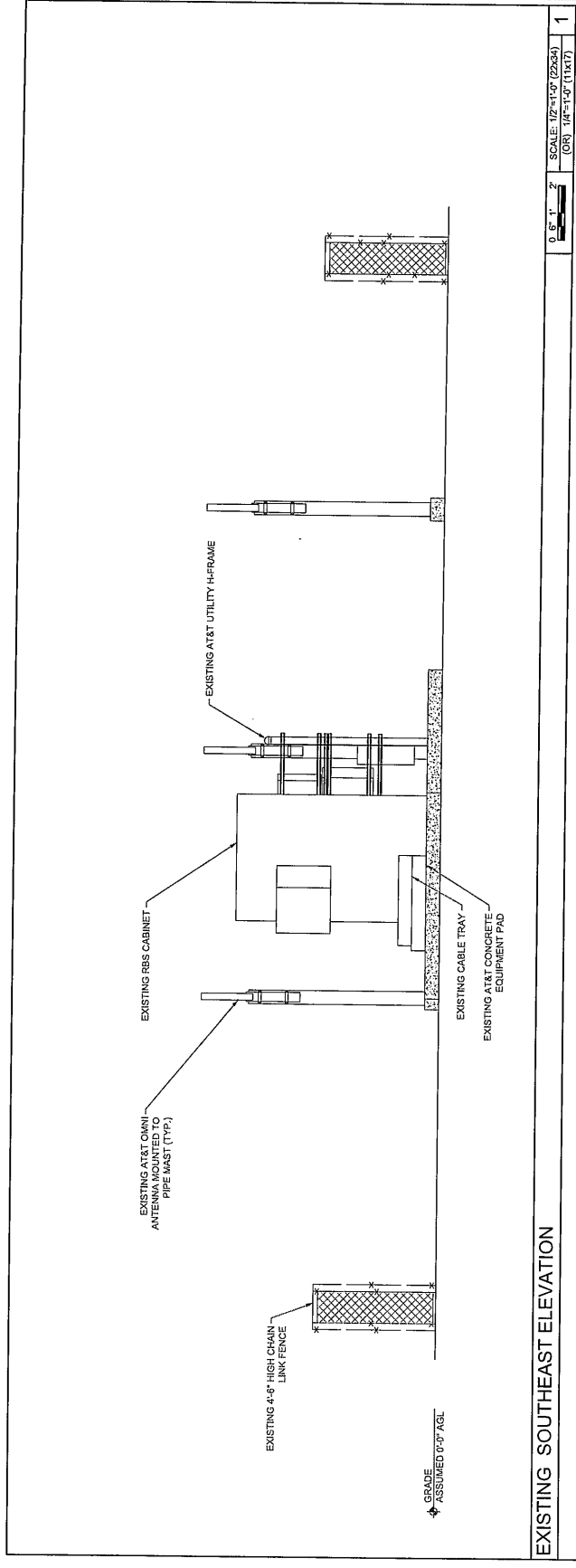


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DRAWING TITLE:
ELEVATIONS

DRAWING NUMBER:
A-3
3
 MH JOB NUMBER: 200054800



EXISTING SOUTHEAST ELEVATION

PROPOSED SOUTHEAST ELEVATION

0.6" = 1'-0" SCALE: 1/2" = 1'-0" (22334)
 (OR) 1/4" = 1'-0" (11413) 1

0.6" = 1'-0" SCALE: 1/2" = 1'-0" (22334)
 (OR) 1/4" = 1'-0" (11413) 2

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

STANDBY POWER RATING
30 kW, 38 kVA, 60 Hz

PRIME POWER RATING*
27 kW, 34 kVA, 60 Hz



*Built in the USA using domestic and foreign parts
*EPA Certified Prime ratings are not available in the U.S. or its Territories.
**Certain options or customization may not hold certification valid.

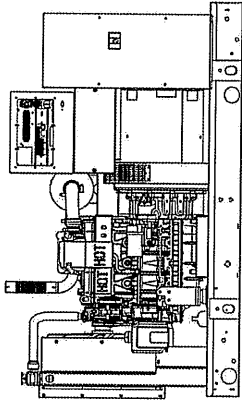


Image used for illustration purposes only

CODES AND STANDARDS

Generac products are designed to the following standards:

- UL2000, UL508, UL142, UL498
- NFPA70, 95, 110, 37
- NEC700, 701, 702, 708
- ISO9001, 8528, 3046, 7637, Pluses #2b, 4
- NEMA ICS10, MG1, 250, ICS6, AB1
- ANSI C62.41

POWERING AHEAD

For over 50 years, Generac has led the industry with innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

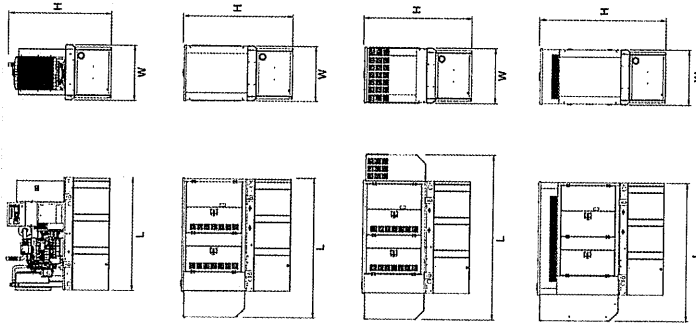
Generac's gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial application under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

DIMENSIONS AND WEIGHTS*



OPEN SET

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Tank & Open Set
NO TANK	-	-	-
19	54 (204.4)	76 (1955.4) x 37.4 (949.9) x 42.2 (1071.1)	2661 (1324)
48	132 (499.7)	76 (1955.4) x 37.4 (949.9) x 52.2 (1327.1)	2770 (1257)
77	211 (788.7)	76 (1955.4) x 37.4 (949.9) x 72.2 (1811.1)	2939 (1331)
109	300 (1135.6)	82.2 (2256.9) x 37.4 (949.9) x 82.7 (2085.6)	3822 (1736.0)

STANDARD ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only
NO TANK	-	-	-
19	54 (204.4)	94.8 (2403.9) x 38 (965.2) x 43.5 (1106.1)	302 (137)
48	132 (499.7)	94.8 (2403.9) x 38 (965.2) x 53.5 (1367.5)	302 (137)
77	211 (788.7)	94.8 (2403.9) x 38 (965.2) x 63.5 (1617.1)	302 (137)
109	300 (1135.6)	94.8 (2403.9) x 38 (965.2) x 83 (2109.6)	302 (137)

LEVEL 1 ACOUSTIC ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only
NO TANK	-	-	-
19	54 (204.4)	112.5 (2857.1) x 38 (965.2) x 43.5 (1106.1)	455 (206)
48	132 (499.7)	112.5 (2857.1) x 38 (965.2) x 53.5 (1367.5)	455 (206)
77	211 (788.7)	112.5 (2857.1) x 38 (965.2) x 63.5 (1617.1)	455 (206)
109	300 (1135.6)	112.5 (2857.1) x 38 (965.2) x 83 (2109.6)	455 (206)

LEVEL 2 ACOUSTIC ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only
NO TANK	-	-	-
19	54 (204.4)	94.8 (2403.9) x 38 (965.2) x 42 (1066.8)	460 (209)
48	132 (499.7)	94.8 (2403.9) x 38 (965.2) x 52 (1327.1)	460 (209)
77	211 (788.7)	94.8 (2403.9) x 38 (965.2) x 62 (1587.6)	460 (209)
109	300 (1135.6)	94.8 (2403.9) x 38 (965.2) x 82 (2082.6)	460 (209)

*All measurements are approximate and for estimation purposes only. Stand stills can be found on the sound class sheet. Enclosure Only weight is added to Tank & Open Set weight to determine total weight.

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

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Part No. 626085 Rev. D 08/19/15



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PLANS PREPARED BY:



MORRISON HERSHFELD
5105 SW MACADAM AVENUE, SUITE 500
PORTLAND, OR 97207
Tel: 503.265.3728
www.morrisonhershfeld.com

PROJECT INFO:

CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94980
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:

CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
3	09/20/21	UPDATE ADDRESS AND GENERAL NOTE	BS
2	05/04/20	UPDATE CODE	BS
1	03/06/20	ISSUANCE FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: APV: SS

CURRENT ISSUE DATE: 09/20/21

LICENSE: 09/20/21



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GENERATOR DETAILS

DRAWING NUMBER:
A-4

MH JOB NUMBER:
3
201054800

0J7500D-ATT



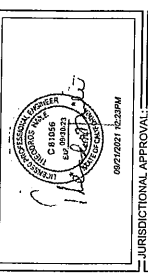
PLANS PREPARED BY:
MORRISON HERSHFELD
 5100 SW PACIFIC AVENUE, SUITE 500
 PORTLAND, OREGON 97209
 TEL: 503.555.9133
 WWW.MORRISONHERSFELD.COM

PROJECT INFO:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CALIFORNIA 94060
 SAN MATEO COUNTY
 FA #: 10095739

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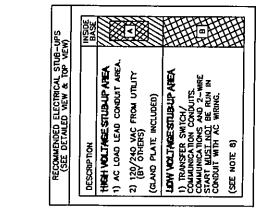


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 06272021 hc3pjm

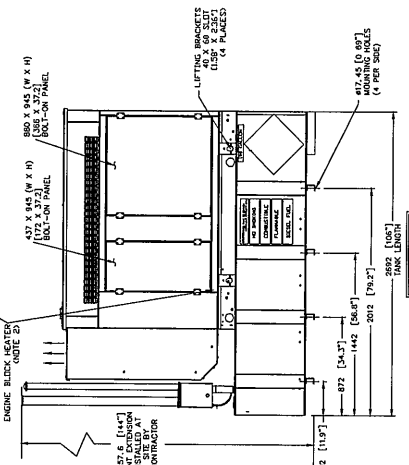
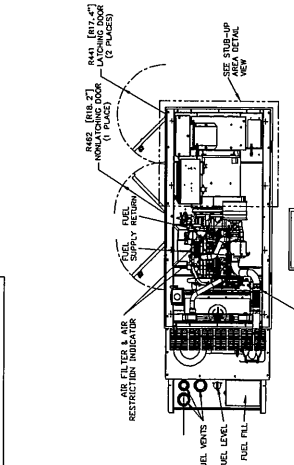
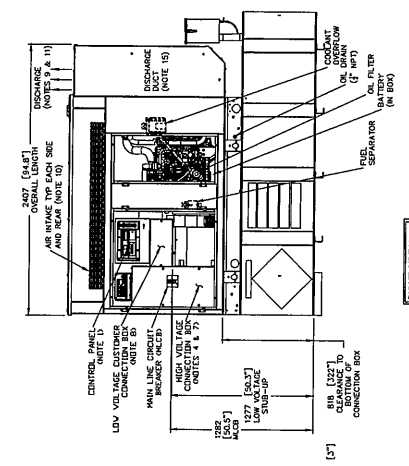
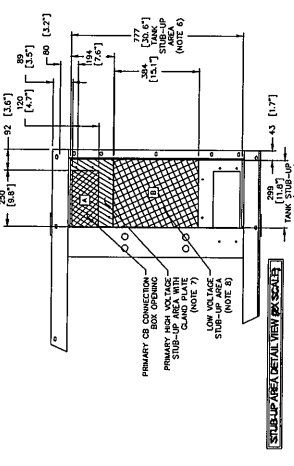
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DRAWING TITLE:
GENERATOR DETAILS

DRAWING NUMBER:
A-5 3
 MH JOB NUMBER:
 200054800



- NOTES:
- CONTROL PANEL INCLUDES BATTERY CHARGERS WITH THREE PRONG GROUND.
 - 1500W TORQUE ENGINE BLOCK HEATER WITH THREE PRONG GROUND.
 - GENERATOR MUST BE GROUNDING.
 - UNIT OPTIONS.
 - TANK STRIP-BACK TANK REQUIRES ALL STRIP-UPS TO BE IN THE REAR.
 - HIGH VOLTAGE STRIP-UP AREA INCLUDES THE AC LOAD LEAD CONNECTION AND ADJACENT 120/240V CONNECTION. NEUTRAL CONNECTION. CUSTOMER CONNECTION BOX HAS AN INDICATOR FOR 120V AND 240V.
 - MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST. SEE SPEC SHEET FOR MINIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
 - NEUTRAL CONNECTION BOX MUST BE INSTALLED IN THE REAR OF THE UNIT. IT IS AVAILABLE AND THAT DISCHARGE AIR FROM THE GENERATOR IS AVAILABLE.
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GENERAC POWER SYSTEMS Waukesha P.O. BOX 8 WAUKESHA, WIS. 53187		FILE NAME	SIZE B
INSTALL SD030	DIESEL 2.4L G16	SCALE	FIRST USE CALIFORNIA
L2A Y02 SSM	190 GAL EXT VNT/FILL BASETANK	DWG NO.	REV
		0J7500D	A

CAUTION: PANEL LISTING PANEL OR COMPONENT OF THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF GENERAC POWER SYSTEMS.
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INSTALLATION DRAWING

GENERATOR DETAILS

SCALE: 1 N.T.S.



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PROJECT INFO:

CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 OFF BEAN HOLLOW ROAD
 PESCADERO CREEK, CALIFORNIA 94060
 SAN MATEO COUNTY
 FA #: 10095739

ISSUED FOR: CONSTRUCTION

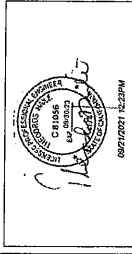
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DRAWING TITLE:

DRAWING NUMBER:

GEN-000026896

SCALE: 1 N.T.S.

SHEET: 1 OF 1

DATE: 09/20/21

PROJECT: PESCADERO

DESCRIPTION: INSTALL BASETANK A-GROUP EXTENDED 190G (USEABLE) / 200 G (TOTAL)

ISSUE NO: 12/15/17

SIZE: B N/A

DWG NO: 10000026896

WT-KG: 955.184

REV: A

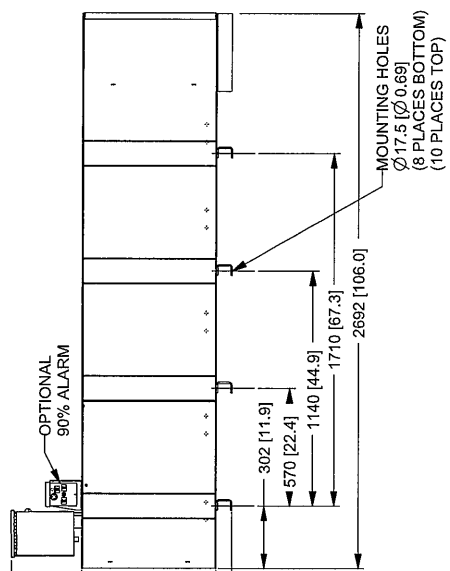
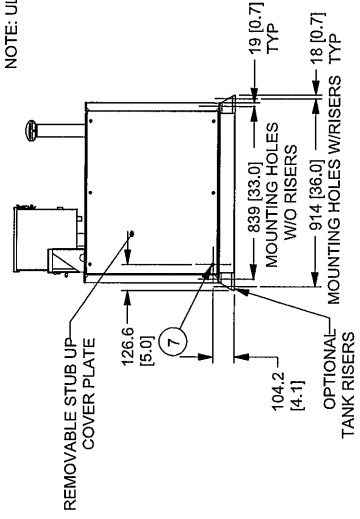
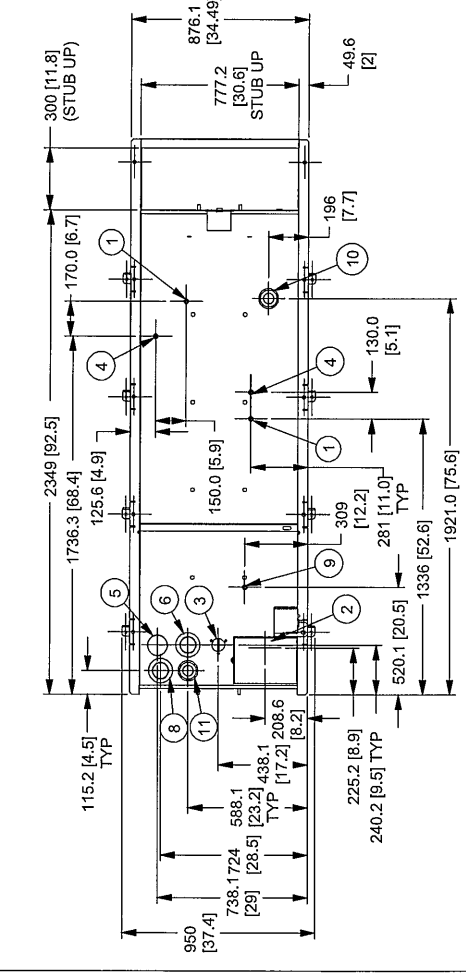
SCALE: 1 N.T.S.

IN	TANK FITTING	PROVIDING FUNCTION
1	3/8" NPT COUPLING	FUEL SUPPLY
2	2" NPT WELD FLANGE	FUEL FILL
3		MECH/ELEC. FUEL LEVEL
4	3/8" NPT COUPLING	FUEL RETURN
5	2" NPT WELD FLANGE	VENT
6	3" NPT WELD FLANGE	INNER EMERGENCY VENT
7	1/2" NPT HALF COUPLING	RUPTURE BASIN LEAK SENSOR
8	3" NPT WELD FLANGE	RUPTURE TANK EMERGENCY VENT
9	3/8" NPT COUPLING	5 GALLON SPILL/FILL DRAIN
10	2" NPT WELD FLANGE	90% FUEL SWITCH
11	2" NPT WELD FLANGE	RUPTURE BASIN ALARM

TANK P/N	0L35190ST03
TOTAL CAPACITY	757 [200]
USABLE CAPACITY	720 [190]
EST. DRY WEIGHT	420 [924]

CAPACITY SHOWN: LITER [GALLONS]
 WEIGHT SHOWN: KILOGRAMS [POUNDS]
 LENGTH SHOWN: MM [INCH]

NOTE: UL 142 / ULC-S601 LISTED



TITLE: INSTALL BASETANK A-GROUP EXTENDED 190G (USEABLE) / 200 G (TOTAL)

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DRAWING CREATED FROM PROENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

INSTALLATION DRAWING

GENERATOR DETAILS



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3100 SW WATSON ROAD, SUITE 500
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www.morrisonhershfeld.com

PROJECT INFO:

CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:

CONSTRUCTION

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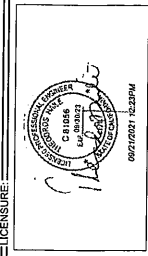
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BS RB SS

CURRENT ISSUE DATE: 09/20/21

LICENSE: 09/20/21



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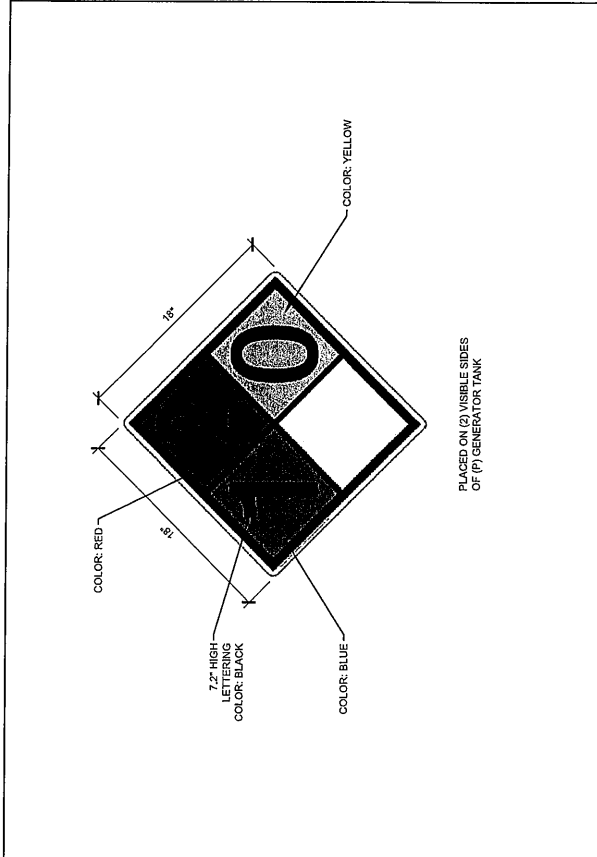
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DRAWING NUMBER: A-7

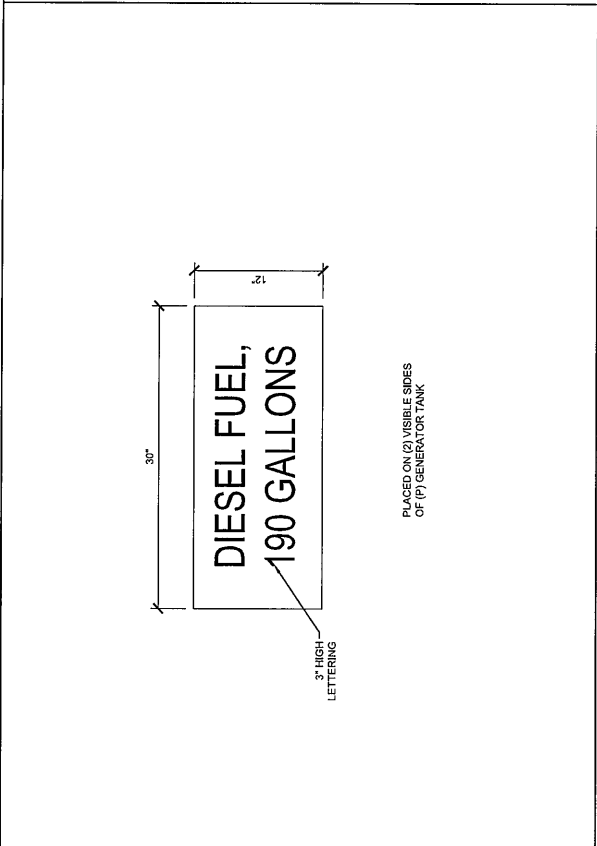
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MH_JOB NUMBER: 200054800

