

NEW RESIDENCE AT 634 PALOMAR DRIVE REDWOOD CITY, CA 94062

PROJECT TEAM

OWNERS
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062
CONTACT: ANUSHA THALAPANENI
DAVID JACKSON

PROJECT MANAGER
M DESIGNS ARCHITECTS
4131 W. EL CAMINO REAL, STE 200
PALO ALTO, CA 94306
CONTACT: MAURITS A.V. DE GANS
PHONE: 650.565.9036 x. 109
CELL: 650.946.6490
EMAIL: maurits@mdesignsarchitects.com

ARCHITECT
M DESIGNS ARCHITECTS
4131 W. EL CAMINO REAL, STE 200
PALO ALTO, CA 94306
CONTACT: ALPHEUS W. JESSUP
PHONE: 650.565.9036
FAX: 949.625.7869
EMAIL: ajw@mdesignsarchitects.com

SURVEYOR
GIULIANI & KULL, INC.
4880 STEVENS CREEK BLVD, STE 205
SAN JOSE, CA 95129
CONTACT: MARK HELTON
PHONE: 408.615.4000
EMAIL: mhelton@gkengineers.com

CIVIL ENGINEER
LEA & BRAZZE ENGINEERING, INC.
1723 HAMILTON AVENUE, STE 101
SAN JOSE, CA 95125
CONTACT: PETE CARLINO
PHONE: 510.887.4086 x.117
EMAIL: pcarlino@leabrazze.com

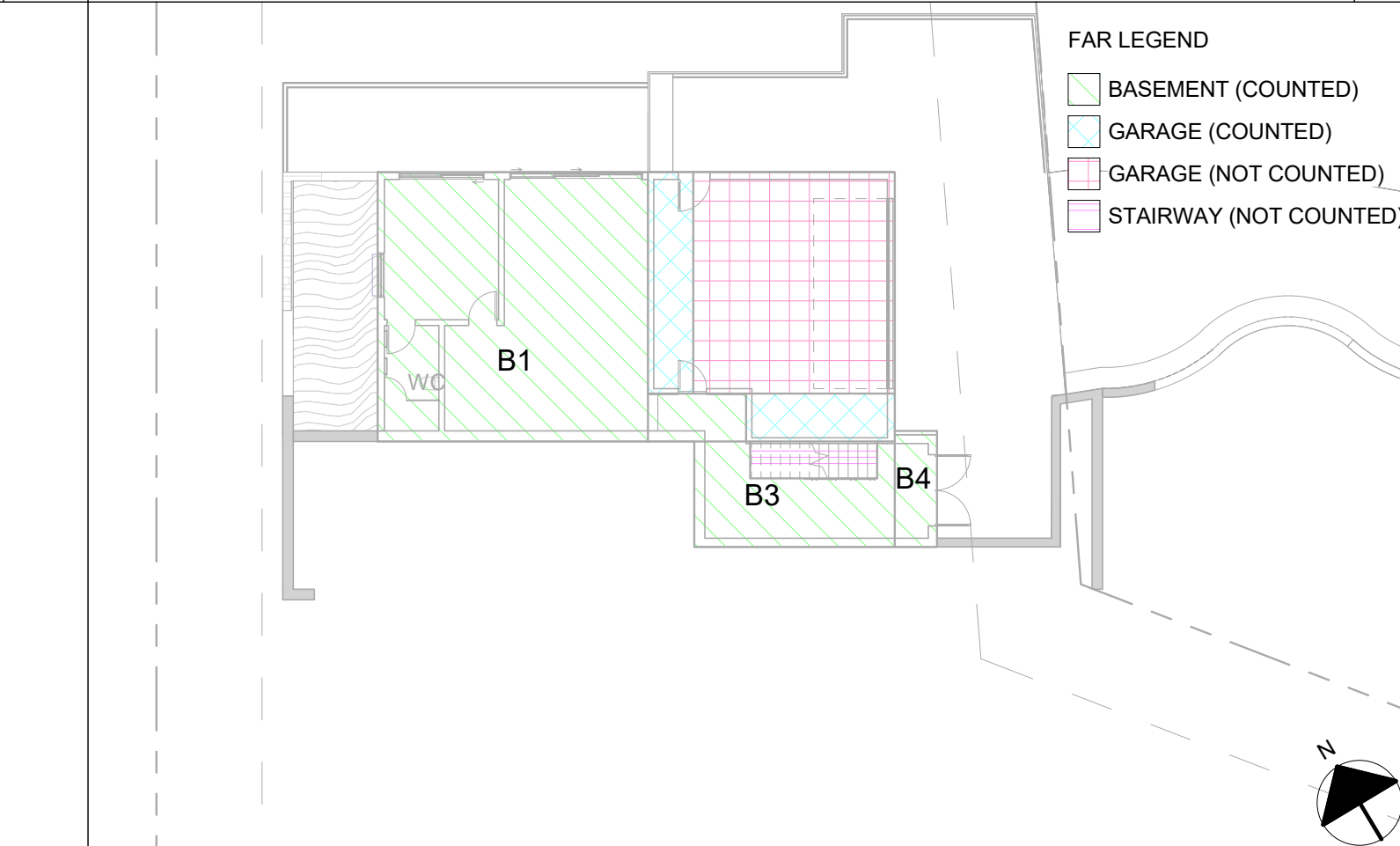
LANDSCAPE
CONTACT: YANIV SHMELZER
PHONE: 408.702.5141
EMAIL: yaniv@visiontocompletion.com

GENERAL CONTRACTOR
CONTACT: TBD
PHONE:
EMAIL:

GEOTECHNICAL SERVICE
GEOSPHERE CONSULTANTS, INC.
CONTACT: JOEL BALDWIN
PHONE: 650.557.0262
EMAIL: earthinvestigations@comcast.net

ARBORIST
TREE MANAGEMENT EXPERTS
3109 SACRAMENTO STREET
SAN FRANCISCO, CA 94115
CONTACT: ROY C. LEGGITT, III
PHONE: 415.921.3610
EMAIL: RCL3@mindspring.com

5 FAR - BASEMENT DIAGRAM (SEE A1.2)



Description	Date
REVISION 1	12/18/2020
REVISION 3	12/20/2021
REVISION 4	11/17/2022

M-DESIGNS ARCHITECTS
4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306
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Fax: 949-625-7869

PROJECT DATA TABLES

ZONING SUMMARY

ZONE: R-1,S-91 COMBINING DISTCT. DR - PALOMAR PARK
APN: 051-022-380
FLOOD ZONE: X
PUBLIC R.O.W.: NA
CONFORMITY: VACANT LOT
LOT DIMENSIONS: +/- 18,122 SF (VERIFY SURVEY)
SCOPE OF WORK: NEW RESIDENCE ON A VACANT LOT
BASEMENT + TWO-STORIES AND OUTDOOR SWIMMING POOL

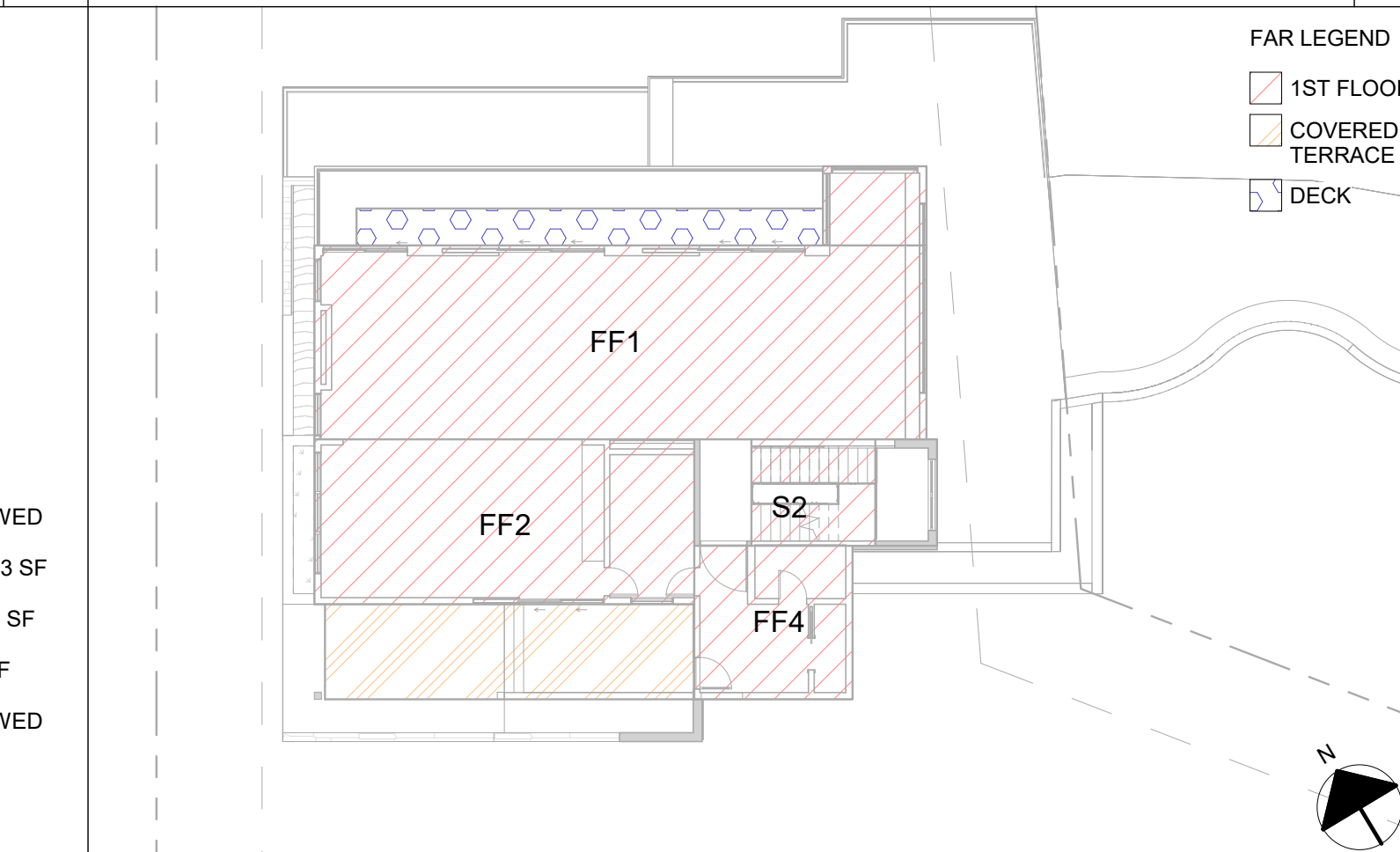
LOT AREA SUMMARY

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
FLOOR AREA RATIO	NA	4873.00 SF	5036.73 SF
LOT COVERAGE	NA	3131.00 SF	5436.6 SF
LANDSCAPE AREA	NA	####SF	####SF