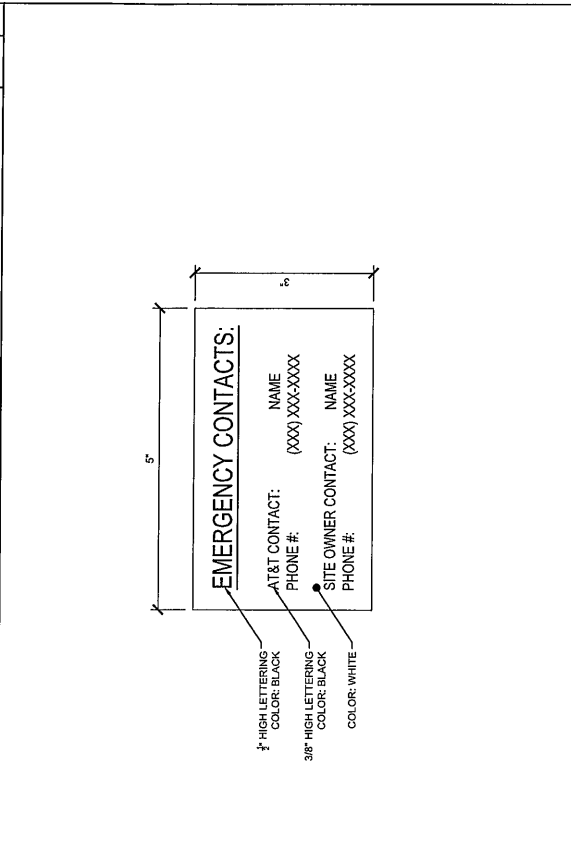


1 NEPA 740 DIESEL FUEL SIGN DETAIL

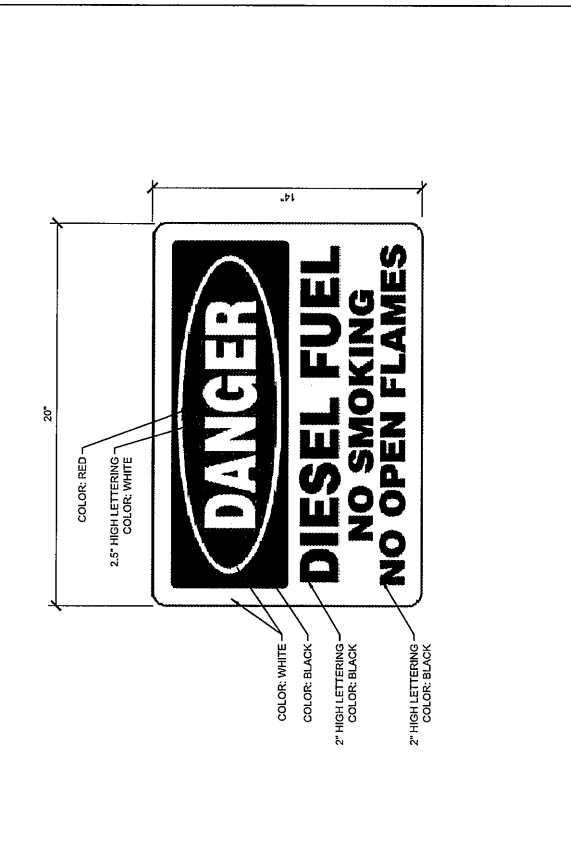
2 FUEL SIGN DETAIL



3 EMERGENCY CONTACT SIGN



4 EMERGENCY CONTACT SIGN



NO SMOKING / NO OPEN FLAMES DETAIL



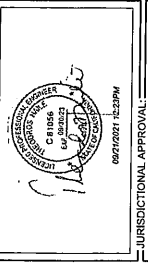
PLANS PREPARED BY:
MORRISON HERSHFELD
 3100 SHERBOURNE DRIVE, SUITE 200
 PORTLAND, OR 97201
 Tel. 503.266.9128
 Fax 503.266.9129
 www.morrisonhershfeld.com

PROJECT INFO:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CALIFORNIA 94980
 SAN MATEO COUNTY
 FA #: 10095739

ISSUED FOR:
CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
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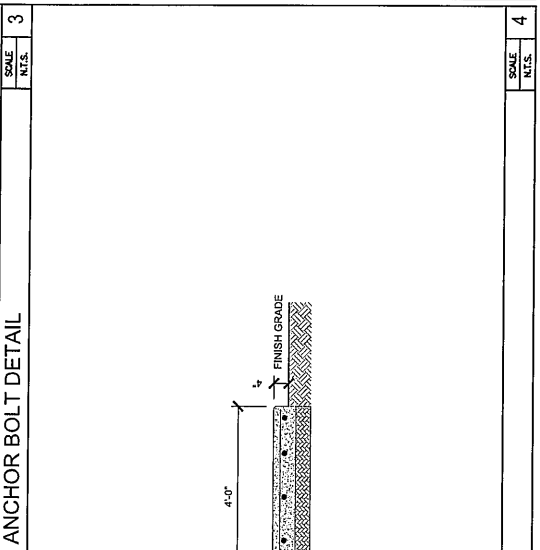
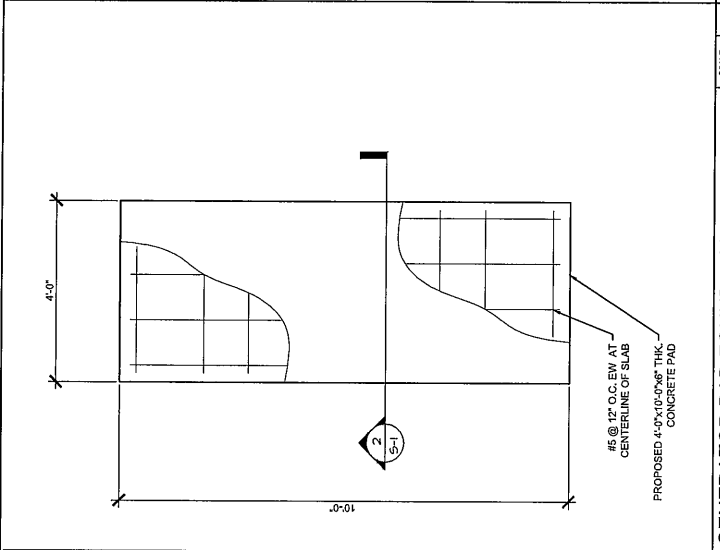
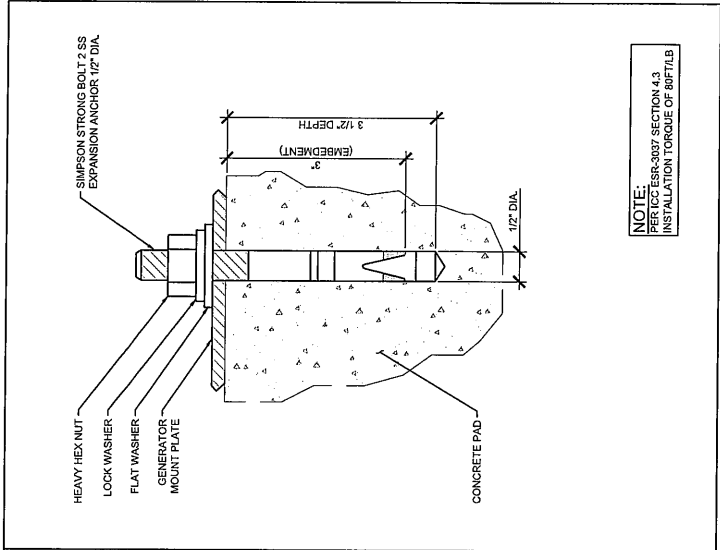


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DRAWING TITLE:
GENERATOR PAD & FOUNDATION DETAILS

DRAWING NUMBER:
S-1 3
 MH JOB NUMBER: 2000549800




REINFORCING STEEL:
 (IF APPLICABLE AS PER DETAIL C16-1)
 1. REINFORCING BARS: ASTM A615, GRADE 60, DEFORMED BARS.
 2. WELDED WIRE MESH: TO ASTM A185. PROVIDE IN FLAT SHEETS ONLY. VERTICAL PLACEMENT TOLERANCE TO BE 3/8 INCH.
 3. REINFORCING STEEL TO BE DETAILED, FABRICATED, BENT AND PLACED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE AND ACI 315.
 4. THE CONTRACTOR SHALL FABRICATE ALL ACCESSORIES, BOLSTERS, CHAIRS, SPACER BARS AND SUPPORTS IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE AND ACI 315, OTHERWISE.
 5. IN SLABS WHERE REINFORCING IS SHOWN IN ONE DIRECTION ONLY, PROVIDE REINFORCEMENT AT 90 DEGREES TO PRINCIPAL REINFORCEMENT.
GENERATOR PAD:
 1. THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY IS 2000 PSF. SUBGRADE SHOULD BE COMPACTED ADEQUATELY TO MEET THIS CRITERIA.
DESIGN NOTES:
 DESIGN DATA (AS PER ASCE 7-16):
 WIND SPEED = 91 MPH (ULTIMATE 3-SECOND GUST)
 EXPOSURE = C
 RISK CATEGORY = II
 CONCRETE (28 DAYS):
 SLAB = 2500 PSI
 ALL OTHER CONCRETE = 2500 PSI
 REINFORCING STEEL = A615 GRADE 60
 WELDED WIRE FABRIC =

CONCRETE:
 1. ALL CONCRETE SHALL BE 2500 PSI MIN. IN 28 DAY AND ALL WORK SHALL BE COMPLETED WITHIN 90 DAYS OF THE PROJECT SPECIFICATIONS.
 2. READY-MIX CONCRETE SUPPLIERS TO BE NRMCA-CERTIFIED.
 3. ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM AGGREGATE SIZE 3/4 INCH.
 4. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
 5. DO NOT USE CHLORIDE-CONTAINING ADMIXTURES.
 6. HOT WEATHER CONCRETE: COMPLY WITH ACI 308R.
 7. PROVIDE CHAMBERS, REVEALS, REGLETS, REGGESSES AND THE LIKE AS SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.
 8. NO HOLES OR SLEEVES SHALL BE MADE THROUGH CONCRETE WORK OTHER THAN THOSE INDICATED ON THE STRUCTURAL DRAWINGS. OBTAIN THE APPROVAL OF THE STRUCTURAL ENGINEER.
 9. PROVIDE CAST-IN-PLACE CONCRETE FOR MECHANICAL AND ELECTRICAL PENETRATIONS, CURBS, FITS, HOUSEKEEPING PADS, CURBS, FITS, UNDERGROUND DUCTBANKS.
 10. ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
 11. FLOOR SLAB TOLERANCE TO ASTM E1155 SPECIFIED OVERALL MINIMUM VALUE OF FLATNESS F=25 WITH LOCAL MINIMUM F=17, AND MINIMUM LOCAL MINIMUM F=10. ALL SURFACE LOCAL MINIMUM F=10 (MEASURE F) AND F' WITHIN 72 HOURS OF SLAB CONSTRUCTION.
 12. STEEL FIBER REINFORCED CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM A820 AND WITH 80 LBS/YD OF DOSAGE RATE

SECTION	SCALE	SCALE	SCALE
1	N.T.S.	2	N.T.S.
3	N.T.S.	4	N.T.S.

GENERATOR PAD FOUNDATION
GENERATOR PAD DETAIL
ANCHOR BOLT DETAIL
GENERATOR PAD DETAIL



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PLANS PREPARED BY:

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 5102 SW MACADAM AVENUE, SUITE 600
 PORTLAND, OR 97229
 www.morrisonheesfield.com

PROJECT INFO:

CC105354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO ROAD, THE ROAD WHICH IS LOCATED
 BETWEEN 10TH AND 11TH AVENUES
 PESCADERO, CALIFORNIA 94060
 SAN MATEO COUNTY
 FA #: 10095739

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CONSTRUCTION

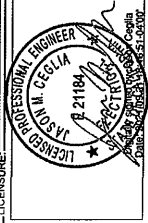
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 CHECKED: APV

CURRENT ISSUE DATE: 09/20/21

LICENSE: J



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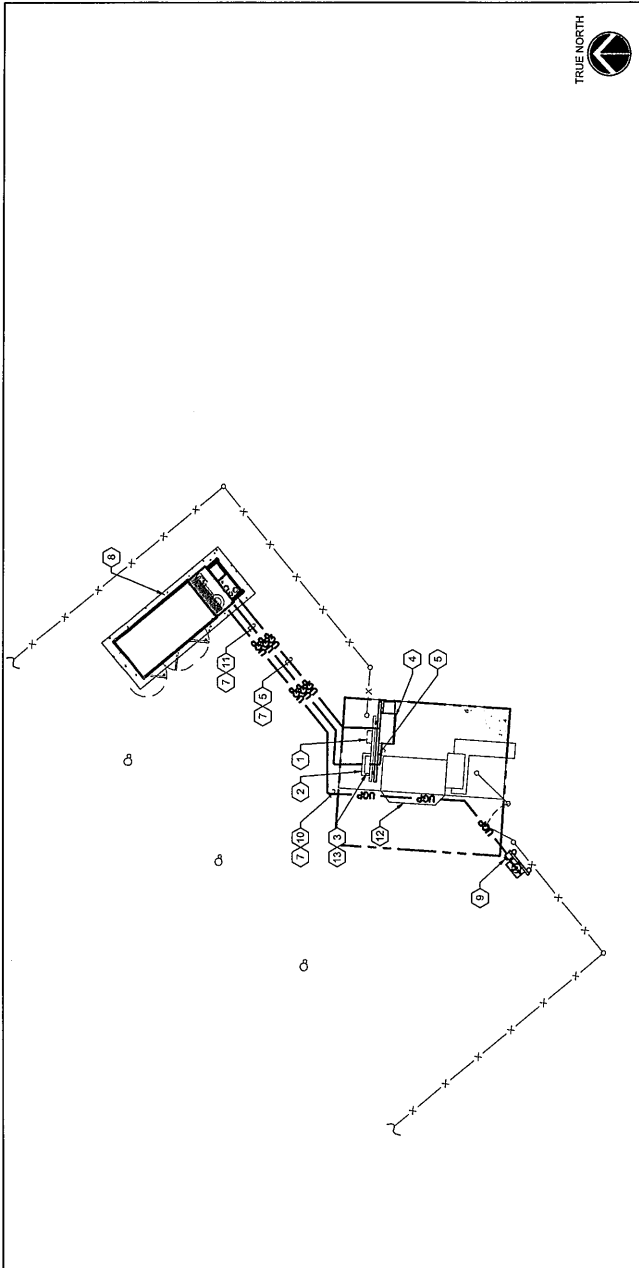
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DRAWING TITLE:
ELECTRICAL AND GROUNDING PLAN

DRAWING NUMBER:
E-1

3

AMPL. JOB NUMBER:
 200054900



ELECTRICAL PLAN

TRUE NORTH

SCALE: 3/8"=1'-0" (225X)
 (OR) 3/16"=1'-0" (112X)

1





ELECTRICAL KEYED NOTES

- EXISTING 100A, 240V, NEMA-3R CMLLCK.
- EXISTING 100A, 2-POLE, NEMA-3R MANUAL TRANSFER SWITCH, VERIFY IN FIELD.
- EXISTING 100A AT&T PANEL "PP1" WITH A 100A-2P MAIN BREAKER.
- NEW AT&T APPROVED GENERAC TTS SERIES - TAS-200, 200A, NEMA-3R, 2-POLE, 240V AUTOMATIC TRANSFER SWITCH WITH 3-SOURCE ASSEMBLY AND CMLLCK (A1&T ITEM CODE: BLD, 10160 INTERSECT PART #, 1000-1P-CB).
- NEW (3) #2 AWG CU AND (1) #8 GROUND IN 1-1/2" CONDUIT.
- NOT USED.
- CONTRACTOR TO ARRANGE AND PAY FOR UNDERGROUND UTILITY SURVEYS FOR ALL TRENCHING. REUSE NATIVE BACKFILL AND REINSTATE TO ORIGINAL CONDITION. ALL TRENCHING TO BE MARKED WITH MARKER TAPE 6" ABOVE ALL BURIED CONDUIT.
- NEW 300W (90VA) STAND BY EMERGENCY DIESEL GENERATOR INSTALLED PER MANUF. SPECIFICATIONS. DO NOT BOND NEUTRAL TO GROUND AT GENERATOR-NON-SEPARATELY DERIVED SYSTEM.
- NEW AT&T LOCKABLE EMERGENCY STOP BUTTON.
- NEW (2) #12 AWG CU AND (1) #12 GROUND IN 3/4" CONDUIT.
- (4) #12 AWG CU AND (1) #12 GROUND IN 1" CONDUIT FOR GEN. BATT. CHARGER AND BLOCK HEATER.
- EXISTING AT&T EQUIPMENT CABINET.
- NEW (2) 20A-1P BRANCH CIRCUIT BREAKERS IN PANEL PP1 FOR NEW GENERATOR BLOCK HEATER AND BATTERY CHARGER.

GROUNDING KEYED NOTES

- EXISTING #2 AWG SOLID BARE TINNED COPPER GROUND RING WITH GROUND RODS. VERIFY EXACT LOCATIONS AND NUMBER OF GROUND RODS IN FIELD.
- BOND NEW GENERATOR TO EXISTING GROUND RING WITH A #2 AWG SOLID BARE TINNED COPPER CONDUCTOR AT OPPOSITE CORNERS.
- BOND ATS ENCLOSURE TO GROUND RING AS REQUIRED WITH A #2 AWG SOLID BARE TINNED COPPER CONDUCTOR.

LEGEND

SYMBOL	DESCRIPTION
	GROUND INSPECTION WELL
	EXOTHERMIC WELD
	2-HOLE MECH. LUG OR CRIMP CONNECTION
	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM

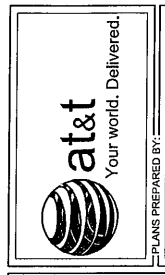
NOTE: ALL WIRING, WIRE RUNS AND CONNECTIONS BOTH ABOVE AND BELOW GRADE, SHALL BE LOCATED INSIDE OF THE LEASE AREA LINE.

GROUNDING PLAN

TRUE NORTH

SCALE: 3/8"=1'-0" (225X)
 (OR) 3/16"=1'-0" (112X)

2



PLANS PREPARED BY:
MORRISON HERSHFELD
 5105 SW 10TH AVENUE SUITE 200
 PORTLAND, OR 97239
 TEL: 503.588.9129
 WWW.MORRISONHERSFELD.COM

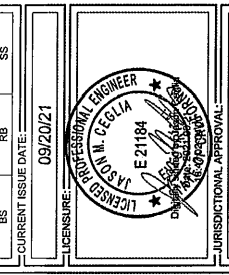
PROJECT INFO:
PCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF BEAN FLOW ROAD
 PESCADERO, OR 97466
 SAN MATEO COUNTY
 FA #: 10095739

ISSUED FOR: CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

3	09/20/21	UPDATE ADDRESS AND GENERAL NOTE	BS
2	05/04/20	UPDATE CODE REFERENCE	BS
1	03/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK.: APV.:
 BS RE SS



JURISDICTIONAL APPROVAL:
 PROPRIETARY INFORMATION:
 DRAWING DATE: 09/20/21. DRAWING NUMBER: 200954800. ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND DISCREPANCIES. ALL PROVISIONS OF THE BOARD AND SUPPLEMENTAL RULES OF THE BOARD. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS STRICTLY PROHIBITED. OTHER THAN WHICH IS RELATED TO NAMED CLIENTS.

DRAWING TITLE:
ONE-LINE DIAGRAMS & PANEL SCHEDULE

DRAWING NUMBER:
E-2 3
 MLI JOB NUMBER:
 200954800

DIAGRAM CIRCUIT SCHEDULE

GENERATOR ALARM WIRING	ATS ALARMS WIRING
66 BLOCK	66 BLOCK & ATS NAMED SAME
GEN RUN	COMMERCIAL POWER FAIL
GEN FAIL	TVSS
GEN MAJOR	GEN COMMON ALARM
LOW FUEL	LOW FUEL
FUEL LEAK	RUPTURED BASIN

NOTE: CONTRACTOR TO LABEL WIRES WITH A TOUCH OR SIMILAR LABELS ONLY, ABSOLUTELY NO HANDWRITTEN LABELS.

NOTE: ALL ALARMS NEED TO BE TERMINATED INSIDE OF 66 BLOCK. ALL WIRING NEED TO BE TO EXISTING ACTIVE 66 BLOCK.

100A, 120/240-1Ø-3W, 100A M.C.B.

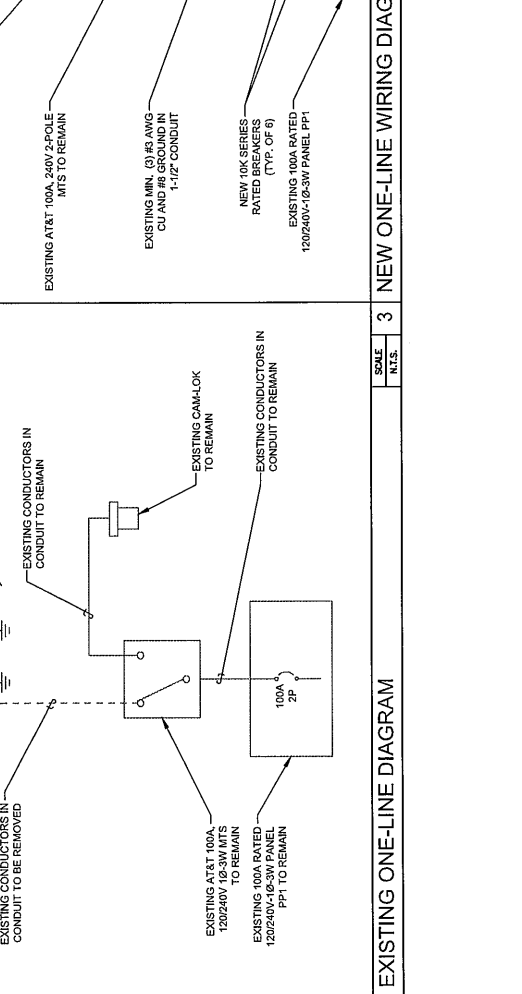
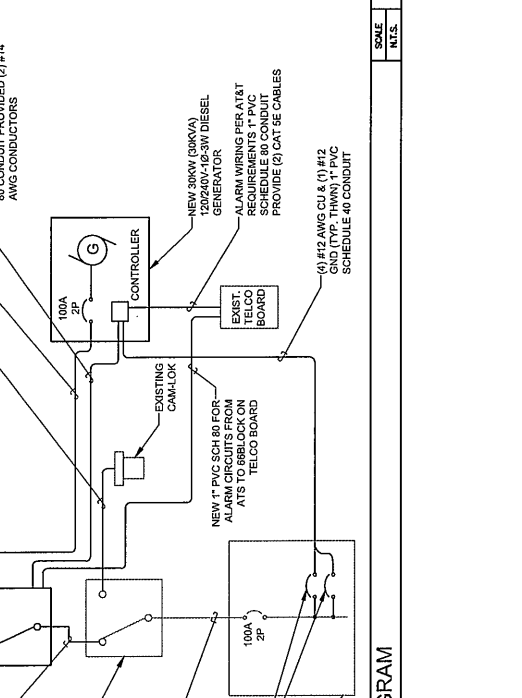
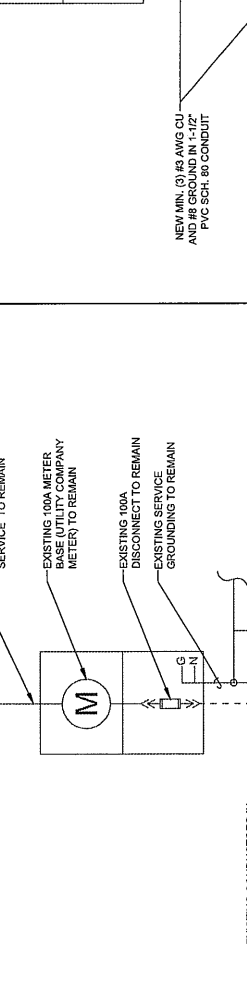
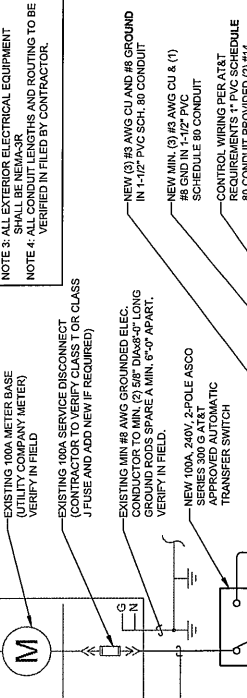
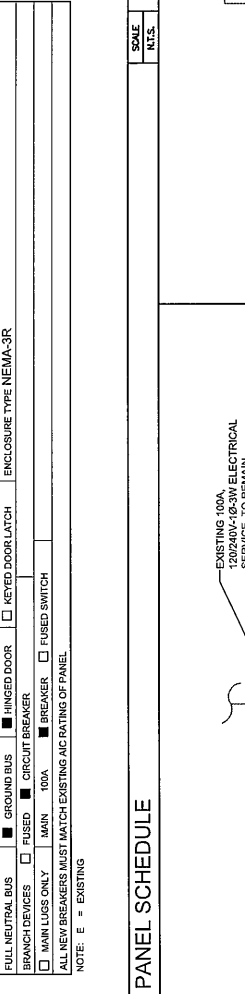
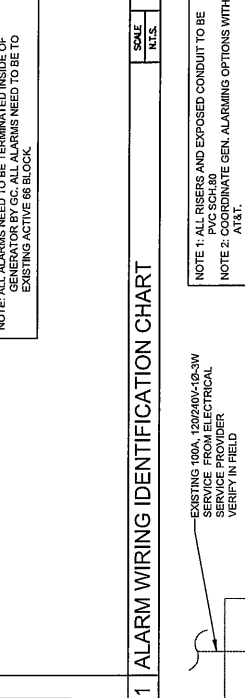
BUS VA	LOAD	WIRE	GND	COND	AMPS	BUS AB	BUS A	B
-	SPARE	-	-	-	2	1	2	1
-	SPARE	-	-	-	20	3	4	3
-	SPARE	-	-	-	30	5	6	5
4800	EXISTING UM75C	E	E	-	50	7	8	7
-	SPARE	-	-	-	20	9	10	9
1000	NEW GENERATOR BATT. CHARGER	#12	#12	34"	20	11	12	11
-	SPARE	-	-	-	13	13	14	13
-	SPARE	-	-	-	15	15	16	15
-	SPARE	-	-	-	17	17	18	17
-	SPARE	-	-	-	20	19	20	19
-	SPARE	-	-	-	21	21	22	21
-	SPARE	-	-	-	23	23	24	23
TOTAL VA BUS A 5900 BUS B 6000 CONNECTED VA: 11800					AMPERES: BUS A 48 BUS B 50 TOTAL 49			


NOTE: NEW BREAKERS MUST MATCH EXISTING AIR RATING OF PANEL.
 NOTE: E = EXISTING

100A, 120/240-1Ø-3W, 100A M.C.B.