FAR BREAKDOWN

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
BASEMENT	N/A	1041.00 SF	
FIRST FLOOR	N/A	2491.00 SF	
SECOND FLOOR	N/A	1340.00 SF	
TOTAL	N/A	5034.00 SF	5036.73 SF

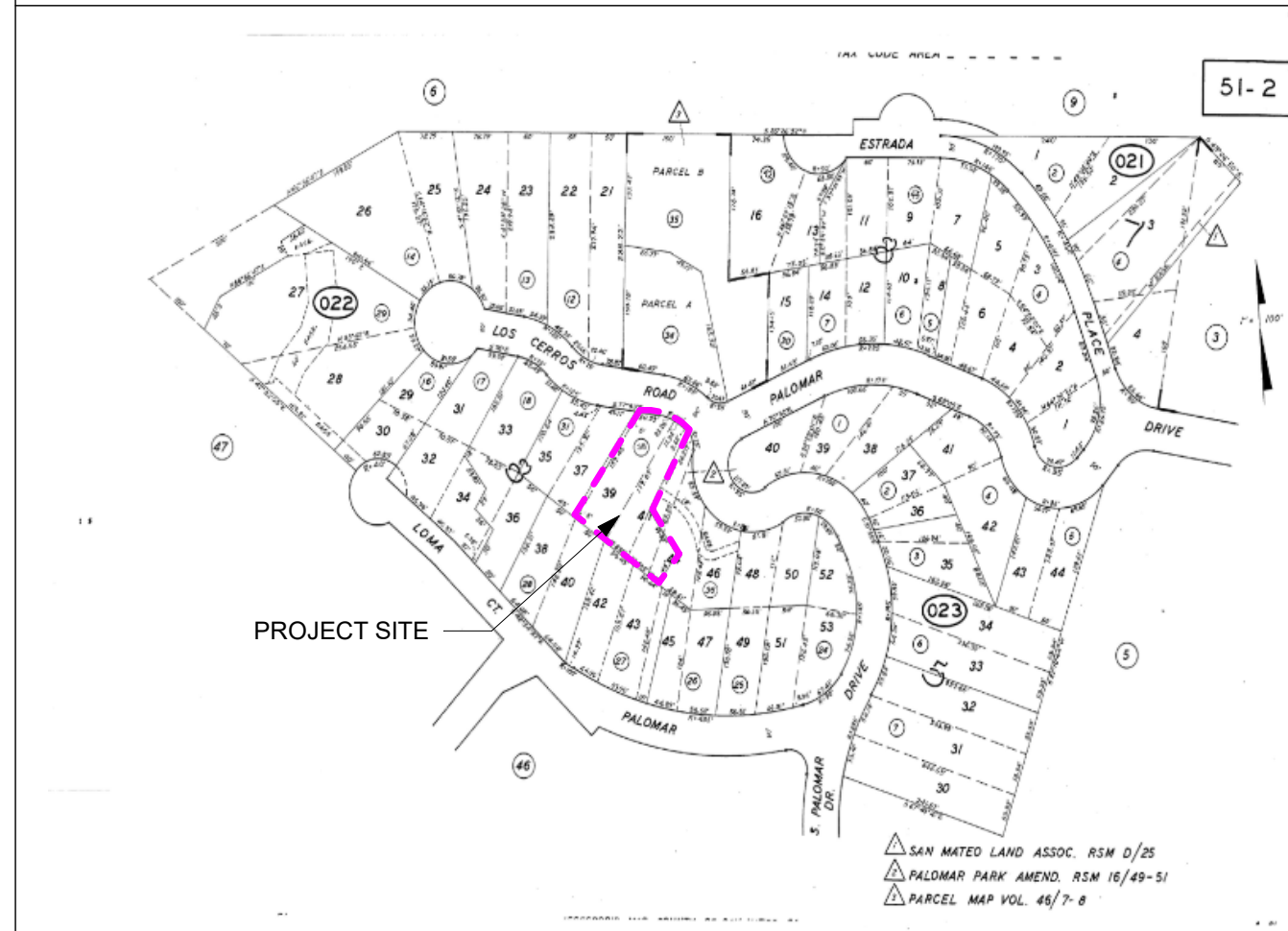
6 FAR - 1ST FLOOR DIAGRAM (SEE A1.2)



ATTACHMENT C

NEW RESIDENCE AT
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062

PARCEL MAP



1 SHEET INDEX

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A10.1	SPECIFICATION SHEET		
CB.1	COLOR/MATERIAL BOARD		
E2.0	EXTERIOR LIGHTING		

3 HEIGHT

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
HEIGHT	NA	27'-2"	28'-0"
DAYLIGHT PLANE	NA	20'-0" 45d	20'-0" 45d

SETBACK LINES

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
FRONT	NA	61'-10"	20'-0"
REAR	NA	50'-1"	20'-0"
LEFT SIDE	NA	15'-8"	10'-0"
RIGHT SIDE	NA	10'-0"	10'-0"

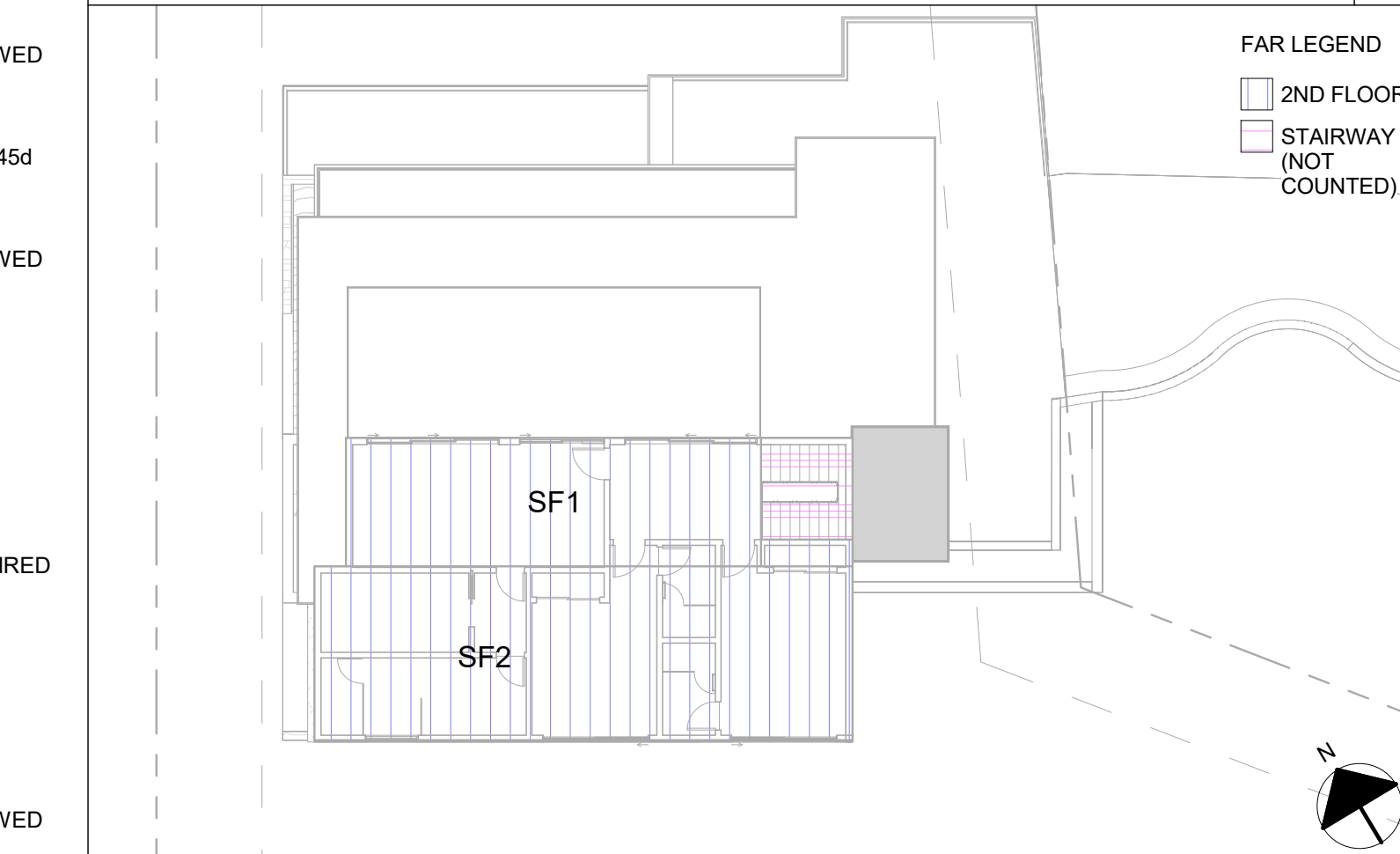
PARKING SUMMARY

DESCRIPTION	EXISTING	PROPOSED	REQUIRED
ENCLOSED PARKING	NA	2	2
OPEN PARKING OR CARPORT	NA	1	1
EV CHARGING STATIONS	NA	2	NA

DRIVEWAY

DESCRIPTION	EXISTING	PROPOSED	ALLOWED
NUMBER OF CURB CUTS	NA	NA	NA
CURB CUT WIDTH	NA	NA	NA
DRIVEWAY WIDTH	NA	16'-0"	
DRIVEWAY LENGTH	NA	10'-0"	