BUS VA	LOAD	WIRE	GND	COND	AMPS	BUS AB	BUS A	B
-	SPARE	-	-	-	2	1	2	1
-	SPARE	-	-	-	20	3	4	3
-	SPARE	-	-	-	30	5	6	5
4800	EXISTING UM75C	E	E	-	50	7	8	7
-	SPARE	-	-	-	20	9	10	9
1000	NEW GENERATOR BATT. CHARGER	#12	#12	34"	20	11	12	11
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-	SPARE	-	-	-	15	15	16	15
-	SPARE	-	-	-	17	17	18	17
-	SPARE	-	-	-	20	19	20	19
-	SPARE	-	-	-	21	21	22	21
-	SPARE	-	-	-	23	23	24	23
TOTAL VA BUS A 5900 BUS B 6000 CONNECTED VA: 11800					AMPERES: BUS A 48 BUS B 50 TOTAL 49			


NOTE: NEW BREAKERS MUST MATCH EXISTING AIR RATING OF PANEL.
 NOTE: E = EXISTING





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PLANS PREPARED BY:



MORRISON HERSHFELD
 3160 SW 15th Avenue, Suite 200
 Fort Lauderdale, FL 33309
 Tel: 561.536.9158
 www.morrisonhershfield.com

PROJECT INFO:

CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS 1000
 PESCADERO CREEK ROAD WHICH IS LOCATED
 OFF I-95 IN HOLLOW ROAD
 PESCADERO, FL 33480
 SAN MATEO COUNTY
 FLA # : 10095739

ISSUED FOR: CONSTRUCTION


REV: DATE ISSUED FOR: BY:

3	09/20/21	UPDATE ADDRESS AND GENERAL NOTE	BS
2	05/04/20	UPDATE CODE REFERENCE	BS
1	03/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: APV:

BS RB SS

CURRENT ISSUE DATE: 09/20/21

LICENSE: 

JURISDICTION: APPROVED FOR CONSTRUCTION

PROPRIETARY INFORMATION:

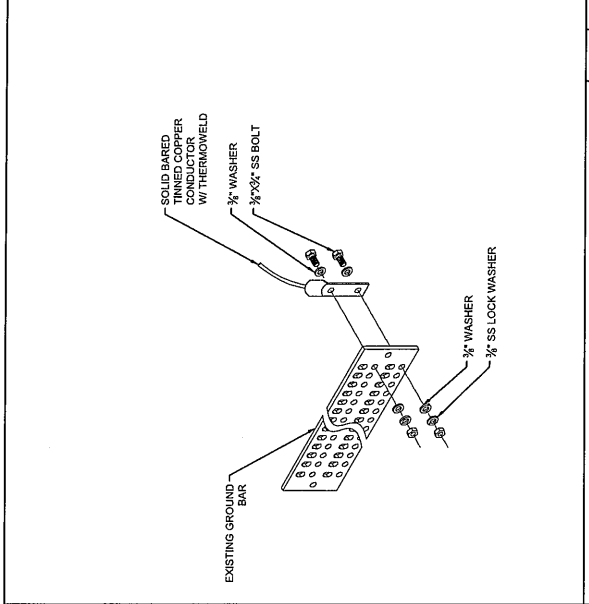
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DRAWING TITLE: **ELECTRICAL AND GROUNDING DETAILS**

DRAWING NUMBER: **E-3**

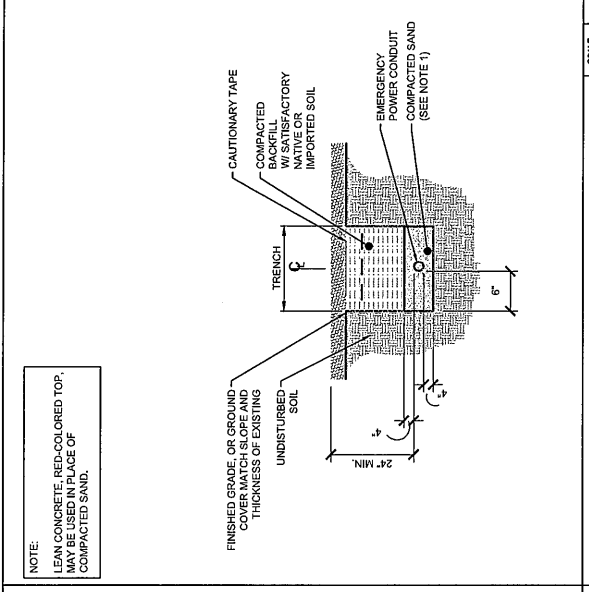
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DATE: 2009/05/18/00



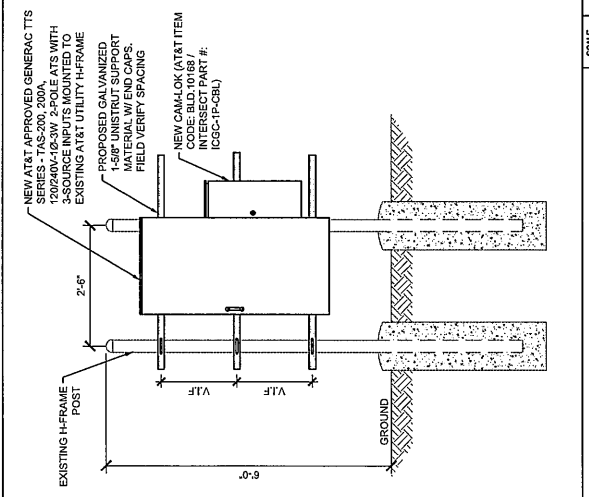
3 TYPICAL GROUND BAR CONNECTION DETAIL

SCALE: N.T.S.



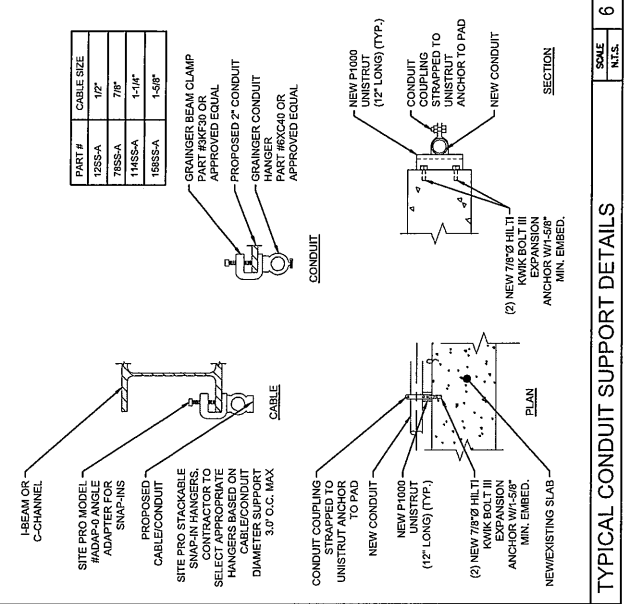
2 DIRECT BURIED CONDUIT

SCALE: N.T.S.



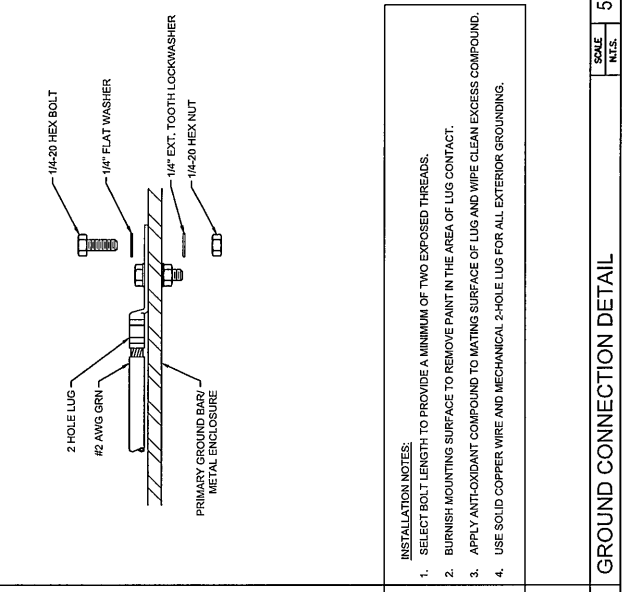
1 H-FRAME ELEVATION DETAIL

SCALE: N.T.S.



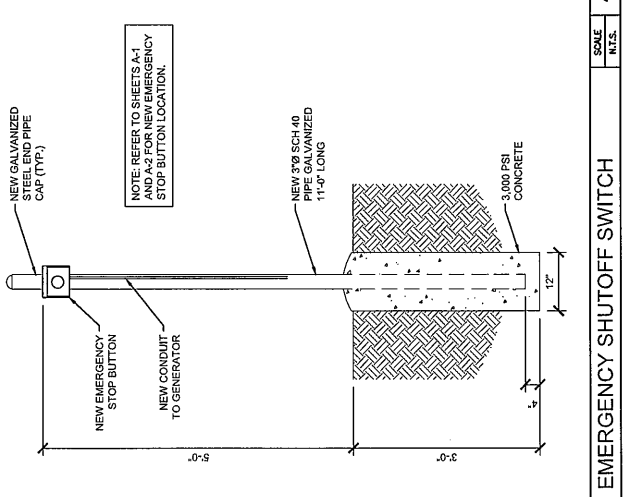
6 TYPICAL CONDUIT SUPPORT DETAILS

SCALE: N.T.S.



5 GROUND CONNECTION DETAIL

SCALE: N.T.S.



4 EMERGENCY SHUTOFF SWITCH

SCALE: N.T.S.



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PLANS PREPARED BY:



MORRISON HERSHFELD
3100 SW WYOMING AVENUE, SUITE 500
PORTLAND, OREGON 97201
Tel: 503.966.5129
www.morrisonhershfield.com

PROJECT INFO:

CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS 1000
PESCADERO CREEK ROAD WHICH IS LOCATED
OFF BEAN HOLLOW ROAD
PESCADERO, CALIFORNIA 94060
SAN MATEO COUNTY
FA #: 10095739

ISSUED FOR:

CONSTRUCTION

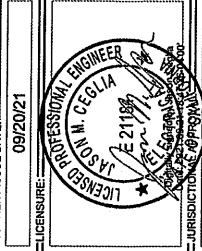
REV: DATE: ISSUED FOR: BY:

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1	10/06/20	ISSUED FOR CONSTRUCTION	BS
0	01/14/20	ISSUED FOR CONSTRUCTION	RM

DRAWN BY: CHK: APV: SS

CURRENT ISSUE DATE: 09/20/21

LICENSE NO: 092021



JURISDICTION: REPUBLIC OF CALIFORNIA

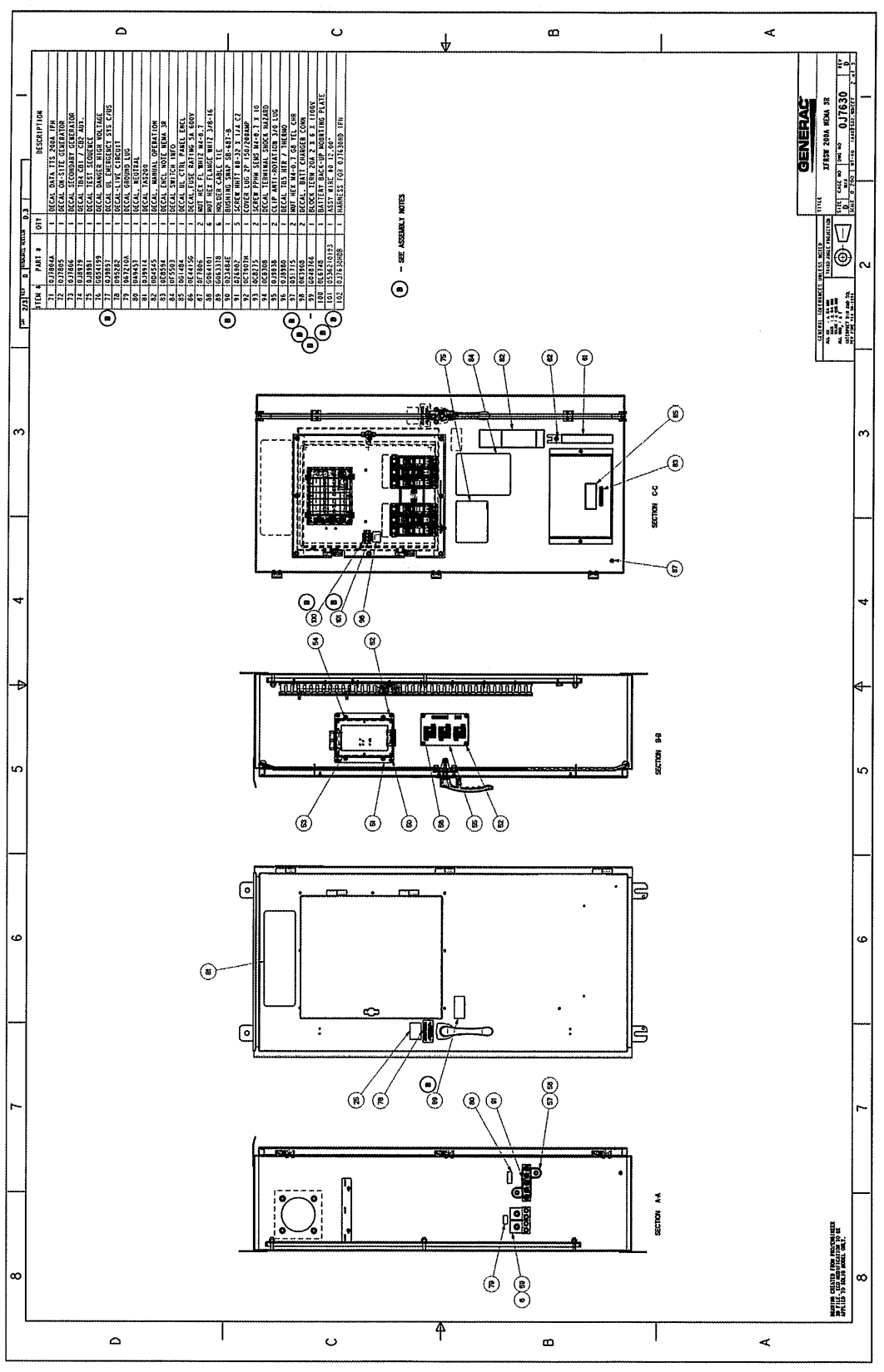
PROPRIETARY INFORMATION:

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DRAWING TITLE: ATS MANUFACTURER SPECIFICATIONS

DRAWING NUMBER: E-4 3

IMP. JOB NUMBER: 2005054000



SCALE: 1/8" = 1'-0" (VERTICAL) 1/4" = 1'-0" (HORIZONTAL)

AUTOMATIC TRANSFER SWITCH SPECS

CODE COMPLIANCE

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES UNLESS OTHERWISE SPECIFIED AS EXCEPTED. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- CALIFORNIA BUILDING STANDARDS CODE, 2019 TRIENNIAL EDITION PART 1 - CALIFORNIA ADMINISTRATIVE CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE, BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE, BASED ON THE 2017 NATIONAL ELECTRICAL CODE, BASED ON THE 2017 NATIONAL MECHANICAL CODE, BASED ON THE 2018 UNIFORM PLUMBING CODE, BASED ON THE 2018 UNIFORM FIRE ALARMS AND SIGNALING CODE, BASED ON THE 2018 INTERNATIONAL ENERGY CODE, BASED ON THE 2018 INTERNATIONAL HISTORICAL BUILDING CODE, BASED ON THE 2018 INTERNATIONAL FIRE CODE, BASED ON THE 2018 INTERNATIONAL EXISTING BUILDING CODE, BASED ON THE 2018 INTERNATIONAL EXISTING BUILDING STANDARDS CODE (ALSO PART 1) - CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO PART 1) - CALIFORNIA REFERENCED STANDARDS CODE
 - ANSI/ISA-222 (REV H)
 - 2018 NFPA 101, LIFE SAFETY CODE
 - 2018 NFPA 101, LIFE SAFETY CODE
 - 2019 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

PROJECT TEAM

CLIENT / LESSEE:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY.
 SAN RAMON, CA 94583
 CONTACT: JONATHAN DUNCAN
 South Bay Project Manager
 EMAIL: jduncan@att.com
 PH: (925) 797-1046
 CELL: (925) 974-8879

CONSTRUCTION MANAGER:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY.
 SAN RAMON, CA 94583
 CONTACT: DAVID KOCH
 PROJECT MANAGER
 EMAIL: dkoch@att.com
 PH: (925) 974-8879
 CELL: (925) 353-0172

SE ENGINEER:
 AT&T MOBILITY SERVICES, LLC
 5001 EXECUTIVE PKWY.
 SAN RAMON, CA 94583
 CONTACT: VIJAY PARHAR
 PROJECT MANAGER II
 EMAIL: vparhar@att.com
 PH: (916) 524-1821

AS/E MANAGER:
 JS INFRASTRUCTURE PARTNERS
 8026 MAIN STREET, SUITE 200
 DUBLIN, CA 94568
 CONTACT: STEVEN M. RAMON
 PROJECT MANAGER
 email: sramon@sjp.com
 ph: (949) 247-7769 ext 158

SITE INFORMATION

PROPERTY OWNER:
 COUNTY OF SAN MATEO
 2000 CROWNE FLOOR
 REDWOOD CITY, CA 94063

JURISDICTION:
 COUNTY OF SAN MATEO
 088-182-060

CURRENT ZONING:
 AG-40 (AGRICULTURAL)

PROPOSED USE:
 MULTIPLE COMMUNICATIONS FACILITY

APN:
 088-182-060

PROPOSED DATE:
 3/7/2020

LONGITUDE (NAD 83):
 37° 14' 38.52" N
 122° 24' 00.34" W

ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT SECURED. ACCESS TO FACILITY IS LIMITED TO PERSONNEL REQUIRED PER CUC2019, SECTION 118-263.4 (LIMITED ACCESS 3P/2C)

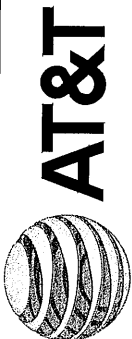
POWER AGENCY:
 PG&E

PH: (800) 743-8000

TELEPHONE AGENCY:
 AT&T

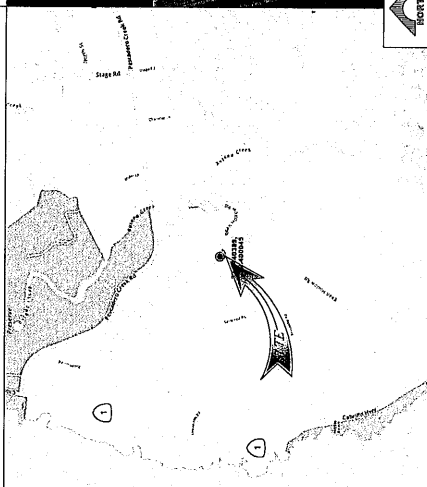
RDS VERSION: 4.0

DATE UPDATED: 03/20/21



SITE NUMBER: CCL05354
SITE NAME: PESCADERO
SITE TYPE: MONOPOLE / OUTDOOR EQUIPMENT
ADDRESS: SITE FORMERLY REFERRED AS 1000 PESCADERO CREEK ROAD, LOCATED OFF BEAN HOLLOW ROAD PESCADERO, CA 94060
CROWN CASTLE BU #856161

VICINITY MAP



LOCAL MAP



GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS
 THESE PLANS ARE FORMATTED TO BE FULL SITE AT 24" X 36" CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE TO VERIFY THE LOCATION OF THE FACILITY AND TO VERIFY THE LOCATION OF THE FACILITY. THE DISTURBANCE OR EFFECT ON DRAINAGE AND SANITARY SERVICES SHALL BE IDENTIFIED AND TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THE DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.
 ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

DRIVING DIRECTIONS

- DIRECTIONS FROM AT&T OFFICE: 5001 EXECUTIVE PKWY, SAN RAMON CA 94583**
- TAKE THE 1ST RIGHT ONTO EXECUTIVE PKWY.
 - TURN RIGHT ONTO CAMINO RAMON.
 - TURN RIGHT ONTO BOLLINGER CANYON RD.
 - MERGE ONTO I580 W VIA EXIT 308 TOWARD OAKLAND/DUBLIN.
 - LEFT TO TAKE I580 N VIA EXIT 31 TOWARD I680.
 - TAKE EXIT 27 TOWARD OAKLAND/CA 9241 VIA I680 TOWARD SAN JOSE/SAN MATEO BR.
 - TURN RIGHT TO TAKE THE CA-92 N RAMP TOWARD SAN MATEO BR.
 - MERGE ONTO CA-92 W I680/PORTON TOLL.
 - TURN LEFT ONTO PACIFIC COAST HIGHWAY/CARBILLO HWY/CA-1.
 - TURN LEFT ONTO PESCADERO CREEK RD.
 - TURN SHARP RIGHT ONTO BEAN HOLLOW RD.
 - 37.2440397,-122.400445, 1049 BEAN HOLLOW RD IS ON THE RIGHT.



APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE WORK DESCRIBED HEREIN. THESE DOCUMENTS SHALL BE SUBJECT TO REVIEW BY LOCAL BUILDING DEPARTMENT & MAY INCURE CHANGES AND MODIFICATIONS.

DISCIPLINE:	SIGNATURE	DATE
RF ENGINEER:		
AT&T PM:		
CIVIL:		
A&E:		
SAQ PM:		
PROPERTY OWNER:		

PROJECT DESCRIPTION

MODIFICATION TO AN UNMANNED TELECOMMUNICATIONS FACILITY, CONSISTING OF THE FOLLOWING:
 ANTENNA / RU/SOW:
 • REMOVE (3) PANEL ANTENNAS, TYP. 1 PER SECTOR
 • REMOVE (3) RU/SOW FROM ANTENNA AREA, TYP. 1 PER SECTOR
 • REMOVE (3) RU/SOW FROM ANTENNA AREA, TYP. 1 PER SECTOR
 • INSTALL (3) PANEL ANTENNAS, TYP. 2 PER SECTOR
 • INSTALL (3) RU/SOW 4449 85/7012 NEAR ANTENNAS, TYP. 1 PER SECTOR
 • INSTALL (3) RU/SOW 32 8664 NEAR ANTENNAS, TYP. 1 PER SECTOR
 • INSTALL (3) DC/CA DOOME NEAR ANTENNAS, TYP. (1) PER SECTOR
 • INSTALL (2) 2" INNERDUCT WITH (4) POWER & (2) FIBER TRUNKS TO PROPOSED DC/CA
 EQUIPMENT SOW:
 • REMOVE (1) 5216 AND DUS14 WITHIN EXISTING PURCELL CABINET
 • REMOVE (1) 2106 CABINET ON (E) CONCRETE PAD
 • REMOVE (1) 2106 CABINET ON (E) CONCRETE PAD
 • INSTALL (2) 6659 WITHIN EXISTING PURCELL CABINET
 • INSTALL (1) DUCT12 BOX MOUNTED ON (E) H-FRAME
 • INSTALL (1) BATTERY CABINET W/ (1) STRING OF 180AH BATTERIES ON (E) H-FRAME
 • INSTALL (3) RECTIFIERS WITHIN EXISTING DC POWER PLANT CABINET

• FINAL RECIPFIER COUNT REQUIRED FOR THE SCOPE OF WORK IS (8).

SHEET INDEX

TITLE SHEET	REV.
GN-1 GENERAL NOTES	4
A-1 OVERALL SITE PLAN	4
A-2 ENLARGED SITE PLAN & EQUIPMENT PLANS	4
A-3 EXISTING & PROPOSED ANTENNA PLANS	4
A-3.1 PROPOSED RF SCHEDULE	4
A-4 WEST ELEVATIONS	4
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EM-1 EME SIGNAGE LOCATION PLAN	4
E-1 SINGLE LINE DIAGRAM & AC PANEL SCHEDULE	4
G-1 GROUNDING PLAN & NOTES	4
G-2 GROUNDING DETAILS	4
RF-1 PLUMBING DIAGRAM	4
MSDS-1 MATERIAL SAFETY DATA SHEET & LEAD ACID BATTERY	4
SS-1 SITE SIGNAGE	4



Vendor:
 JS INFRASTRUCTURE
 2026 MAIN STREET, SUITE 200
 DUBLIN, CA 94568
 PH: (949) 247-7769

AT&T Site ID:
CCL05354

REV	DATE	DESCRIPTION	BY
1	03/20/21	ISSUE FOR PERMIT	CV
2	03/20/21	ISSUE FOR PERMIT	CV
3	03/20/21	ISSUE FOR PERMIT	CV
4	03/20/21	ISSUE FOR PERMIT	CV
5	03/20/21	ISSUE FOR PERMIT	CV
6	03/20/21	ISSUE FOR PERMIT	CV
7	03/20/21	ISSUE FOR PERMIT	CV
8	03/20/21	ISSUE FOR PERMIT	CV
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18	03/20/21	ISSUE FOR PERMIT	CV
19	03/20/21	ISSUE FOR PERMIT	CV
20	03/20/21	ISSUE FOR PERMIT	CV

Licensee:
 Signed: 2021/03/20
 Expires: 2023/03/20

It is a violation of law for any person to practice as a professional engineer under the name of a professional engineer, to alter the document.

CCL05354
PESCADERO
 SITE FORMERLY REFERRED AS 1000 PESCADERO CREEK ROAD, LOCATED OFF BEAN HOLLOW ROAD PESCADERO, CA 94060

TITLE SHEET

Sheet Number:
T-1

PREPARED FOR

6501 BLUEBIRD PARK,
SAN RAMON, CA 94583

Vendor:

2030 MAIN STREET, SUITE 200
IRVINE, CA 92614
P-049710

AT&T Site ID:
CCL05354

REV	DATE	DESCRIPTION	BY
4	07/24/21	LEASE AMENDED	CV
3	07/14/21	UPDATED ADDRESS	CV
2	04/07/21	EINE REPORT	JT
1	04/03/21	REVISED 100% CD	JT
0	05/25/21	100% CD	JT
A	02/17/21	REVISED 100% CD	MMOJ
B	01/26/21	100% CD	MMOJ

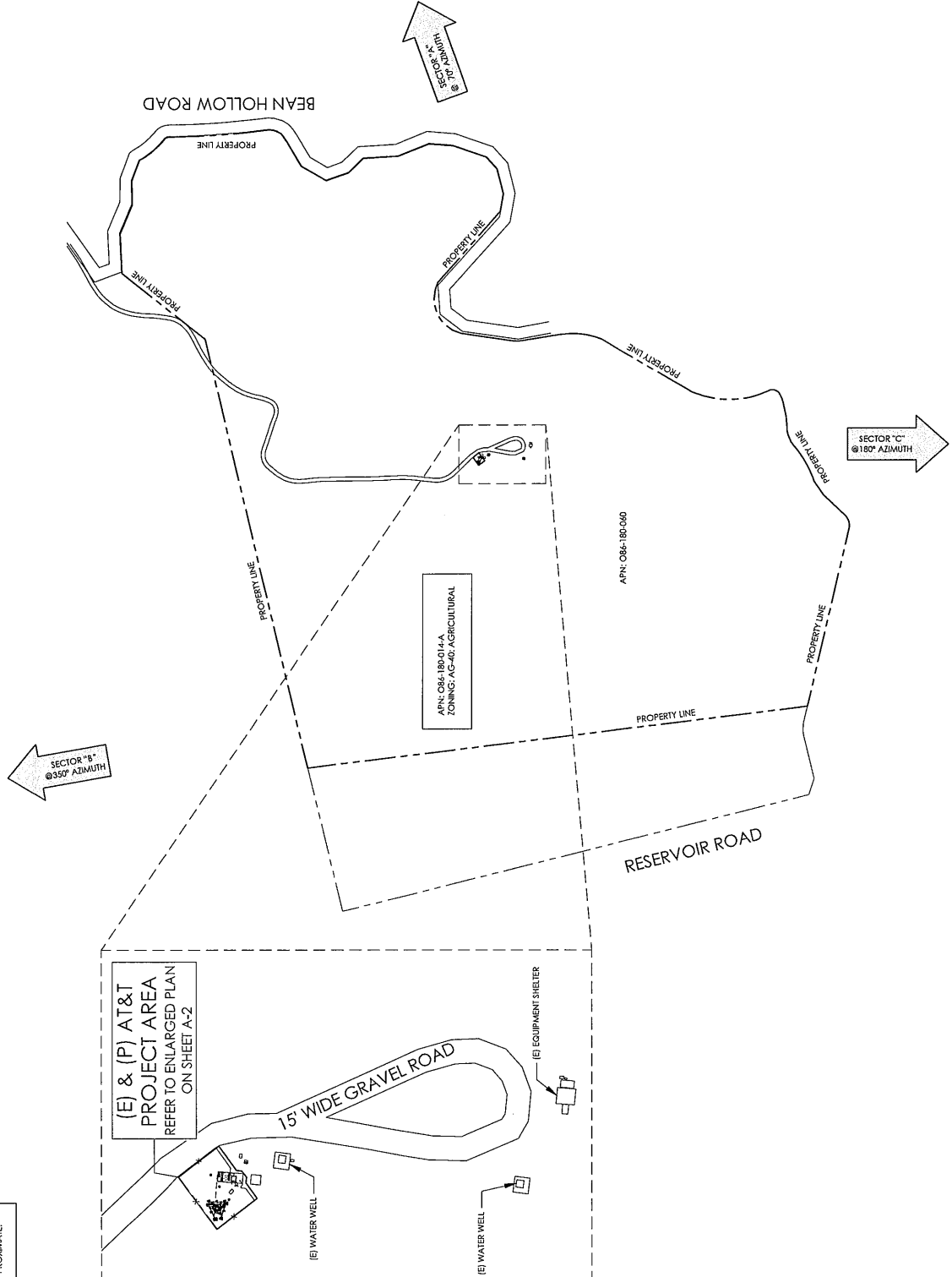
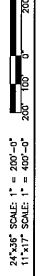
License No. 61861
Scott A. K...
Professional Engineer
Civil Engineering

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CCL05354
PESCADARO
SITE FORMERLY REFERRED AS 1000 PESCADERO CREEK ROAD, LOCATED OFF BEAN HOLLOW ROAD, PESCADARO, CA 94060

Sheet Title:
OVERALL SITE PLAN

Sheet Number:
A-1



THIS IS NOT A SITE SURVEY
ALL PROPERTY BOUNDARIES, ORIENTATION OF THE NORTH AND STREET LOCATIONS HAVE BEEN OBTAINED FROM PUBLIC RECORDS. THEREFORE, EXISTING DRAWINGS AND ARE APPROXIMATE.

PREPARED FOR: **AT&T**
5001 EXECUTIVE PKWY.
SAN RAMON, CA 94583

Vendor: **JFS INFRASTRUCTURE**
2020 MAIN STREET, SUITE 200
IRVINE, CA 92614
P: 949.7710

AT&T Site ID: **CCL05354**

REV	DATE	DESCRIPTION	INT.
1	09/21/17	ISSUE FOR PERMIT	CD
2	10/16/17	ISSUE FOR PERMIT	CD
3	10/16/17	ISSUE FOR PERMIT	CD
4	09/22/17	DATE REVISION	JR
5	10/02/17	REVISED 100% CD	JT
6	05/22/17	100% CD	JT
7	10/17/17	REVISED PER CD	MMK
8	10/17/17	90% CD	MMK

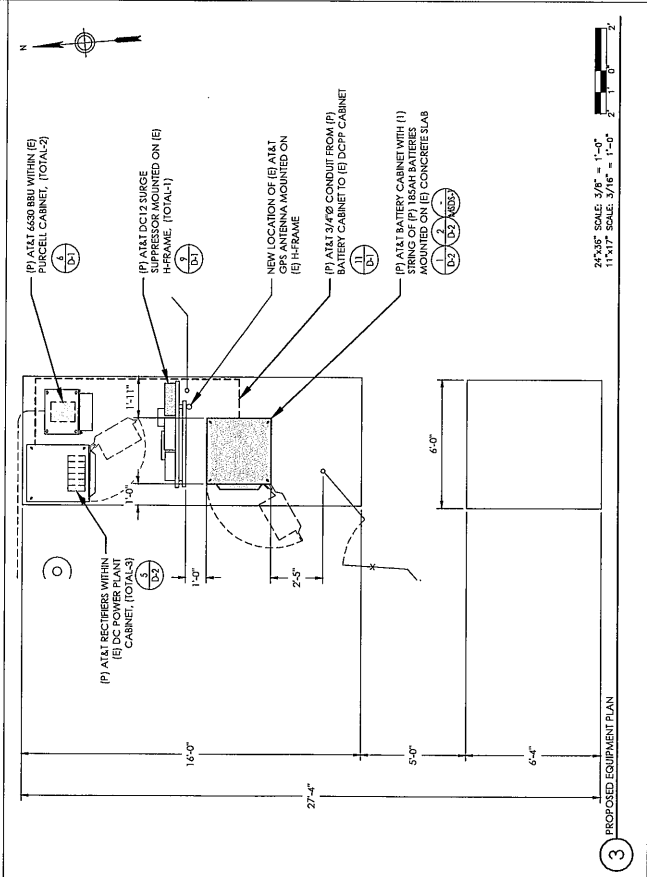
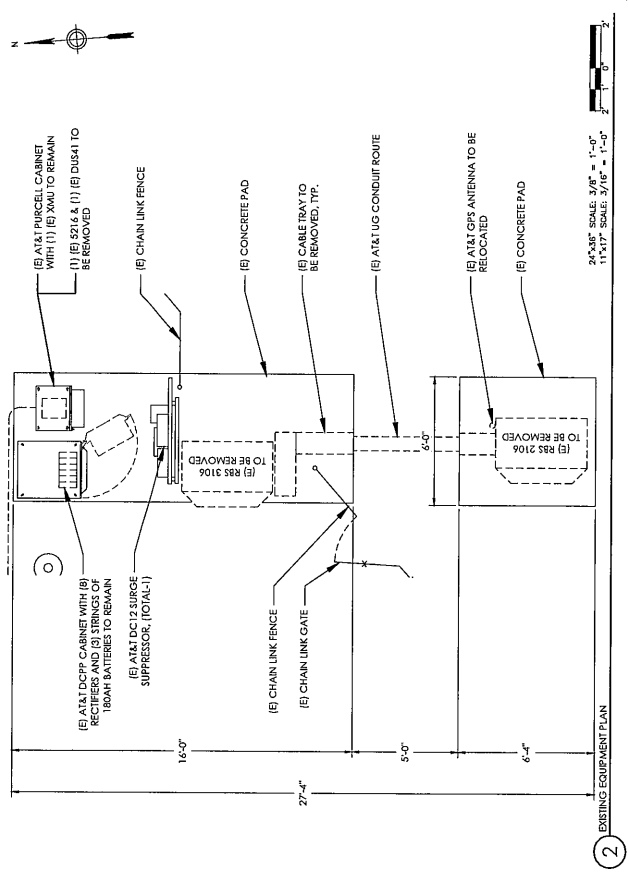
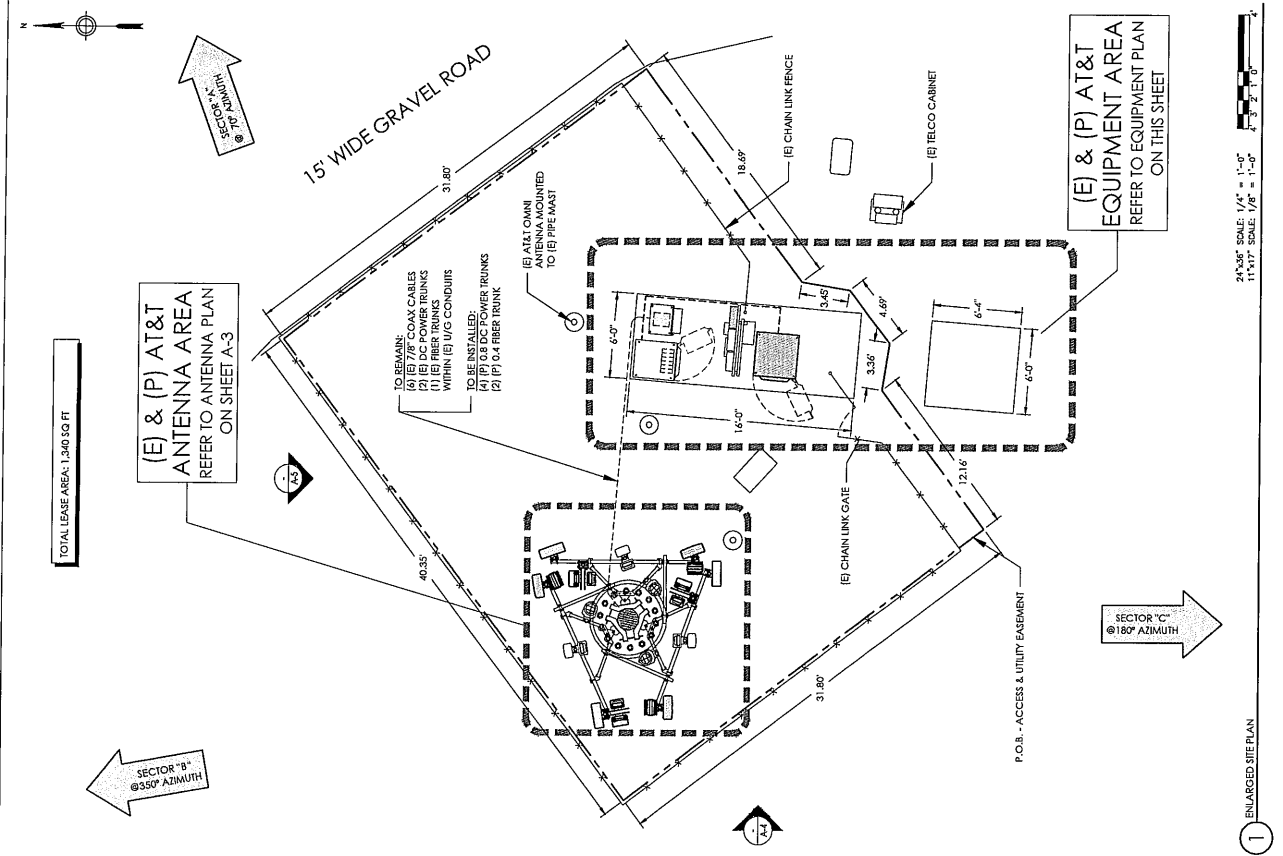
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Sheet Title: **(E) & (P) AT&T EQUIPMENT AREA**
REFER TO EQUIPMENT PLAN & EQUIPMENT PLANS

Sheet Number: **A-2**



PREPARED FOR
AT&T
 5801 EXECUTIVE PKWY,
 SAN RAMON, CA 94583

Vendor:
J&S INFRASTRUCTURE
 2355 MAIN STREET, SUITE 200
 RAYNOR, CA 94583
 P: 4787710

AT&T Site ID:
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1	02/27/21	ISSUE FOR PERMIT	CV
2	03/02/21	REVISED	CV
3	03/02/21	REVISED	JT
4	03/02/21	REVISED	CD
5	03/25/21	100% CD	JT
6	02/11/21	REVISED PER CD	NMS
7	10/10/20	WORK CD	NMS

Licensee:

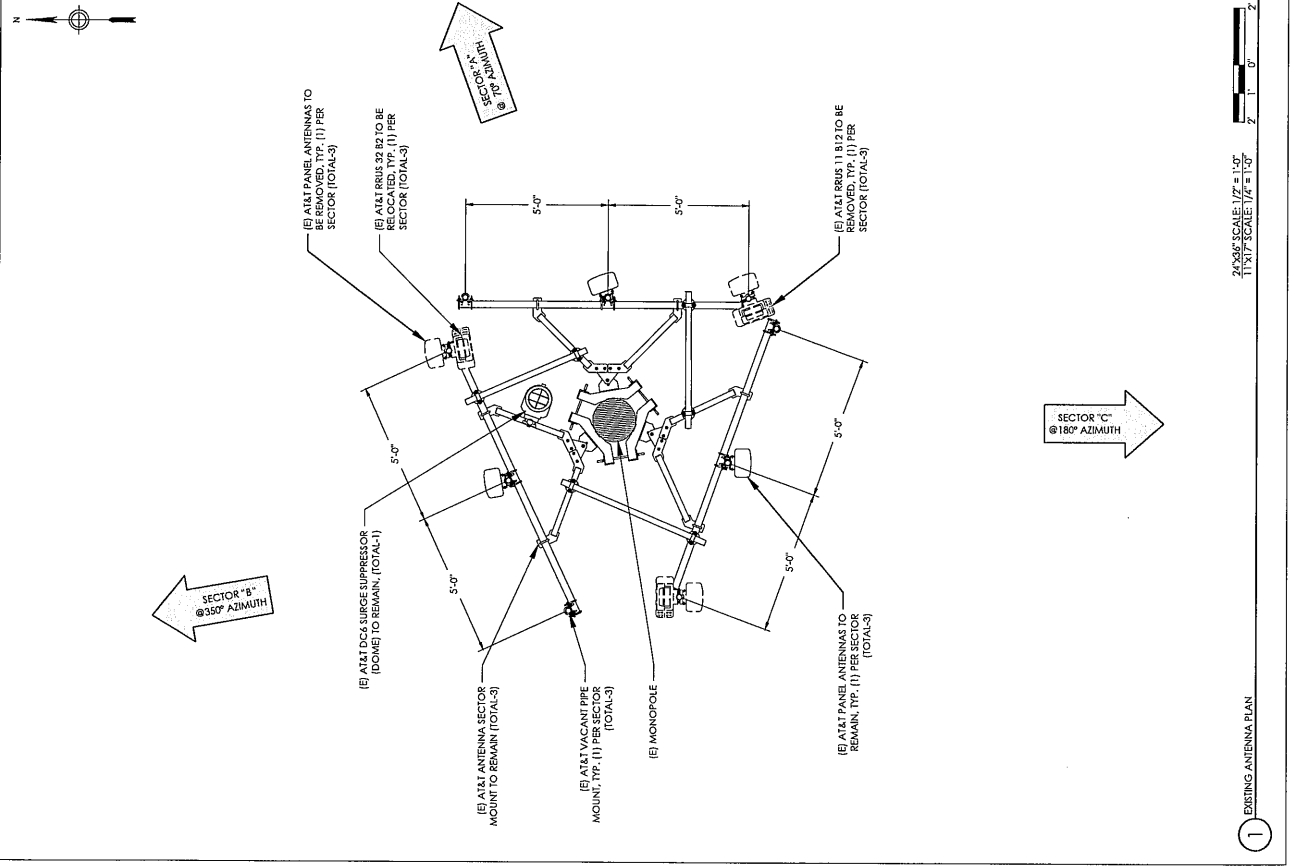
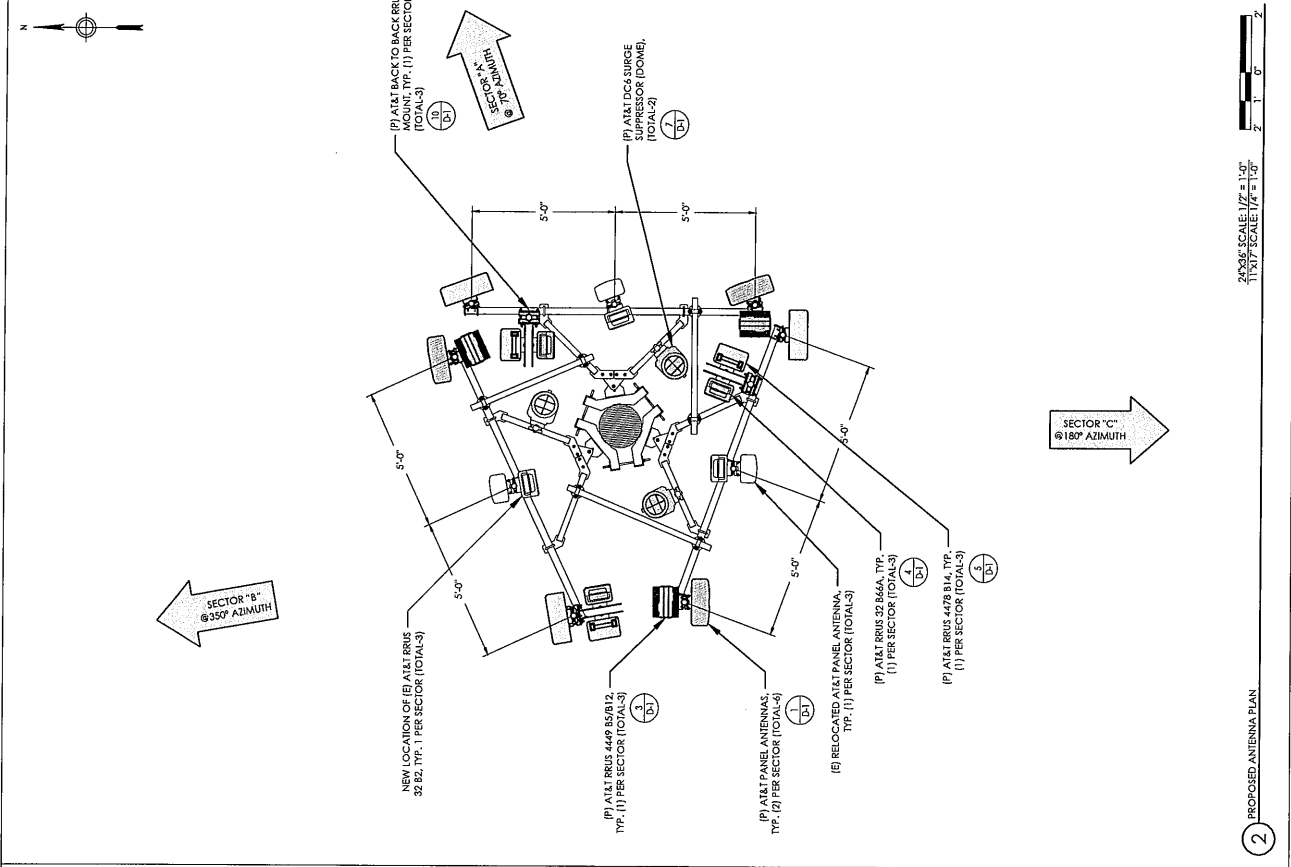
 SIGNED: 2/22/2022
 EXPIRES: 2/22/2026