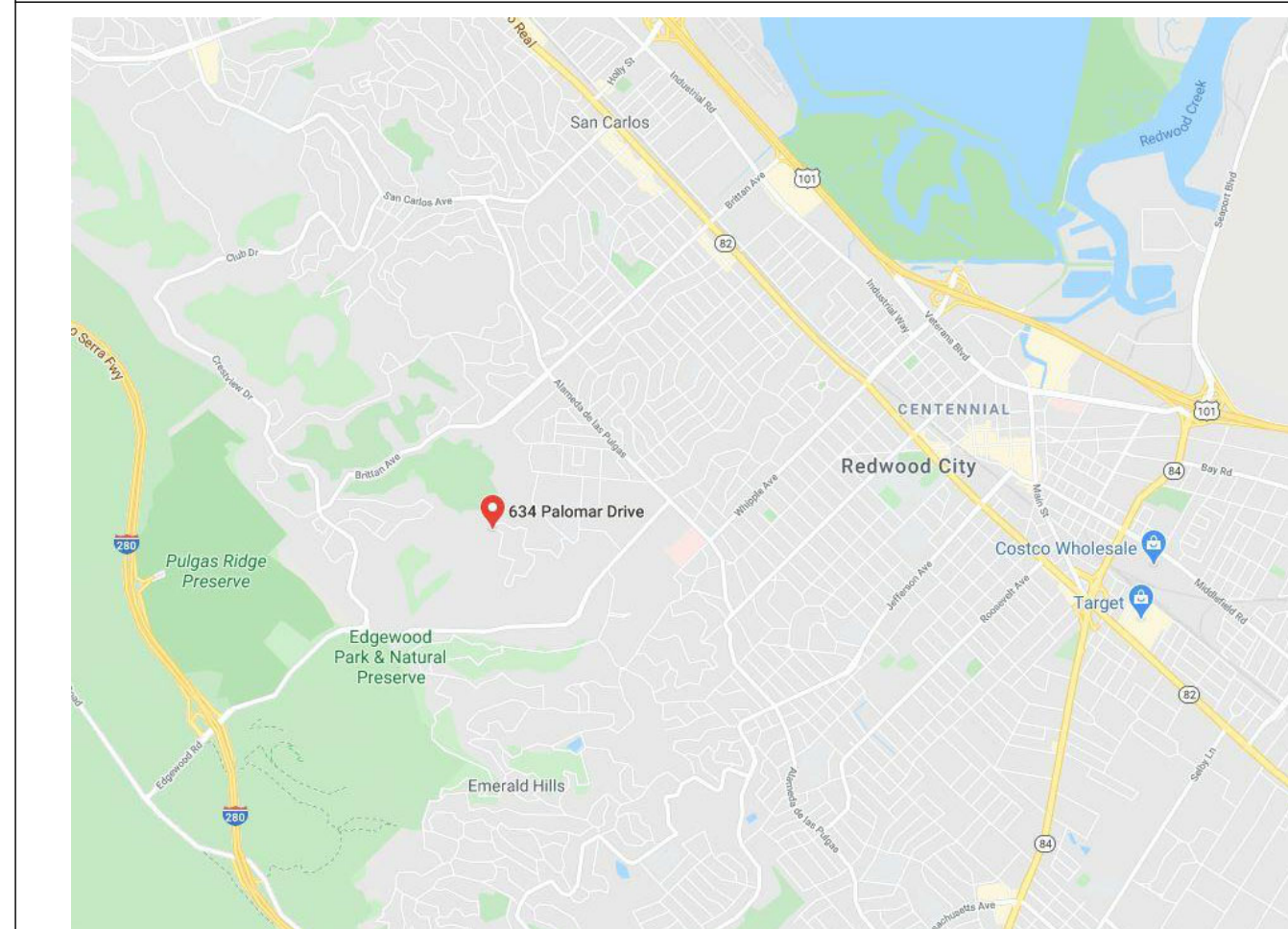
7 FAR - 2ND FLOOR DIAGRAM (SEE A1.2)