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Drawn For:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED TO AS "PESCADERO" LOCATED AT THE CORNER OF CREEK ROAD, LOCATED OFF BEAN HOLLOW ROAD, PESCADERO, CA 94060

Sheet Title:
EXISTING & PROPOSED ANTENNA PLANS

Sheet Number:
A-3



2025/6 SCALE: 1/4" = 1'-0"
 11 X 17 SCALE: 1/4" = 1'-0"

1 EXISTING ANTENNA PLAN

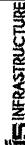
2 PROPOSED ANTENNA PLAN

PREPARED FOR:



500 EXECUTIVE PKWY.
SAN RAMON, CA 94583

Vendor:

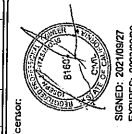


2020 MAIN STREET, SUITE 200
PUNIC, CA 94584
P-49710

AIM Site ID:

CCL05354

REV	DATE	DESCRIPTION	BY
1	05/21/21	ISSUED FOR PERMITS	CV
2	06/02/21	REVISED FOR PERMITS	CV
3	06/02/21	REVISED FOR PERMITS	CV
4	07/21/21	REVISED FOR PERMITS	CV
5	07/21/21	REVISED FOR PERMITS	CV
6	07/21/21	REVISED FOR PERMITS	CV
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9	07/21/21	REVISED FOR PERMITS	CV
10	07/21/21	REVISED FOR PERMITS	CV
11	07/21/21	REVISED FOR PERMITS	CV
12	07/21/21	REVISED FOR PERMITS	CV
13	07/21/21	REVISED FOR PERMITS	CV
14	07/21/21	REVISED FOR PERMITS	CV
15	07/21/21	REVISED FOR PERMITS	CV
16	07/21/21	REVISED FOR PERMITS	CV
17	07/21/21	REVISED FOR PERMITS	CV
18	07/21/21	REVISED FOR PERMITS	CV
19	07/21/21	REVISED FOR PERMITS	CV
20	07/21/21	REVISED FOR PERMITS	CV



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PESCADERO

SITE FOR PERMITS REFERRED TO AS PERMITS FOR THE PROPOSED 5G LTE NETWORK OFF BEAN HOLLOW ROAD, OFF BEAN HOLLOW ROAD, PESCADERO, CA 94060

Sheet Title:

PROPOSED RF SCHEDULE

Sheet Number:

A-3.1

NOTES:
1. ALL PERMITS AND AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.
2. CONTRACTOR IS TO REFER TO A-TATS MOST CURRENT RADIO FREQUENCY DATA SHEET (RFS) PRIOR TO CONSTRUCTION.
3. VISUAL INSPECTION DURING STEEP WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK. SUFFICIENT ROOM.

Position	Antenna		Technology		Type		Existing		Proposed		Location		Azimuth		RAD Center		Line Information		
	Use Existing/Swap/New	Type	Final	Existing	Final	Existing	Type	Final	Existing	Type	Final	Existing	Final	Existing	Final	Existing	Final	Power/Fiber	
1	SWAP	EMPTY PIPE	COMMSCOPE NNHH-65B-R4	n/a	LTE 700 5G 850	n/a	RRUS 4449 B5/B12	TOP	n/a	70	29°	29°	29°	n/a	70	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	USE EXISTING	COMMSCOPE SBNHH-ID65B	COMMSCOPE SBNHH-ID65B	LTE 700 B/C LTE 1900	LTE AWS	RRUS 11E B12 RRUS 32 B2	TOP	TOP	70	70	29°	29°	29°	70	70	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	SWAP	COMMSCOPE CCI	COMMSCOPE SBNHH-ID65B	UMTS 850	LTE 700 LTE 1900	n/a	RRUS 4478 B14 RRUS 32 B2	TOP	TOP	70	70	29°	29°	70	70	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
2	SWAP	COMMSCOPE CCI	COMMSCOPE SBNHH-ID65B	LTE 700 B/C LTE 1900	LTE 700 5G 850 LTE 1900	RRUS 11 B12 RRUS 32 B2	TOP	TOP	350	350	29°	29°	29°	350	350	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	USE EXISTING	COMMSCOPE SBNHH-ID65B	COMMSCOPE SBNHH-ID65B	UMTS 850	n/a	UMTS 850	n/a	n/a	n/a	n/a	n/a	n/a	n/a	350	350	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	SWAP	EMPTY PIPE	COMMSCOPE NNHH-65B-R4	n/a	LTE FNET LTE AWS UMTS 850	n/a	RRUS 4478 B14 RRUS 32 B66A	TOP	TOP	n/a	350	29°	29°	n/a	350	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
3	SWAP	EMPTY PIPE	COMMSCOPE NNHH-65B-R4	n/a	LTE 700 5G 850	n/a	RRUS 4449 B5/B12	TOP	n/a	180	29°	29°	29°	n/a	180	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	USE EXISTING	COMMSCOPE SBNHH-ID65B	COMMSCOPE SBNHH-ID65B	LTE 700 B/C LTE 1900	LTE AWS	RRUS 11E B12 RRUS 32 B2	TOP	TOP	180	180	29°	29°	29°	180	180	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX
	SWAP	COMMSCOPE CCI	COMMSCOPE SBNHH-ID65B	UMTS 850	LTE 700 LTE 1900	n/a	RRUS 4478 B14 RRUS 32 B2	TOP	TOP	180	180	29°	29°	180	180	29°	29°	(2) 7/8" COAX	(2) 7/8" COAX

RRU, TMA, Diplexer, Etc.
ALPHA
BETA
GAMMA

PROPOSED RF SCHEDULE
N.T.S.

REV	DATE	DESCRIPTION	BY
1	07/11/21	ISSUED FOR PERMITS	CV
2	07/11/21	ISSUED FOR PERMITS	CV
3	07/11/21	ISSUED FOR PERMITS	CV
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20	07/11/21	ISSUED FOR PERMITS	CV

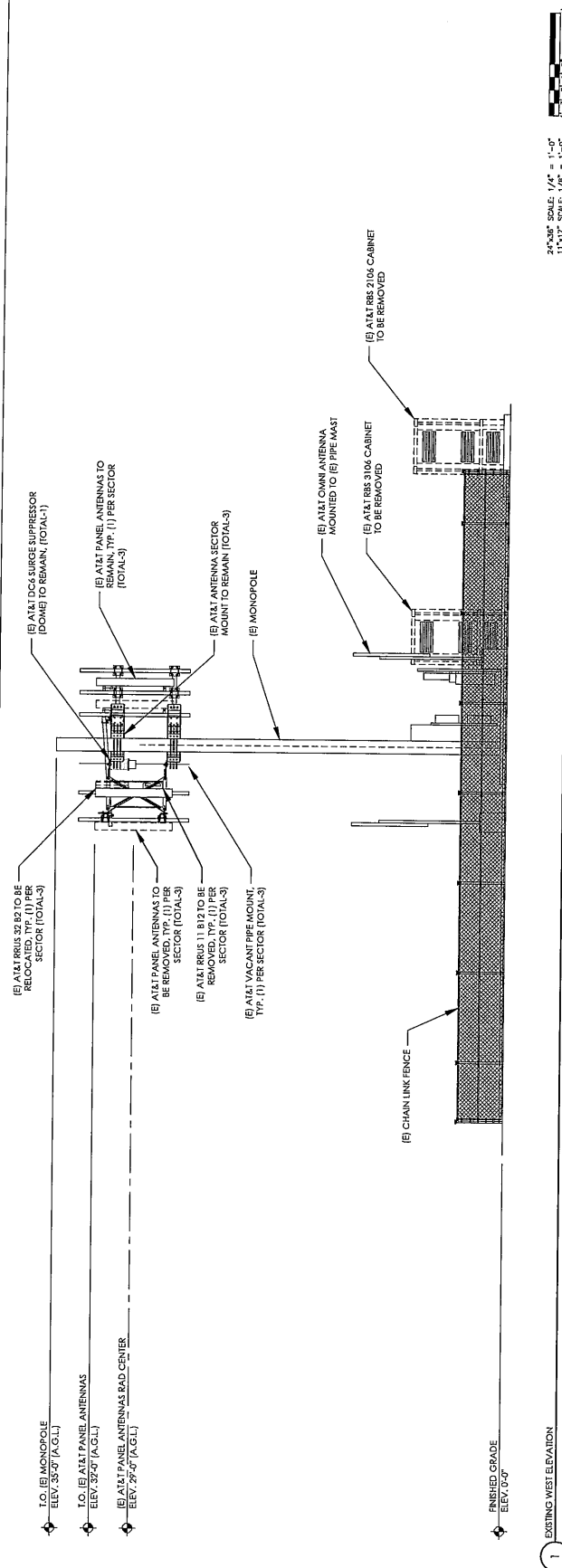


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 TO AS PESCADERO
 1000 PESCADERO
 CREEK, CALIFORNIA (E)
 OFF BEAN HOLLOW ROAD
 PESCADERO, CA 94060

Sheet Title:
**WEST
 ELEVATIONS**

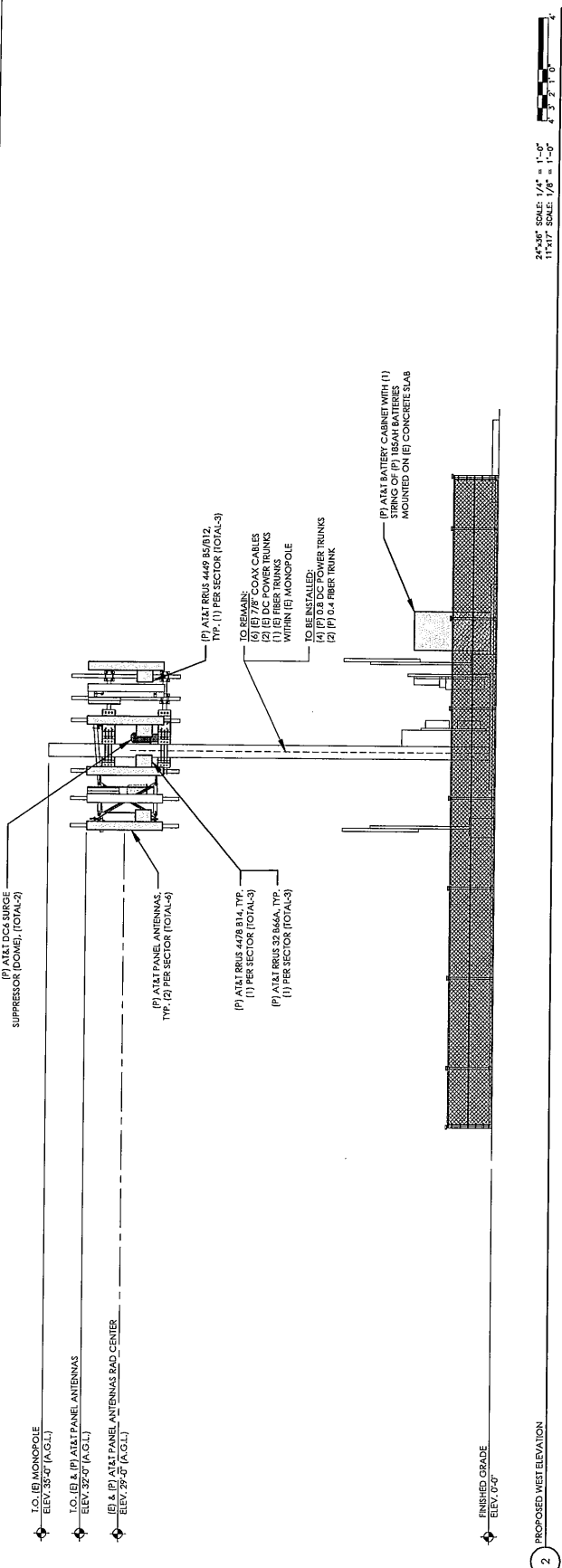
Sheet Number:
A-4



1
 FINISHED GRADE
 ELEV. 7,040'

EXISTING WEST ELEVATION

1
 1"=30' SCALE, 1/8" = 1'-0"
 11"x17" SCALE, 1/8" = 1'-0"



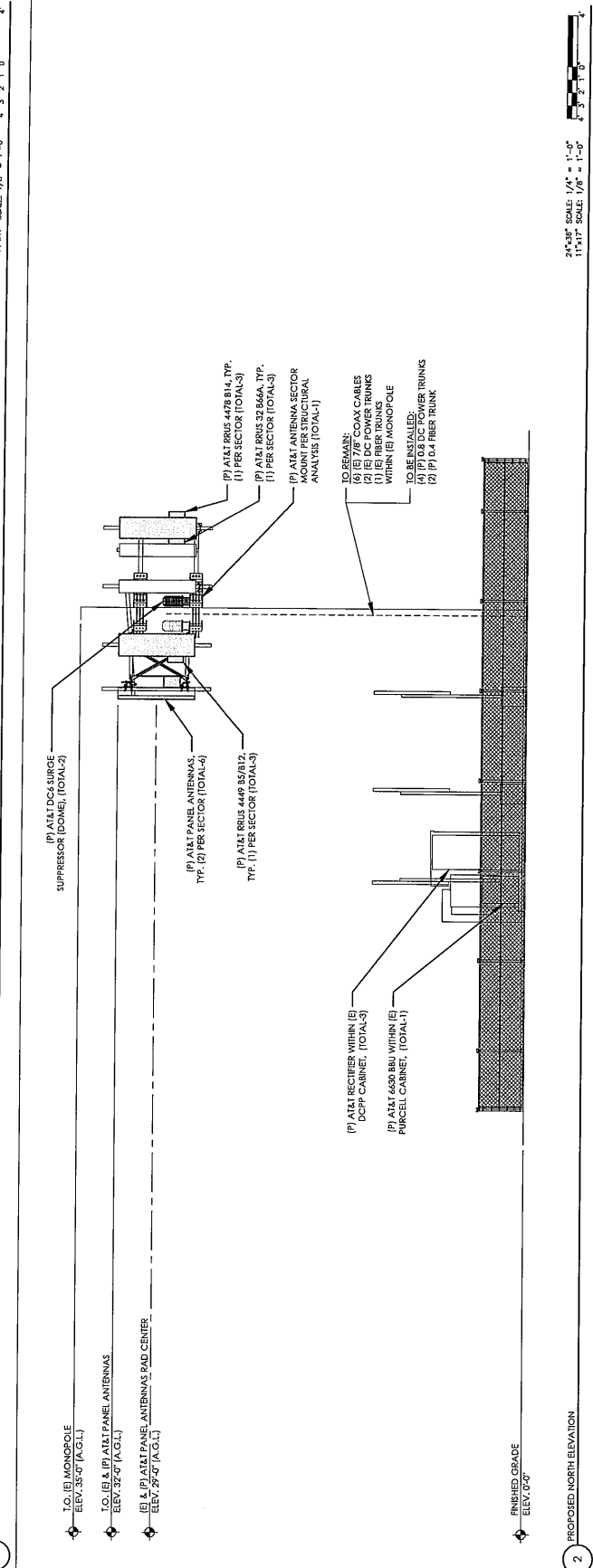
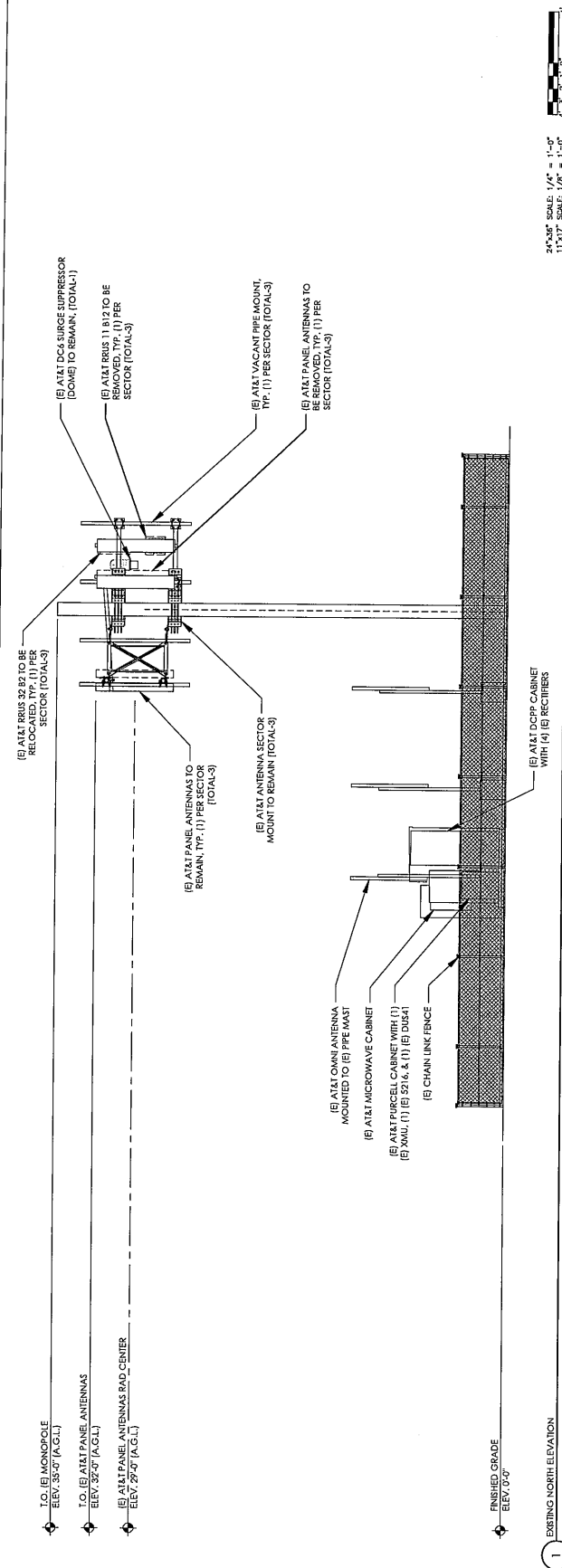
2
 FINISHED GRADE
 ELEV. 7,040'

PROPOSED WEST ELEVATION


2
 1"=30' SCALE, 1/8" = 1'-0"
 11"x17" SCALE, 1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY	CHK
1	09/22/21	ISSUE/REVISED/PT. CV		
2	09/22/21	ISSUE/REVISED/PT. CV		
3	09/22/21	ISSUE/REVISED/PT. CV		
4	09/22/21	ISSUE/REVISED/PT. CV		
5	09/22/21	ISSUE/REVISED/PT. CV		
6	09/22/21	ISSUE/REVISED/PT. CV		
7	09/22/21	ISSUE/REVISED/PT. CV		
8	09/22/21	ISSUE/REVISED/PT. CV		
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19	09/22/21	ISSUE/REVISED/PT. CV		
20	09/22/21	ISSUE/REVISED/PT. CV		

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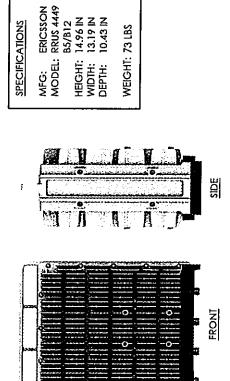
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2	09/24/97	ISSUE FOR CONSTRUCTION	CT	
3	04/02/97	ISSUE REPORT	JT	
4	04/02/97	REVISED WORK CD	JT	
5	05/27/97	WORK CD	JT	
6	07/11/97	REVISED WORK CD	MMK	
7	10/16/97	WORK CD	MMK	
8	10/16/97	DESCRIPTION	MMK	

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 ESCADARO
 SITE FORMERLY REFERRED
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 CREEK ROAD, LOCATED
 OFF BEAN HOLLOW ROAD
 ESCADARO, CA 94800

Sheet Title:
DETAILS
 Sheet Number:
D-1

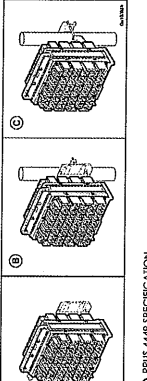
SPECIFICATIONS
 MFG: ERICSSON
 MODEL: RRUS 4449
 HEIGHT: 85/81.2 IN
 WIDTH: 13.19 IN
 DEPTH: 10.43 IN
 WEIGHT: 73 LB



FRONT
 SIDE

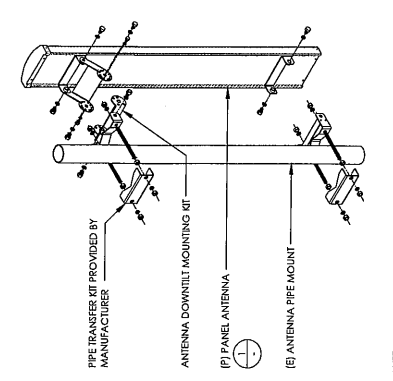
NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.