INTERIOR DESIGN PACKAGE

TITLE SHEET

VICINITY MAP



2 CODE COMPLIANCE

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA RESIDENTIAL CODE
REDWOOD CITY MUNICIPAL CODE

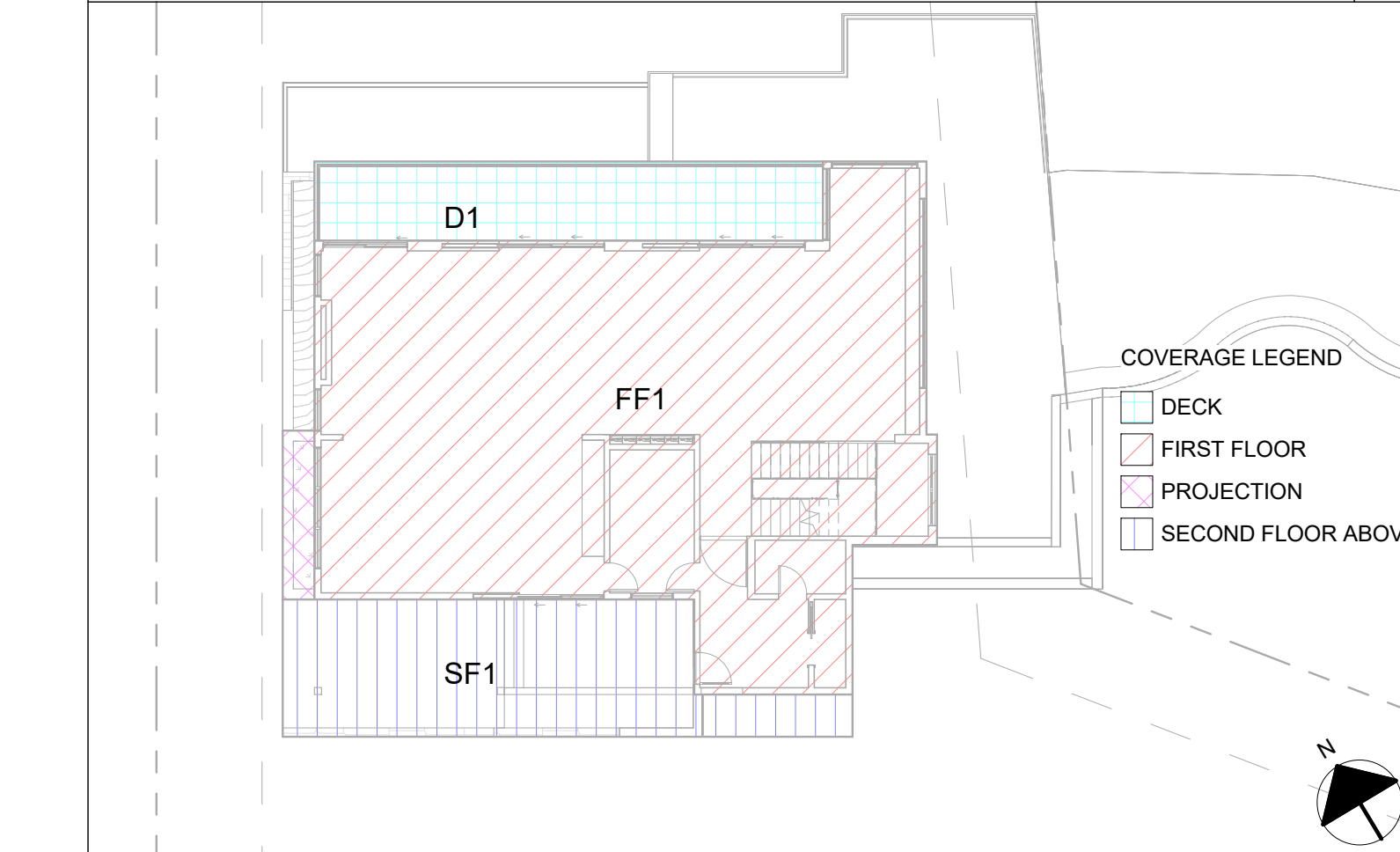
CODE SUMMARY

OCCUPANCY:	R3/U
OCCUPANT LOAD:	200 GROSS
TYPE OF CONSTRUCTION:	V-B
FIRE SUPPRESSION:	SPRINKLED
OCCUPANCY SEPARATION:	1-HOUR
HEIGHT MAXIMUM:	28'-0"
ALLOWABLE FLOOR AREA RATIO:	5,036.73 SF
ALLOWABLE COVERAGE:	5,436.73 SF

DEFERRED SUBMITTALS

- POOL
- PRE-MANUFACTURED GUARDRAILS & HANDRAILS
- PRE-MANUFACTURED STAIRWAY
- POTABLE WATER
- GAS LINE DIAGRAM
- LANDSCAPING
- FIRE SUPPRESSION SYSTEM
 - THE BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- FIRE ALARM SYSTEM

8 LOT COVERAGE DIAGRAM (SEE A1.3)



12/12/2022

T0.1

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San Mateo County
Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL: (650) 363-4111 • FAX: (650) 363-4899
www.co.sanmateo.ca.us/planning

PLN: _____
BLD: _____

Applicant/Owner Information

Applicant: **Maurits de Gans**
Mailing Address: 4131 W. El Camino Real Suite 200.
Palo Alto, CA _____ Zip: 94306
Phone: W: 6505659036 H: _____
E-mail Address: maurits@mdesignsarchitects.com FAX: _____

Name of Owner (1): **Anusha Thalapaneni** Name of Owner (2): **David Jackson**
Mailing Address: 634 Palomar Drive Mailing Address: 634 Palomar Drive
Redwood City, CA _____ Zip: 94062 Redwood City, CA _____ Zip: 94062
Phone: W: 6507960800 Phone: W: 6502239468
H: _____ H: _____
E-mail Address: athalapa@gmail.com E-mail Address: djackson52@gmail.com

Project Information

Project Location (address): _____
634 Palomar Drive, Redwood City, CA _____

Zoning: R-1/S-91/DR **Assessor's Parcel Numbers:** 51 - 22 - 380
Parcel/lot size: 18,295 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
Shared access driveway on existing easement. Primary 4269 sf residence with 4 bedrooms, 4 bathrooms, and pool incorporated into footprint. Septic field and tank behind house.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
Existing site is moderately sloped vacant lot with natural vegetation including healthy trees and native grasses.

Describe Existing Structures and/or Development:
Vacant lot

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: *Anusha Thalapaneni*
Owner's signature: *David Jackson*
Applicant's signature: _____

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DATE: 12/10/2020

County of San Mateo
Planning & Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063

To Whom It May Concern,

As the owner of 636 Palomar Drive Redwood City (unincorporated San Mateo County) We are aware and approve of the proposed development at 634 Palomar Drive and the work proposed to encroach onto our property. This work as we understand it will include the construction of a new retaining wall and grading of the roadway along our western property line. The retaining wall adjacent to the driveway has been revised from its original proposed location to help maintain the health of the existing 14" Oak tree. Below is an image of the proposed work we approve of to be conducted on our property at 636 Palomar Drive.

Sincerely,

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County of San Mateo
Planning and Building Department

Environmental Information Disclosure Form

Project Address: **634 Palomar Drive**
Redwood City, CA _____
Assessor's Parcel No.: **51 - 22 - 380**
Zoning District: **R-1/S-91/DR**

Name of Owner: **Anusha Thalapaneni & David Jackson**
Address: **634 Palomar Drive**
Redwood City, CA _____ Phone: _____
Name of Applicant: **Maurits de Gans**
Address: **4131 W. El Camino Real Suite 200**
Palo Alto, CA _____ Phone: **6505659036**

Existing Site Conditions

Parcel size: 18,295

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Existing property is a vacant lot in Palomar Park region of SMC. 12' easement provides access from the south.

Existing property is a vacant lot in Palomar Park region of SMC. 12' easement provides access from the south-east. Scattered trees noted in Arborist report amongst native grasses.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (> 6" d.b.h. in Emerald Lake Hills area or > 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? 3
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y): Excavation: _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:
Home is placed on site to minimize disturbing natural trees, footprint encroaches on one mature Coast Live Oak, this placement preserves majority of trees on site. Septic field requires area occupied by 2 Tasmanian Blue Gum trees in fair condition. Slope will be graded minimally to allow for footprint of building at least sloped area of site.

Signature required on reverse →

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M-DESIGNS ARCHITECTS

June 29, 2020

San Mateo County Planning Department
455 County Center
Redwood City, California 94063
Attn: Camille Leung -clueng@smcgov.org

Subject: **Letter of Concurrence**
Regarding Property: 634 Palomar Drive
Redwood City, California 94063
County's Permit #: Unknown

To Whom It May Concern:

We, Anusha Thalapaneni & David Jackson, hereby authorize M Designs Architects to take over the authority of information and relevant documents regarding our property at 634 Palomar Drive, Redwood City, CA in an unincorporated area of San Mateo County. They will be responsible for collecting official documents, receiving them, and signing papers related to Planning and Building Department Applications. This right is effective from June 29, 2020.

Very truly yours,

DocuSigned by:
Anusha Thalapaneni
Anusha Thalapaneni July 9, 2020

DocuSigned by:
David Jackson
David Jackson July 9, 2020

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DocuSign Envelope ID: 1B7CCFC4-4861-4280-9F9E-7D0FA47F44F6