MOUNTING KIT OPTIONS:



(A) (B) (C)

3 RRUS 4449 SPECIFICATION
 N.T.S.

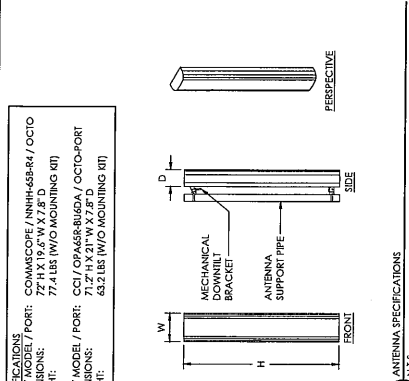


(F) PANEL ANTENNA
 (E) ANTENNA PIPE MOUNT
 (D) ANTENNA DOWNHILL MOUNTING KIT

PIPE TRANSFER KIT PROVIDED BY MANUFACTURER

2 ANTENNA MOUNTING DETAIL
 N.T.S.

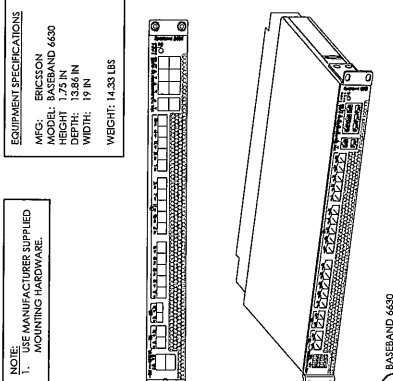
SPECIFICATIONS
 MFG / PORT: COMMSCOPE / NINA-68-84 / OCTIO
 MODEL: 72" H X 19.4" W X 7.8" D
 WEIGHT: 77.4 LBS (W/O MOUNTING KIT)
 MFG / MODEL / PORT: CCI / OPA468 BUND / OCTO-PORT
 DIMENSIONS: 71.2" H X 21" W X 7.2" D
 WEIGHT: 63.2 LBS (W/O MOUNTING KIT)



FRONT
 SIDE
 PERSPECTIVE

1 ANTENNA SPECIFICATIONS
 N.T.S.

EQUIPMENT SPECIFICATIONS
 MFG: ERICSSON
 MODEL: BASEBAND 6430
 HEIGHT: 18.1 IN
 WIDTH: 13.86 IN
 DEPTH: 19 IN
 WEIGHT: 14.33 LBS



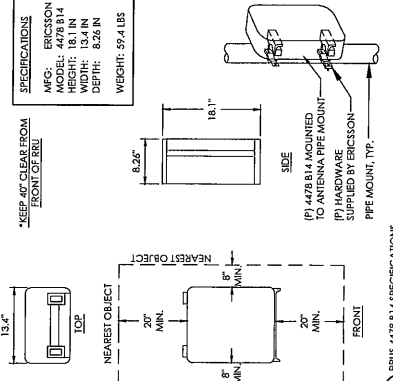
FRONT
 SIDE

NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.

6 BASEBAND 6430
 N.T.S.

SPECIFICATIONS
 MFG: ERICSSON
 MODEL: 4478 B14
 HEIGHT: 18.1 IN
 WIDTH: 13.1 IN
 DEPTH: 8.26 IN
 WEIGHT: 59.4 LBS

KEEP 40% CLEAR FROM FRONT OF RUI



FRONT
 SIDE

(P) 4478 B14 MOUNTED TO ANTENNA PIPE MOUNT - SUPPLIED BY ERICSSON

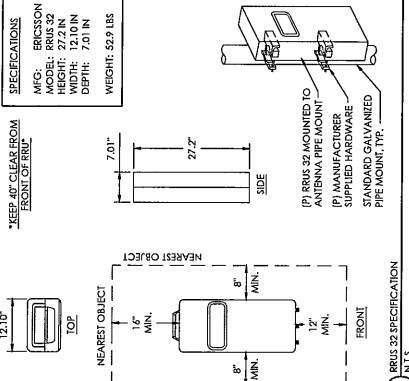
(P) HARDWARE SUPPLIED BY ERICSSON

PIPE MOUNT, TYP.

5 RRUS 4478 B14 SPECIFICATIONS
 N.T.S.

SPECIFICATIONS
 MFG: ERICSSON
 MODEL: RRUS 32
 HEIGHT: 12.1 IN
 WIDTH: 7.01 IN
 DEPTH: 7.01 IN
 WEIGHT: 59.9 LBS

KEEP 40% CLEAR FROM FRONT OF RUI



FRONT
 SIDE

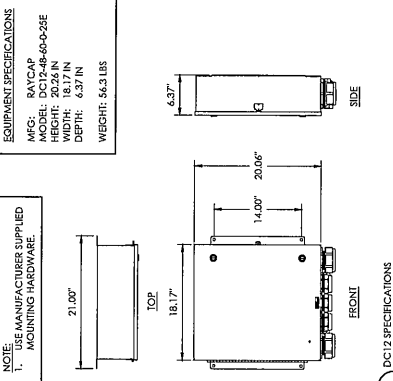
(P) RRUS 32 MOUNTED TO ANTENNA PIPE MOUNT - SUPPLIED BY ERICSSON

(P) MANUFACTURER SUPPLIED HARDWARE

STANDARD GALVANNEED PIPE MOUNT, TYP.

4 RRUS 32 SPECIFICATION
 N.T.S.

EQUIPMENT SPECIFICATIONS
 MFG: RAYCAP
 MODEL: DC12-48-60-2SE
 HEIGHT: 20.26 IN
 WIDTH: 18.17 IN
 DEPTH: 6.37 IN
 WEIGHT: 54.3 LBS

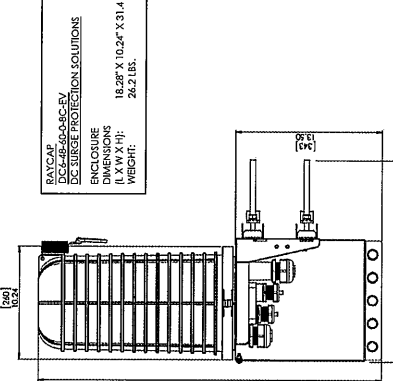


FRONT
 SIDE

NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.

9 DC12 SPECIFICATIONS
 N.T.S.

RAYCAP DC-48-60-2SEV DC SURGE PROTECTION SOLUTIONS ENCLOSURE DIMENSIONS (H): WEIGHT:
 18.98" X 10.24" X 31.4
 26.2 LBS.



FRONT
 SIDE

MONOPOLE MOUNT - USE 1" STAINLESS STEEL BRACKETS (NOT SUPPLIED) MOUNT TO MONOPOLE

POLE MOUNT - USING PRE-INSTALLED BRACKETS (NOT SUPPLIED) MOUNT TO 2" TO 4" DIAMETER POLE

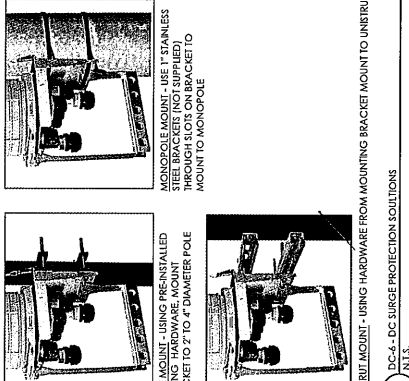
UNIBRIT MOUNT - USING HARDWARE FROM MOUNTING BRACKET MOUNT TO UNIBRIT

7 DC-4 DC SURGE PROTECTION SOLUTIONS
 N.T.S.

SPECIFICATIONS
 MFG: ERICSSON
 MODEL: RRUS 4471
 WEIGHT: 16.8 LBS
 FEATURES: ACCOMMODATES ALL CURRENT ERICSSON MODEL RRUS

60 TO UNITE ADAPTER PLATE FOR 4471/RRUS PIGTAILS

REFERENCE MANUFACTURER SPECS FOR INSTALLATION



FRONT
 SIDE

(N) 1/2" BOLTS, TORQUED AT 43 FT-LB

(N) SUPPORT ARM, 4000 PR6506

(N) LOCK NUT M10 A4, DIN 934, #1405

(N) WASHER M10 A4, DIN 125 A, #1308

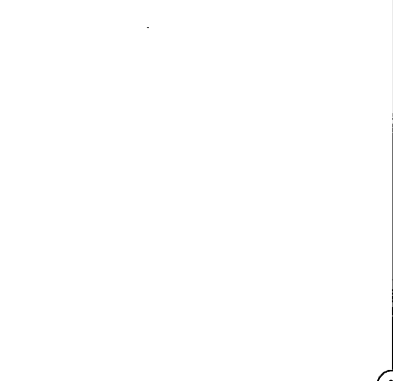
(N) BOLT M10 DASH A4, DIN 933, #2243

(N) BOLT M10 DASH A4, DIN 934, #2243

(N) TORQUE TO 30.24 FT-LB

10 RRU MOUNTING BRACKET (BACK TO BACK)
 N.T.S.

HOOD MOUNTED CONDUIT DETAIL
 N.T.S.



RRU (REMOTE RADIO UNIT)

RRU SUPPORT BRACKET (BACK TO BACK)

Ericsson Dual RRU Support

11 HOOD MOUNTED CONDUIT DETAIL
 N.T.S.

HOOD MOUNTED CONDUIT (PER PLAN)

HOLD DOWN CLAMP (PER PLAN)

1/4" X 1/4" LAG SCREWS

6" X 6" 1/2" PRESSURE TREATED, KILN DRIED LUMBER MOUNTED ON GROUND. (ALTERNATE: PVC SLEEPER MICROFLECT 11585 OR EQUAL)

12


RRU MOUNTING BRACKET (BACK TO BACK)
 N.T.S.

PREPARED FOR
AT&T
 5001 EXECUTIVE PARKWAY
 SAN RAMON, CA 94583

Vendor:
IS INFRASTRUCTURE
 2000 MAIN STREET, SUITE 200
 IRVINE, CA 92614
 P-649710

A&T Site ID:
CCL05354

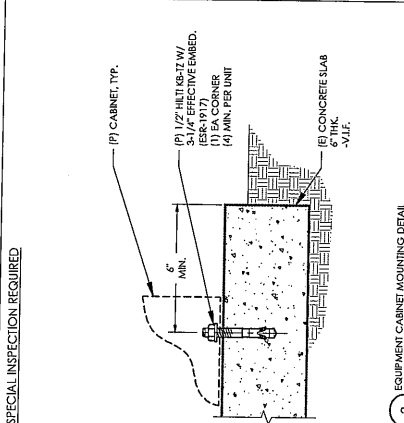
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10	02/22/21	ISSUE/REVISED	CV		
11	02/22/21	ISSUE/REVISED	CV		
12	02/22/21	ISSUE/REVISED	CV		

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CC105354
 FISCADARAO
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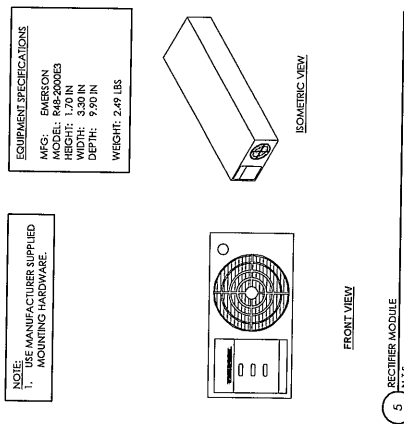
Sheet Title:
DETAILS
 Sheet Number:
D-2

3 SPECIAL INSPECTION REQUIRED



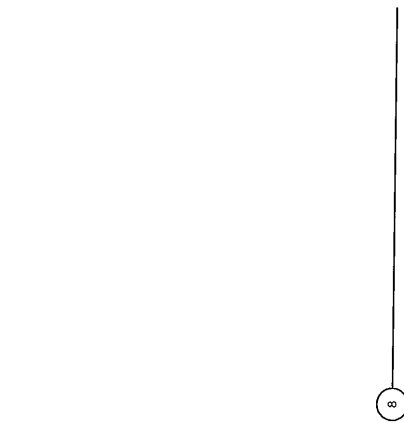
2 EQUIPMENT CABINET MOUNTING DETAIL
 N.I.S.

6



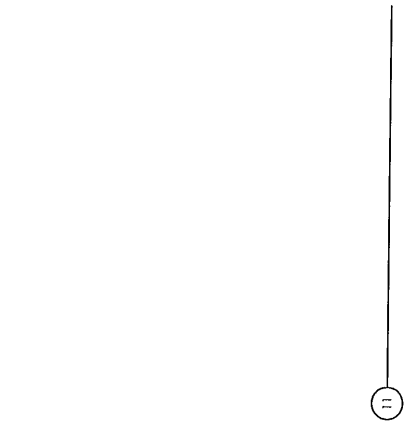
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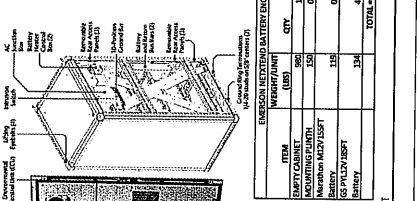
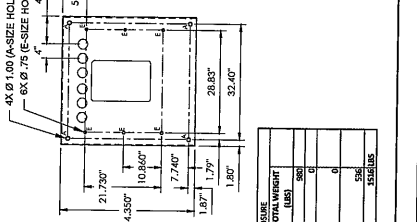
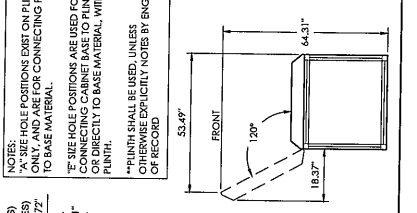
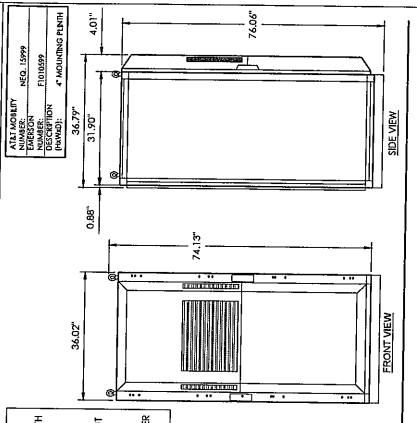


8

12



11



ITEM	QTY	TOTAL WEIGHT (LBS)
EMERSON NEXTEND BATTERY ENCLOSURE	1	134
EMPTY CABINET	1	134
MOUNTING PLINTH	1	134
BATTERY	1	134
TOTAL	4	536

1 EMERSON NEXTEND BATTERY CABINET
 N.I.S.

NOTES:
 A SIZE HOLE POSITIONS EXIST ON PLINTH ONLY, AND ARE FOR CONNECTING PLINTH TO BASE MATERIAL.
 E SIZE HOLE POSITIONS ARE USED FOR CONNECTING CABINET BASE TO PLINTH, OR DIRECTLY TO BASE MATERIAL, WITHOUT PLINTH.
 **PLINTH SHALL BE USED, UNLESS OTHERWISE EXPLICITLY NOTED BY ENGINEER ON RECORD.

COLOR FINISHES:
 OFF-WHITE
 MOUNTING PLINTH: 4\"/>


PREPARED FOR

 9001 EXECUTIVE PKWY.
 SAN RAMON, CA 94583

Vendor:
ISI INFRASTRUCTURE
 2300 MAIN STREET, SUITE 200
 IRVINE, CA 92614
 P: 9497710

AT&T Site ID:
CCL05354

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 AS 1000 PISCADERO
 CREEK ROAD, LOCATED
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 PISCADERO, CA 94260

Sheet Title:
**EME SIGNAGE
 LOCATION PLAN**

Sheet Number:
EME-1



NOTE:
 1. ALL SAFETY MEASURES COMPLETED PER EME REPORT
 COMPLETED ON 06/25/2021, BY "OSC ENGINEERING, INC"
 2. ANY OTHER RE REPORT IS FOR REFERENCE ONLY.

- RECOMMENDATIONS:
- ARE ACCESS POINT(S):
 - CAUTION SIGN 28 (TOWER @ BASE)
 - "X" MARK (TOWER @ BASE)
 - AT&T SIGN (BE POSTED)
 - NO SIGNAGE OR BARRIER
 - ACTION REQUIRED: B
 - NO SIGNAGE OR BARRIER
 - ACTION REQUIRED: C
 - NO SIGNAGE OR BARRIER
 - ACTION REQUIRED: C

24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"



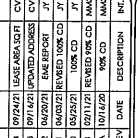
PREPARED FOR:
AT&T
500 EXECUTIVE PKWY.
SAN RAMON, CA 94583

Vendor:
J&S INFRASTRUCTURE
2000 MAIN STREET, SUITE 200
IRVINE, CA 94604
P-449710

AT&T Site ID:
CCL05354

1	08/21/01	ISSUE FOR COST	CS
2	09/10/01	UPDATE FOR COST	CS
3	04/22/01	DATE REVISION	JT
4	04/22/01	DATE REVISION	JT
5	03/22/01	REVISED PER CD	JT
6	02/11/01	REVISED PER CD	MM
7	10/11/00	REVISED PER CD	MM
8	10/11/00	REVISED PER CD	MM
9	10/11/00	REVISED PER CD	MM

Licensee:
SIGNED: 2021/05/27
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OFF BEAN HOLLOW ROAD
PESCADERO, CA 94060

Sheet Title:
**SINGLE LINE
DIAGRAM
C
PANEL SCHEDULE**

Sheet Number:
E-1

VOLTAGE: 120/240V, 1-PHASE, 3W, 200A, 42 KAIC
MOUNTING: SURFACE
MAIN CR: 2P/100A

LOCATION: @ LEASE AREA
NEMA: 1

VOLT AMPS PHASE	DESCRIPTION	PANEL 'A'		PANEL 'B'		POLE	L	U	R	B	L	U	R	B	V/LINE	VA/LINE	PHASE B =	8000 VA	8000 VA	0	
		A	B	A	B																
2000	RECEPTACLE (OSFI)	1	20	1	20	1	20	2	20	1	20	4	20	1	20	40	20	1	20	40	20
2000	A/C UNIT (OSFI)	1	30	3	30	1	30	4	30	1	30	6	30	1	30	60	30	1	30	60	30
2000	RECT 182	2	40	5	40	2	40	6	40	2	40	8	40	2	40	80	40	2	40	80	40
2000	RECT 384	2	40	7	40	2	40	8	40	2	40	10	40	2	40	100	40	2	40	100	40
2000	RECT 586	2	40	11	40	2	40	12	40	2	40	14	40	2	40	140	40	2	40	140	40
2000	RECT 788	2	40	13	40	2	40	14	40	2	40	16	40	2	40	160	40	2	40	160	40
2000	Space			15				16				18				180				180	
2000	Space			17				18				20				200				200	
2000	Space			19				20				22				220				220	
2000	Space			21				22				24				240				240	
8000	8000			23				24								8000				8000	

CONNECTED LOAD:
PHASE A = 15000 VA
PHASE B = 10000 VA
8000 VA
CONNECTED AMPS: 66.7 A

2 EXISTING AC PANEL SCHEDULE

VOLTAGE: 120/240V, 1-PHASE, 3W, 200A, 42 KAIC
MOUNTING: SURFACE
MAIN CR: 2P/100A

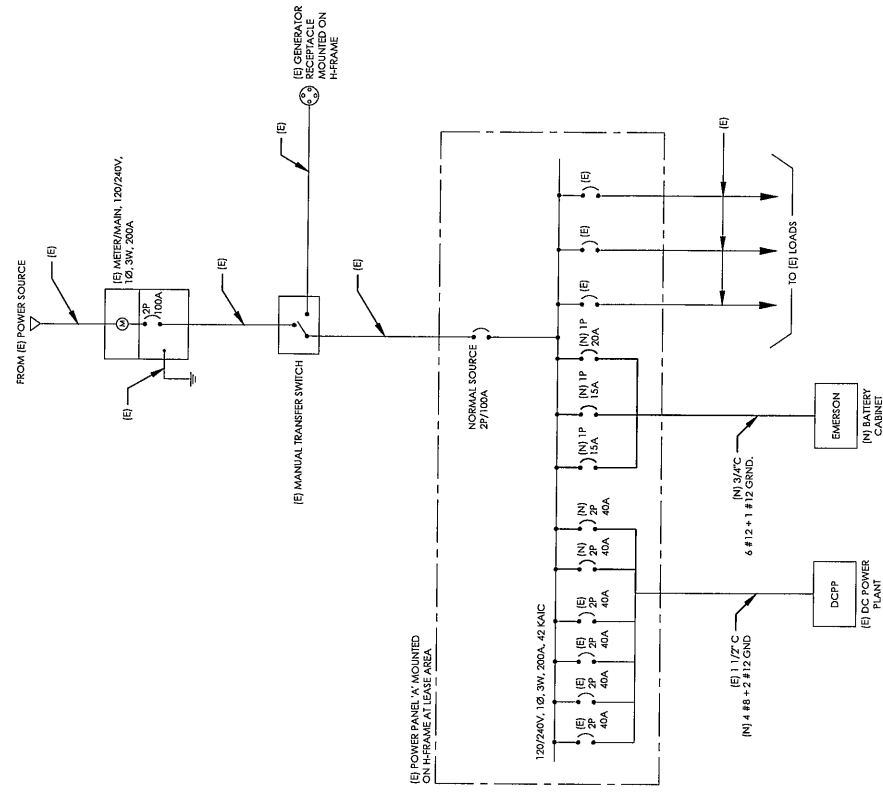
LOCATION: @ LEASE AREA
NEMA: 1

VOLT AMPS PHASE	DESCRIPTION	PANEL 'A'		PANEL 'B'		POLE	L	U	R	B	L	U	R	B	V/LINE	VA/LINE	PHASE B =	10560 VA	10560 VA	2560	
		A	B	A	B																
2000	RECEPTACLE (OSFI)	1	20	1	20	1	20	2	20	1	20	4	20	1	20	40	20	1	20	40	20
2000	A/C UNIT (OSFI)	1	30	3	30	1	30	4	30	1	30	6	30	1	30	60	30	1	30	60	30
2000	RECT 182	2	40	5	40	2	40	6	40	2	40	8	40	2	40	80	40	2	40	80	40
2000	RECT 384	2	40	7	40	2	40	8	40	2	40	10	40	2	40	100	40	2	40	100	40
2000	RECT 586	2	40	11	40	2	40	12	40	2	40	14	40	2	40	140	40	2	40	140	40
2000	RECT 788	2	40	13	40	2	40	14	40	2	40	16	40	2	40	160	40	2	40	160	40
2000	Space			15				16				18				180				180	
2000	Space			17				18				20				200				200	
2000	Space			19				20				22				220				220	
2000	Space			21				22				24				240				240	
8000	8000			23				24								8000				8000	

CONNECTED LOAD:
PHASE A = 12540 VA
PHASE B = 10560 VA
22800 VA
CONNECTED AMPS: 96.4 A

- NOTES:
1. INSTALL (Q) 2P/40A AT CKT #48 AND #10-12 FOR ADDITIONAL RECTIFIERS.
2. (P) BATTERY CABINET WILL BE ADDED TO THIS PROJECT.
3. INSTALL (I) 1P/20A AT CKT #18 TO PROVIDE POWER TO BATTERY CAB GFI. INSTALL (P) 1P/15A AT CKT #14 & #16 TO PROVIDE POWER TO BATTERY CAB HEATER.

3 PROPOSED AC PANEL SCHEDULE



(E) POWER PANEL 'A' MOUNTED ON H-FRAME AT LEASE AREA

1 AC SINGLE LINE DIAGRAM

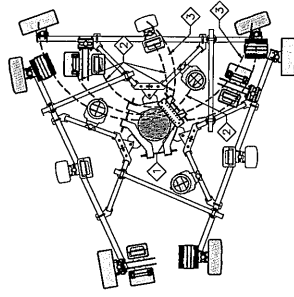
GROUNDING NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONDITIONS.
- ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
- ALL BOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE ABOVE GRADE CONNECTIONS; EXOTHERMIC WELD TYPE BELOW GRADE OR 2" MINIMUM BELOW THE FROST LINE.
- GROUND RING SHALL BE LOCATED AT MINIMUM OF 24" BELOW GRADE OR 2" MINIMUM BELOW THE FROST LINE.
- INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR PILE.
- EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
- GROUND BARS:
 - EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT THE BOTTOM OF ANTENNA POLE/MAST FOR MAKING CONNECTIONS TO ALL COAXIAL CABLES AND POWER FEEDER CABLES SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPER (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
- OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
- GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).
- IF EQUIPMENT IS IN A CELL FENCE ENCLOSURE, GROUND ONLY CORNER POSTS AND SUPPORT POSTS OF GATE. IF CHAIN LINK LID IS USED, THEN GROUND LID ALSO.
- GROUNDING AT PFC CABINET SHALL BE VERTICALLY INSTALLED.
- ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT IT WILL BY-PASS MAIN BUS BAR.
- ALL EMT RUNS SHALL BE GROUNDING AND HAVE A BUSHING, NO PVC ABOVE GROUND.
- USE SEPARATE HOLES FOR GROUNDING AT BUS BAR. NO "DOUBLE-UP" OF LUGS.
- POWER AND TESCO CABINETS SHALL BE GROUNDING (BONDED) TOGETHER.
- NO LUGS ALLOWED ON GROUNDING.
- PROVIDE STAINLESS STEEL CLAMP AND BRASS TAGS ON COAX AT ANTENNAS AND DOGHOUSE.
- ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER SPECIFICATION.
- IF THE AC PANEL IN THE POWER CABINET IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND CONDUCTOR SHALL BE CONNECTED TO GROUND ELECTRODE SYSTEM. WHEN THE AC SERVICE ENTRANCE IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND WIRE SHALL BE INSTALLED IN THE POWER CONDUIT. THE INSTALLATION SHALL BE PER LOCAL AND NATIONAL ELECTRIC CODE (NFPA-70).
- EXOTHERMIC WELDING IS RECOMMENDED FOR GROUNDING CONNECTIONS WHERE PRACTICAL. OTHERWISE, THE CONNECTION SHALL BE MADE USING COMPRESSION TYPE-2 LUGS. THE COAXIAL CABLES SHALL BE LOCATED WITH "C" CLAMP. THE COPPER CABLES SHALL BE LOCATED WITH "C" CLAMP. THE COPPER CABLES SHALL BE LOCATED WITH ANTI-OXIDANT (COPPER SHIELD) BEFORE MAKING THE CONNECTIONS. THE MANUFACTURER'S TORQUING SPECIFICATIONS SHALL BE FOLLOWED.
- THE ANTENNA CABLES SHALL BE GROUNDING AT THE TOP AND BOTTOM OF ANTENNA. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUS AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL RUN. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO THE GROUND BUS AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDING JUST BEFORE ENTERING THE CELL CABINET. ANY ANTENNA CABLES OVER 200 FEET IN LENGTH SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING AT MID-POINT.
- ALL GROUNDING CONDUCTORS INSIDE THE BUILDING SHALL BE RUN IN CONDUIT RACEWAY SYSTEM, AND SHALL BE INSTALLED AS STRAIGHT AS PRACTICAL. WITH MINOR BENDS TO AVOID

- OBSTRUCTIONS. THE BENDING RADIUS OF ANY #2 GROUNDING CONDUCTORS IF PVC RACEWAY MAY BE FLEXIBLE OR RIGID. THE RADIUS OF BENDING SHALL BE AS PER THE MANUFACTURER'S INSTRUCTIONS. DO NOT MAKE CONTACT WITH ANY METALLIC CONDUITS, SURFACES OR EQUIPMENT.
- PROVIDE PVC SLEEVES WHERE GROUNDING CONDUCTORS PASS THROUGH THE BUILDING WALLS AND/OR CEILING.
- INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUS IN THE PANEL BOARD.
- GROUND ANTENNA BASES, FRAMES, CABLE BACS AND OTHER METALLIC COMPONENTS WITH #2 GROUNDING CONDUCTORS TO THE MAIN GROUND BAR. CONNECTION DETAILS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR GROUNDING.
- ALL PROPOSED GROUNDING CONDUCTORS SHALL BE BOLTED AND CONNECTED TO THE MAIN GROUND BAR OR EXISTING GROUND RING.

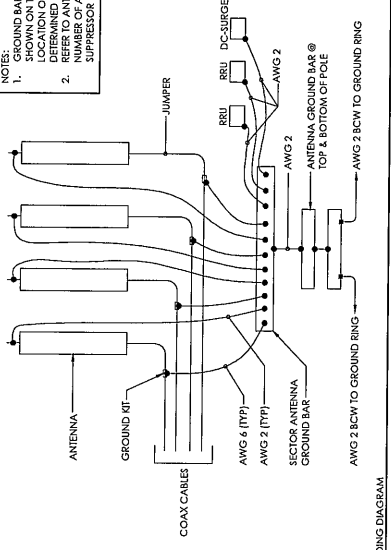
KEY NOTES:

- ⬠ (E) ANTENNA GROUND BAR TO BE VERIFIED @ FIELD
 - ⬠ AWG 2 INSULATED COPPER GROUND WIRE FROM (N) RRUS, RELOCATED RRUS, (N) DCA, AND RELOCATED DCA TO (E) ANTENNA GROUND BAR
 - ⬠ AWG 6 INSULATED COPPER GROUND WIRE FROM (N) ANTENNA AND RELOCATED ANTENNA GROUND (E) TO (E) ANTENNA GROUND BAR
- NOTE: (E) ANTENNA GROUNDING DIAGRAM AND (N) ANTENNA GROUNDING WIRE ARE NOT SHOWN FOR CLARITY
- (E) ANTENNA GROUNDING DIAGRAM
 - (E) GROUND WIRES ARE NOT SHOWN FOR CLARITY



3 ANTENNA GROUNDING PLAN (ITP, PER SECTOR)
1/2" = 1'-0"

NOTES:
1. GROUND BAR LOCATION IS SCHEMATIC AS SHOWN. THE EXACT LOCATION OF INSTALL AND ACTUAL LOCATION OF INSTALL SHALL BE DETERMINED BY THE INSTALLER. REFER TO ANTENNA PLAN FOR EXACT LOCATION OF ANTENNA, RRU AND DC SURGE SUPPRESSOR



2 ITP ANTENNA GROUNDING DIAGRAM
N.T.S.

4 GROUNDING NOTES
N.T.S.

PREPARED FOR
AT&T
5001 EXECUTIVE PKWY.
SAN RAMON CA 94583

Vendor:
JES INFRASTRUCTURE
2030 MAIN STREET, SUITE 200
MAYFIELD CA 94554
FO49710

AT&T Site ID:
CCL05354

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License:
Professional Engineer
SIGNED: 20210927
EXPIRES: 20230520

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Prepared for:
CCL05354
PESCADERO
SITE FORMERLY REFERRED TO AS "PESCADERO" LOCATED OFF BEAN HOLLOW ROAD PESCADERO, CA 94060

Sheet Title:
GROUNDING PLANS & NOTES

Sheet Number:
G-1

PREPARED FOR
AT&T
 5001 EXECUTIVE PKWY.
 SAN RAMON, CA 94583

Vendor:
J&S INFRASTRUCTURE
 2550 WILSON STREET, SUITE 200
 IRVINE, CA 92614
 P-949710

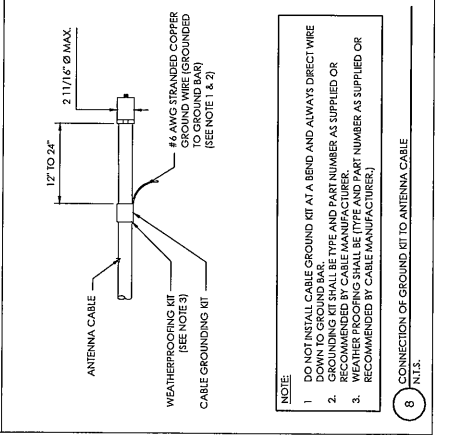
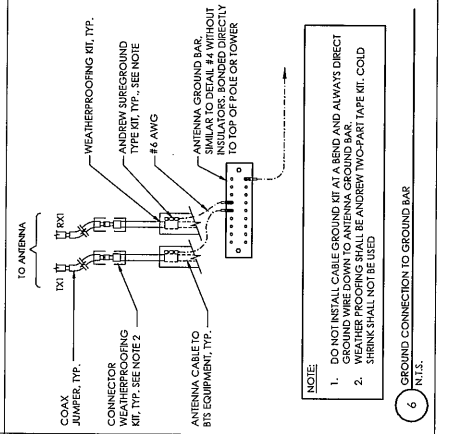
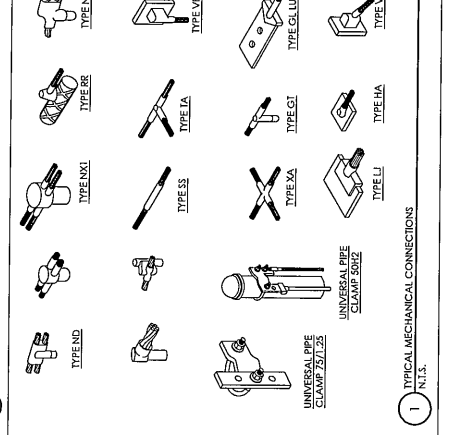
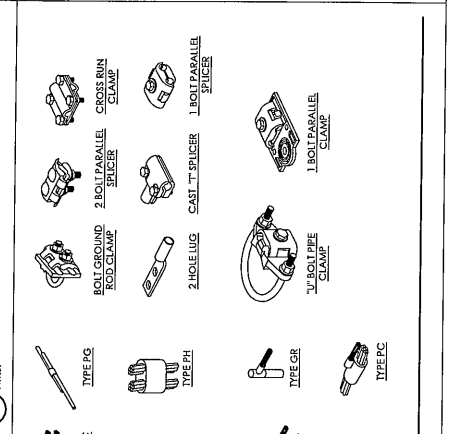
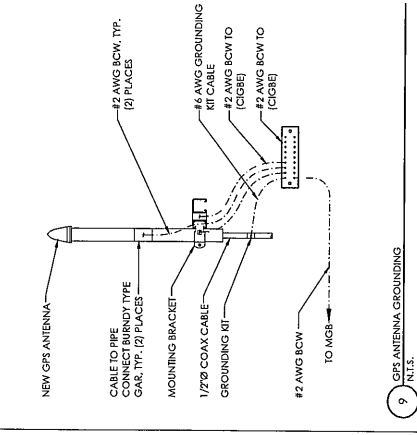
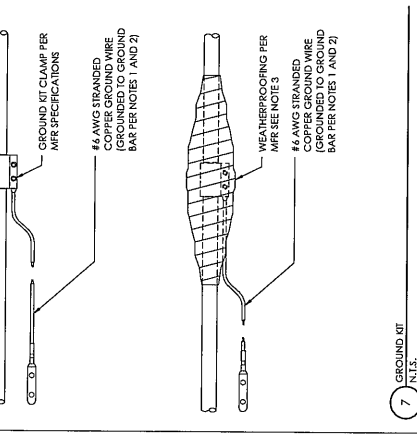
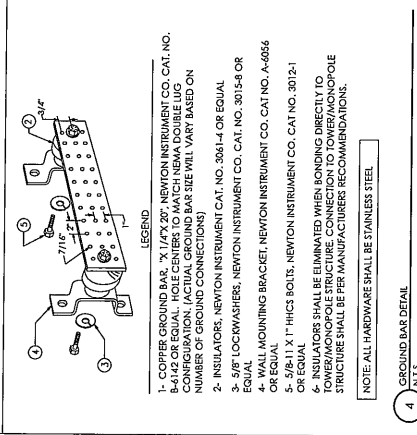
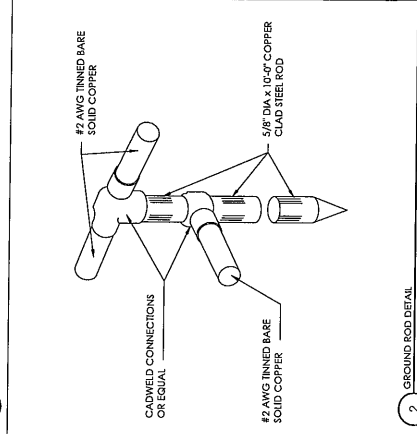
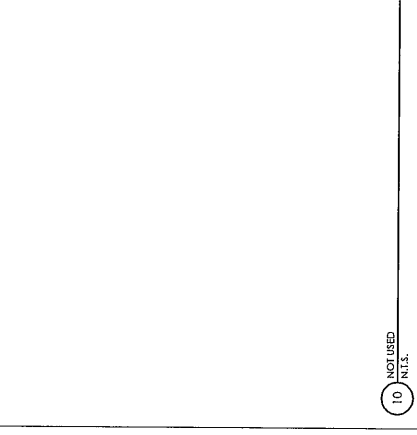
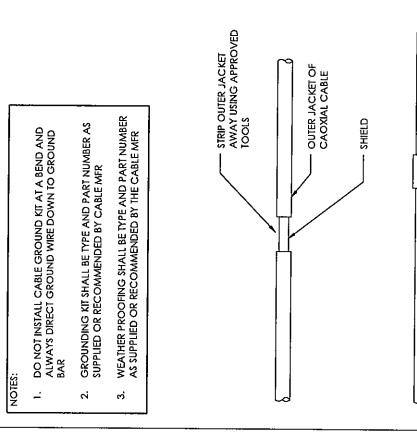
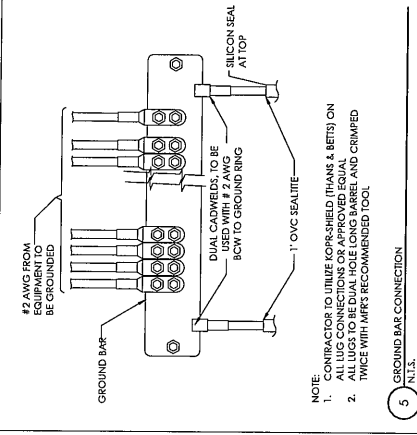
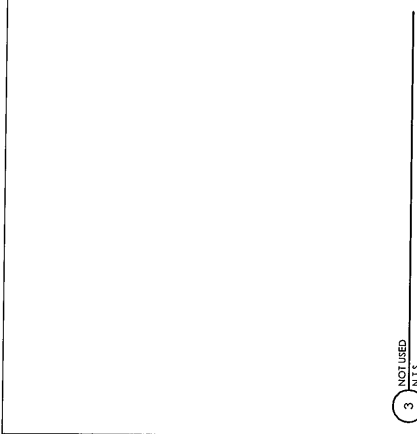
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CCL05354

REV	DATE	DESCRIPTION	BY
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3	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
4	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
5	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
6	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
7	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
8	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
9	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV
10	02/22/21	REVISED TO ADD 2" DIA. 10" LUG	CV

USER:
SCOTT A. BROWN
 LICENSED PROFESSIONAL ENGINEER
 EXPIRES: 02/28/27
 EXPIRES: 02/28/27

Drawn For:
CCL05354
PESCADARO
 SITE FORMERLY REFERRED
 TO AS "SUNNYVALE"
 CREEK ROAD, LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CA 94060

Sheet Title:
GROUNDING DETAILS
 Sheet Number:
G-2



NOTE:
 1. CONTRACTOR TO UTILIZE COPPER-SHEATHED (THANS & BETS) ON ALL LUG CONNECTIONS OR APPROVED EQUAL.
 2. ALL LUGS TO BE 2" DIA. HOLES LONG BARREL AND CRIMPED TWICE WITH MFR'S RECOMMENDED TOOL.

NOTE:
 1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MFR.
 3. WEATHER PROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY THE CABLE MFR.

NOTE:
 1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
 2. WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

NOTE:
 1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT WIRE TO GROUND BAR.
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 3. WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER).

NOT USED
 N.I.S.

NOT USED
 N.I.S.

NOT USED
 N.I.S.

NOT USED
 N.I.S.

LEGEND

LEGEND

LEGEND

LEGEND

- 1- COPPER GROUND BAR, 1/2" X 1/4" X 20", NEWTON INSTRUMENT CO. CAT. NO. B-412 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
- 2- INSULATORS, NEWTON INSTRUMENT CO. CAT. NO. 3061-4 OR EQUAL
- 3- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUAL
- 4- 1/2" MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6056 OR EQUAL
- 5- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL
- 6- INSULATORS SHALL BE ELIMINATED WHEN JOINING DIRECTLY TO TOWER/POLE STRUCTURE. CONNECTION TO TOWER/MONOPOLE STRUCTURE SHALL BE PER MANUFACTURER RECOMMENDATION.

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NOTE: ALL HARDWARE SHALL BE STAINLESS STEEL

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NOTES TO CONTRACTOR:
 1. CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFSD) PRIOR TO CONSTRUCTION.

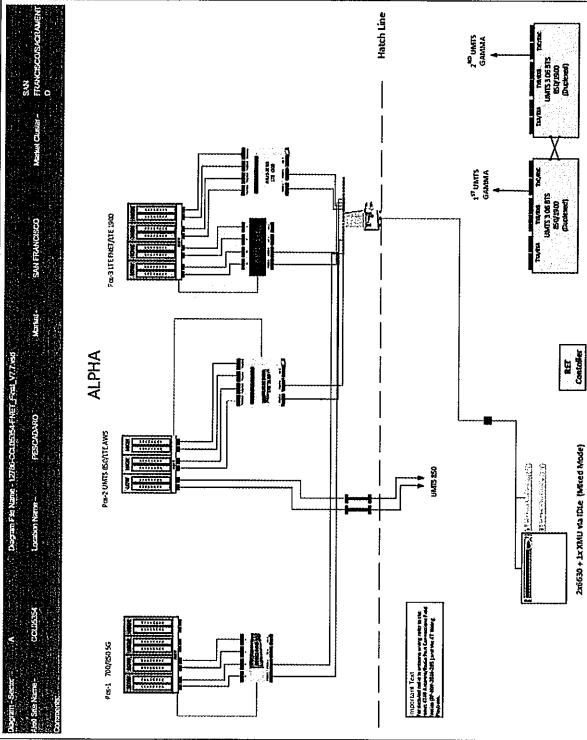
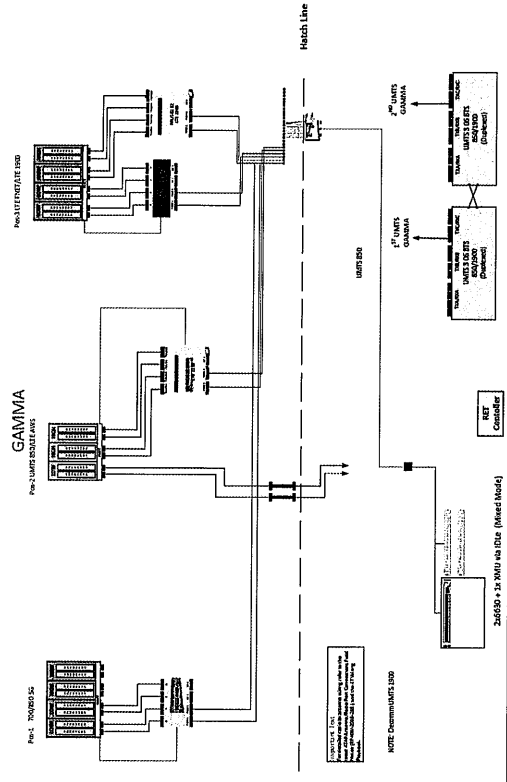
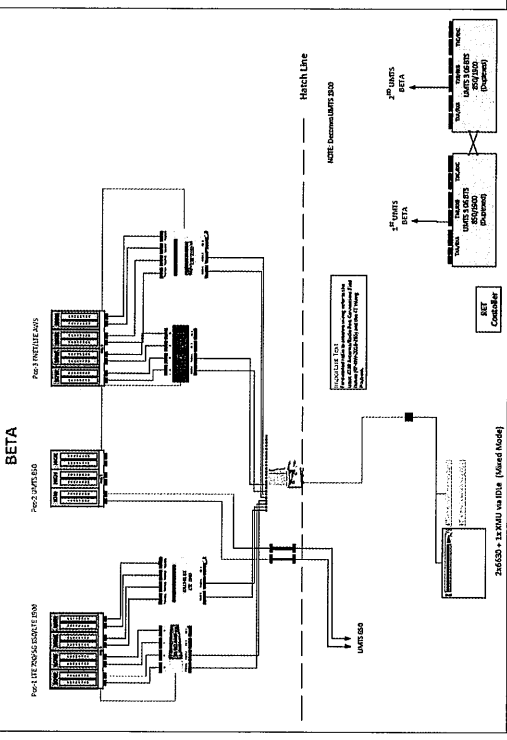


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 State: CA
 City: SAN FRANCISCO
 Date: 11/21/02
 Author: [Redacted]
 Checker: [Redacted]
 Title: RFSD

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 Project No: 202-109427
 Location Name: CCL05354
 SAN FRANCISCO
 State: CA
 City: SAN FRANCISCO
 Date: 11/21/02
 Author: [Redacted]
 Checker: [Redacted]
 Title: RFSD



PREPARED FOR
AT&T
 5601 EXECUTIVE PKWY,
 SAN RAMON, CA 94583

Vendor:
JS INFRASTRUCTURE
 2530 MAIN STREET, SUITE 200
 IRVINE, CA 92614
 P-9497710

AT&T Site ID:
CCL05354

REV	DATE	DESCRIPTION	BY
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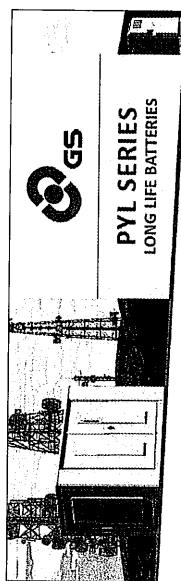
Client:

 Signed: 202-109427
 Expires: 202-08-20
 It is a violation of law for any person to practice engineering under the direction of a licensed professional engineer, to offer this document.

Drawn For:
CCL05354
PESCADERO
 SITE FORMERLY REFERRED
 AS 1,000 PESCADERO
 CREEK ROAD, LOCATED
 OFF BEAN HOLLOW ROAD
 PESCADERO, CA 94060

Sheet Title:
**PLUMBING
 DIAGRAM**

Sheet Number:
RF-1



BECAUSE WHEN THE POWER IS OUT, YOU DON'T WANT THEIR PHONES TO BE.

10 YEAR DESIGN LIFE
Exceeds Telcordia GR-1300 criteria
Greater than 5 years at 35°C

CAPACITY RANGE
5AH - 300AH

HIGH TEMPERATURE LONG LIFE DESIGN
Primary lead for long life
Advanced alloy grids
Additives to minimize contraction
Designed to control charging current as temperature increases
Temperature compensated float voltage
Energy stored terminals to prevent post-charge
Rugged ABS cases to minimize handling damage

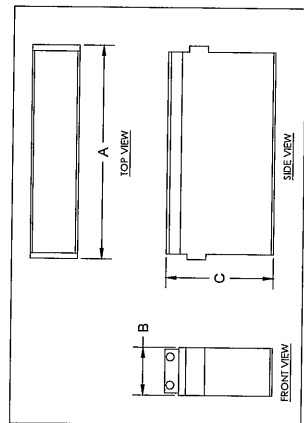
COMPLIANCE
UL 1585
GR-1300
GR-1309
GR-63 RECS

SAFETY
UL 1585
UL 1640
UL 1589

ABOUT THE PYL SERIES
Proven in the real world, the Pyl Series of telecom batteries is the most reliable and long life in extreme climates, unlike other VRLA batteries. The Pyl Series is the most cost effective battery solution over the total life cycle and for initial installation to your network.

GS BATTERY FRONT TERMINAL SPECIFICATIONS

MODEL NUMBER	VOLTAGE	CAPACITY (AH) @ 25°C	NOMINAL DIMENSIONS (IN)			NOMINAL DIMENSIONS (MM)						
			A	B	C	A	B	C				
PYL2V160FT	12	160	62.4	7.59	21.9	4.9	11.0	156	125	280	116.2	127
PYL2V185FT	12	185	71.2	7.89	21.9	4.9	12.5	156	125	317	130.8	107



GS BATTERY FRONT TERMINAL SPECIFICATIONS

MODEL NUMBER	INTERNAL RESISTANCE (mOhms)
PYL2V160FT	2.5
PYL2V185FT	3.5

PREPARED FOR
AT&T
5001 EXECUTIVE PKWY,
SAN RAMON CA 94583

Vendor:
JS INFRASTRUCTURE
2000 MAIN STREET, SUITE 200
IRVINE, CA 92614
P: 4097710

AT&T Site ID:
CCL05354

License:
SIGNED: 20210927
EXPIRES: 20290920

It is a violation of law for any person, unless they are acting in the course and scope of their licensed professional engineering, to alter this document.

Found For:
CC105354
PESCADARO
SITE FORMERLY REFERRED TO AS PISCADERO CREEK ROAD OFF BEAN HOLLOW ROAD PESCADARO, CA 94060

Sheet Title:
MATERIAL SAFETY DATA SHEET & LEAD ACID BATTERY

Sheet Number:
MSDS-1

NOTE:
DESIGN AND/OR SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE. IF QUESTIONS ARISE, CONTACT YOUR LOCAL GNB SALES REPRESENTATIVE FOR CLARIFICATION.

FLOAT VOLTAGE & CHARGING CONSTANT VOLTAGE CHARGING IS RECOMMENDED.
RECOMMENDED FLOAT VOLTAGES: 1.35 VPC @ 25°C (77°F)

BATTERY INFORMATION (VRLA TYPE BATTERIES)

INSTALL STATUS	BATTERY MODEL	TOTAL # OF BATTERY UNITS INSTALLED (EA)	VOLTAGE (V)	AMP-HOURS (AH)	KWh, Kilowatt-hours = (V*AH)/1000	TOTAL BATTERY CAPACITY, KWh	STATIONARY BATTERY STORAGE SYSTEM THRESHOLD QUANTITY, PER CFC 2019 SECTION 1206	STATIONARY BATTERY STORAGE SYSTEM CODE CHECK	TOTAL ELECTROLYTE VOLUME (GALLONS) PER UNIT	TOTAL ELECTROLYTE VOLUME (GALLONS) =
EXISTING TO REMAIN	GNB INDUSTRIAL POWER MARATHON - ML2V180FT	12	12	180	2.16	25.92			2.47	29.64
PROPOSED	GS PYL2V185FT	4	12	185	2.22	8.88			2.504	10.016
TOTAL		16				34.8	70	CFC 2019 SECTION 1206 DOES NOT APPLY		39.656

CIVIL ENGINEER
 LICENSE NO. 11667
 LICENSE EXPIRES 12/31/2012
 STATE OF CALIFORNIA
 2200 K STREET, SUITE 201
 SANTA CRUZ, CA 95060
 TEL: (831) 462-7895
 WWW.DAVIDRANKIN.COM

DAVID RANKIN
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 44518
 LICENSE EXPIRES 12/31/2012
 CIVIL ENGINEERING
 STATE OF CALIFORNIA
 1500 NORTH RIVER STREET, SUITE 100
 SANTA CRUZ, CA 95060

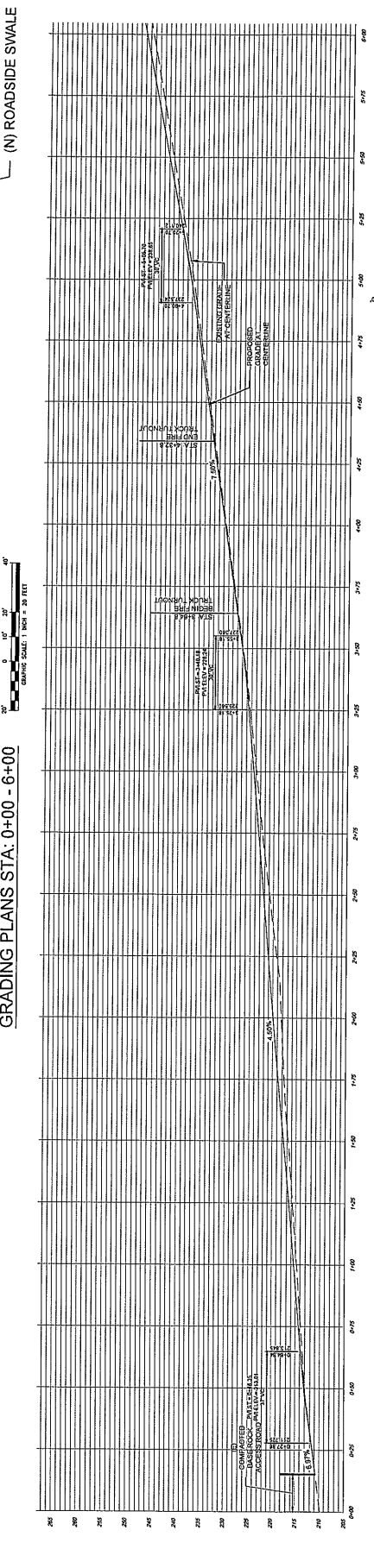
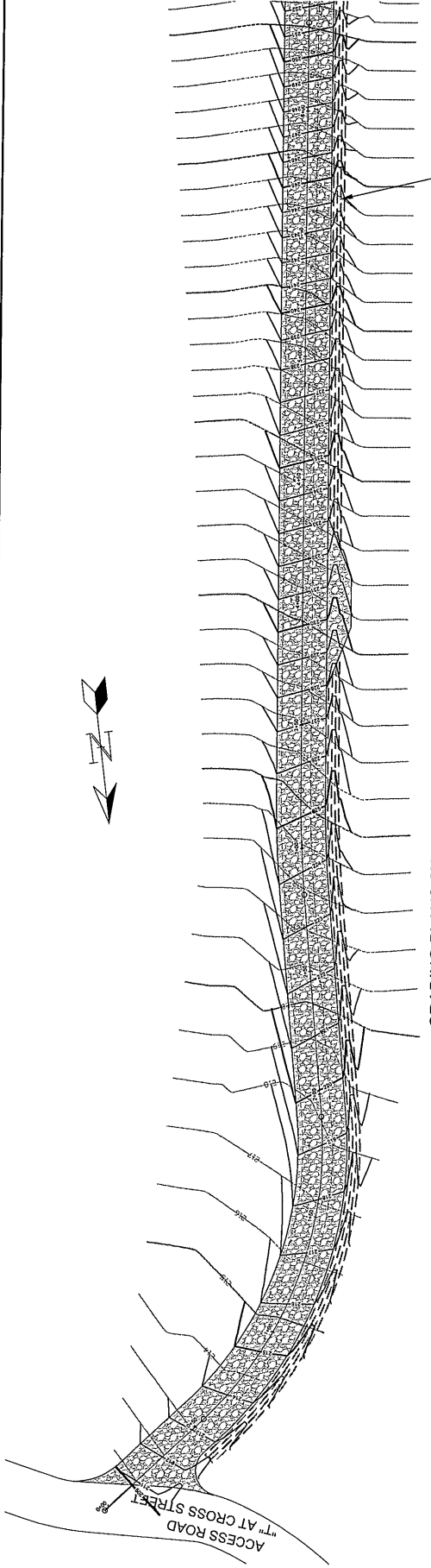
SAN MATEO COUNTY
 APR. 086-BLD-0000
 SITE & COLLECTOR
 BUILDING PERMIT

CROWN CASTLE - PASCADERO
 GRADING & PROFILE PLAN (STA. 0+00 - 6+00)
 BEAN HOLLOW ROAD, PASCADERO CA 94060

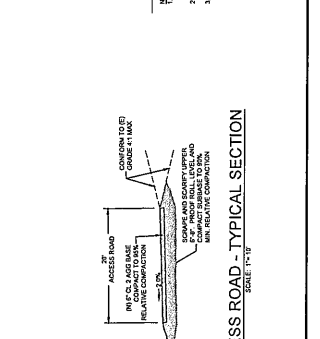
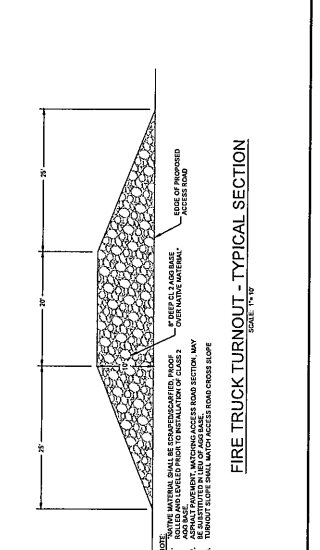
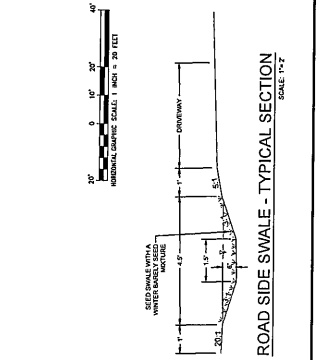
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PROJECT NO. 086-BLD-0000
 SHEET NO. 62.1

811
 Know what's below.
 Call before you dig.

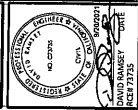


NOTE:
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING AND AFTER CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND PROPERTY. THE CONTRACTOR SHALL BE ADVISED CONTINUOUSLY AND ADVISED TO DETAIL, INDUSTRY AND THE LOCAL COMMUNITY AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL MAINTAIN THE SAFETY OF THE JOB SITE AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE.



NOTE:
 1. NATIVE MATERIAL SHALL BE DEWATERED PRIOR TO USE.
 2. ALL MATERIAL SHALL BE MATCHED TO THE ACCESS ROAD SECTION.
 3. MATCHING TO EXISTING ACCESS ROAD CROSS SLOPE.

DAVID HANNEY
 CIVIL ENGINEER
 1400 S. MAIN ST. SUITE 100
 SAN ANTONIO, TX 78205
 TEL: (512) 343-2800
 FAX: (512) 343-2801



SAN ANTONIO COUNTY
 APN: 086-80-060
 SITE # CCL0583
 BUILDING PERMIT

CROWN CASTLE - PESCADERO
 GRADING & PROFILE PLAN (STA: 6+00 - 10+00)
 BEAN HOLLOW ROAD, PESCADERO CA 94060

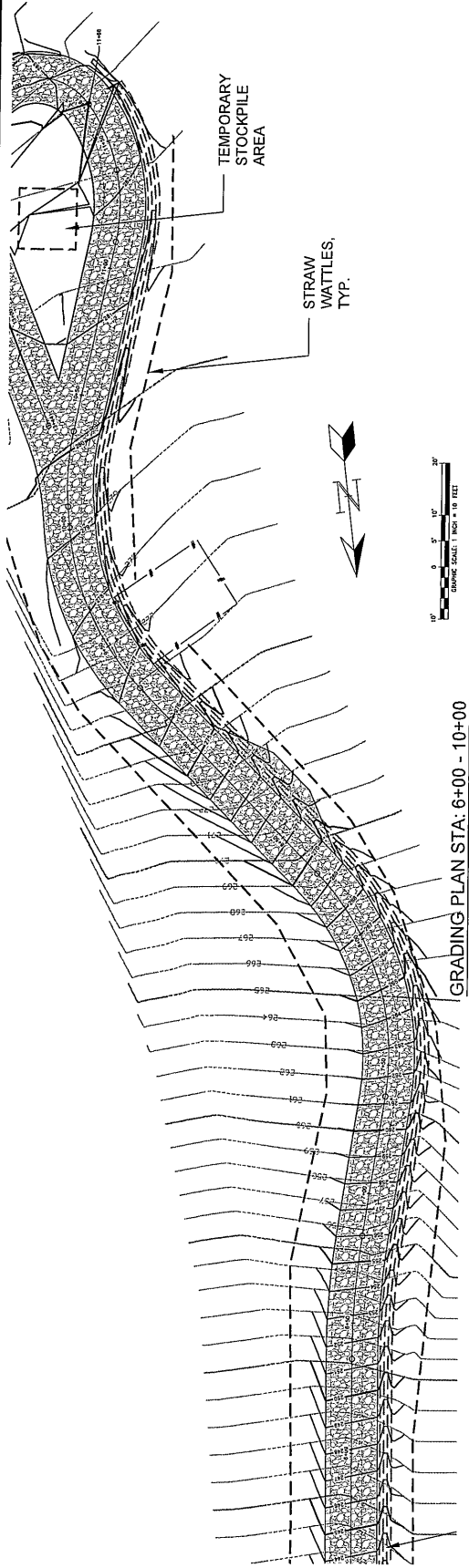
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DESIGNED BY	DAVID HANNEY
CHECKED BY	
DATE	
SCALE	AS SHOWN
SHEET	10 OF 10

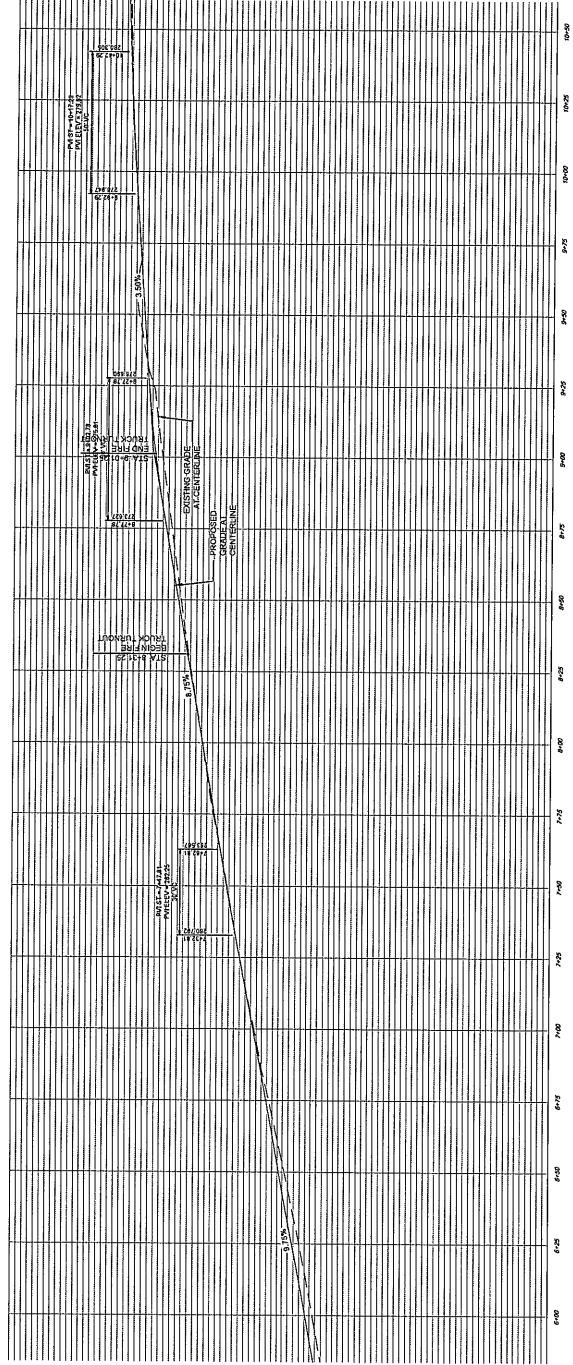
C2.2



NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES.



GRADING PLAN STA: 6+00 - 10+00



ACCESS ROAD PROFILE STA: 6+00 - 10+00

CIVIL ENGINEERING
 LAND MARKING
 SURVEYING
 CONSTRUCTION SUPPORT
 3005 MARKET STREET
 SANTA CRUZ, CA 95065
 TEL: (831) 462-2000
 FAX: (831) 462-2002
 WWW: WWW.DAVIDBAWSET.COM

CIVIL ENGINEER & SURVEYOR
 NO. C7928
 DAVID BAWSET
 REG. 7725

SAN MATEO COUNTY
 APN: 086-180460
 SITE #: C015534
 BUILDING PERMIT

CROWN CASTLE - PASCADERO
 BEAN HOLLOW ROAD, PASCADERO CA 94060
 GRADING & PROFILE PLAN (STA: 10+00 - 13+44)

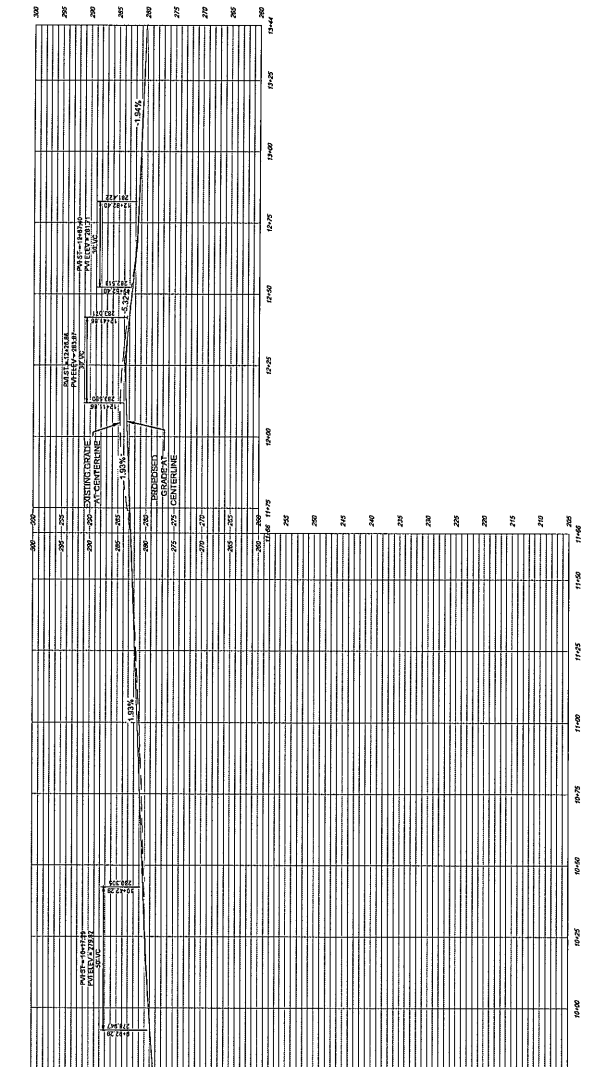
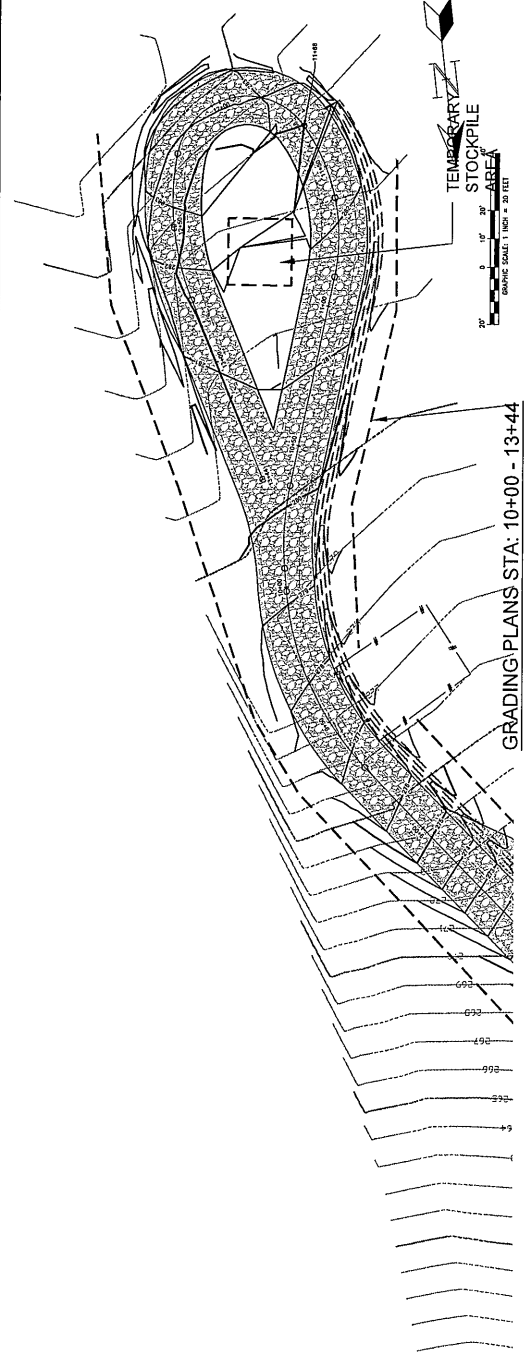
REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
PROJECT NO.:	DATE:
SHEET NO.:	DATE:

C2.3



NOTE: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE AND FEDERAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE AND FEDERAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE AND FEDERAL GOVERNMENT.



ACCESS ROAD PROFILE STA: 10+00 - 13+44

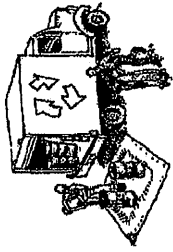


**SAN MATEO COUNTYWIDE
Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management

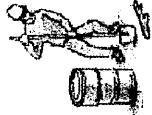


- Non-Hazardous Materials**
- Burn and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If retreading or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and cover a drip pan or drop cloth big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not drain or seep into storm drains, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and dry rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required to report all significant releases of hazardous materials, including oil, to the Regional Water Quality Control Board or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7530 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, in-fill and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from causing stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess-abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, silt sump inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
 - If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



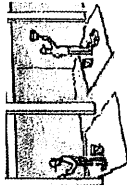
- Store concrete, grout, and mortar away from storm drains, 100'-and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead-based paint removal requires a state-certified contractor.

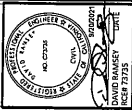
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When dewatering, use a dewatering discharge to landscaped areas. Never allow dewatering to discharge to the sanitary sewer. Call your local wastewater treatment plant.
- Divert run-on water from offsite areas from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

SAN MATEO COUNTY
LAND POLLUTION
CONTROL DIVISION
CONSTRUCTION DIVISION
3000 SAN BRUNO AVENUE
SANTA CRUZ, CA 95065
TEL (831) 462-7900
WWW.SANMATEOCOUNTY.CA.GOV



SAN MATEO COUNTY
APR 08/08-08/09
SITE E-COL0834
BUILDING PERMIT
DAVID HANES
NO. 47279

FLWS TO BAY NOTES
CROWN CASTLE - PASCADERO
BEAN HOLLOW ROAD, PASCADERO CA 94060

REVISION NUMBER	DATE	DESCRIPTION

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