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

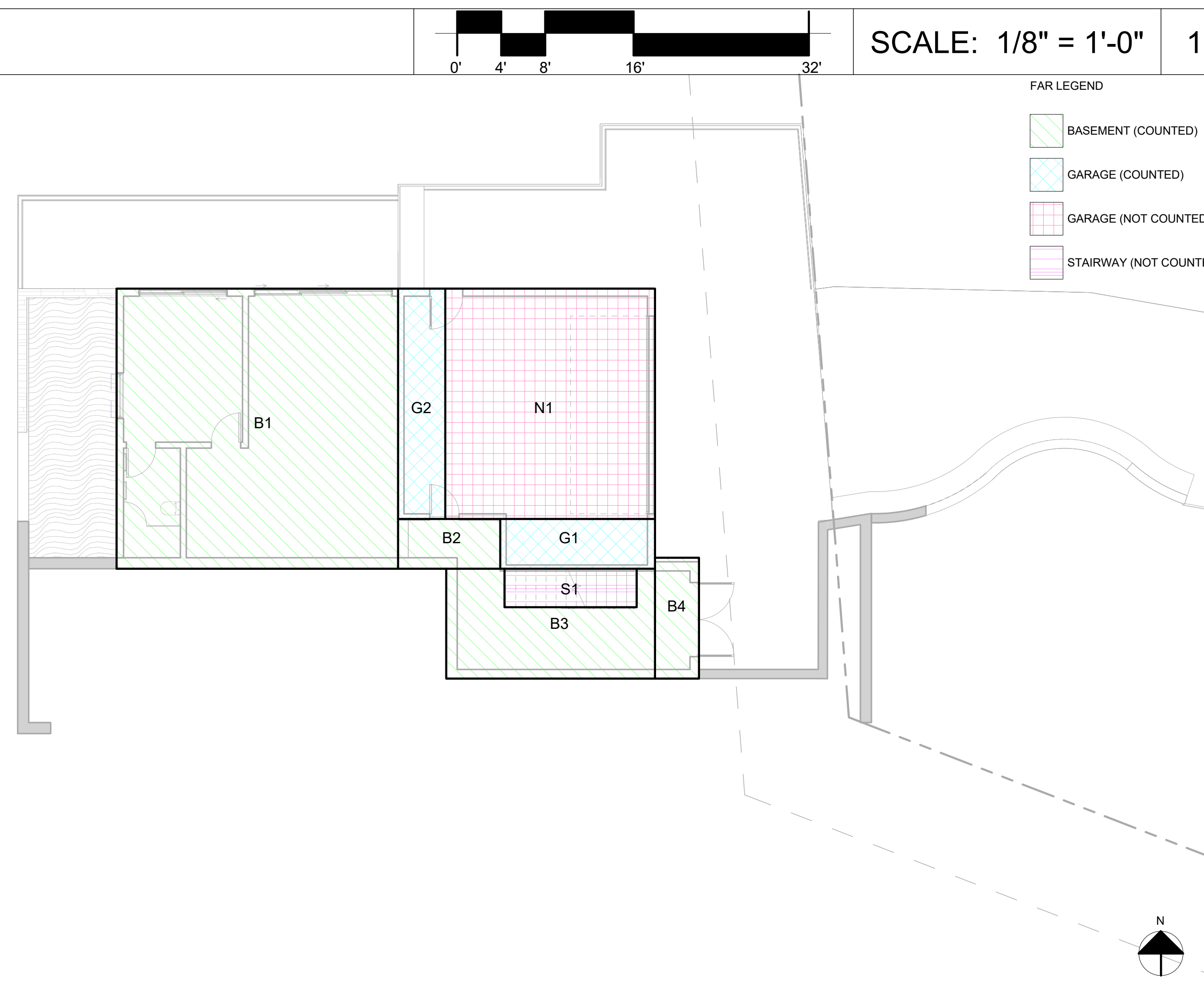
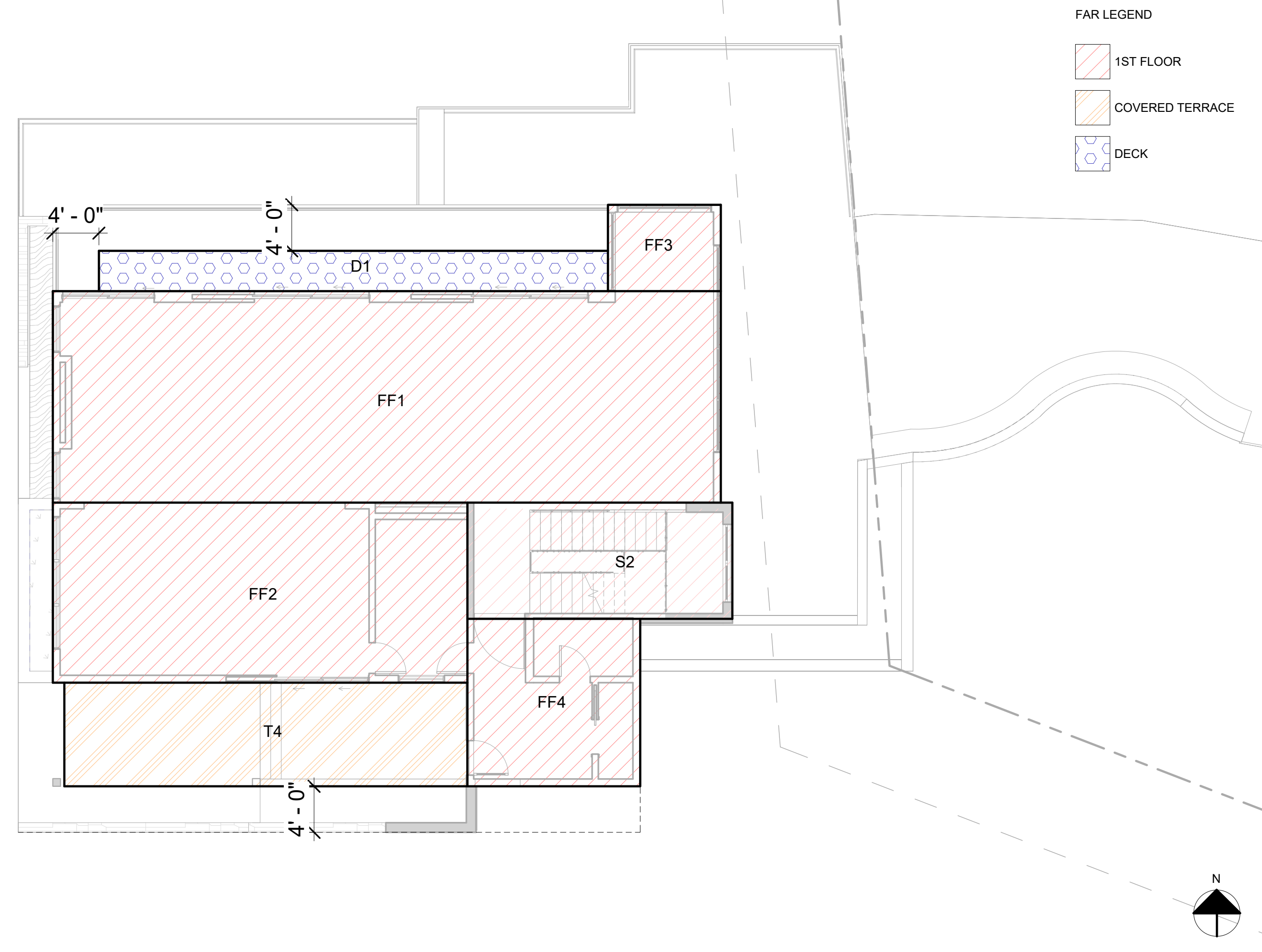
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____ Date: July 12, 2020
(Applicant may sign)

L:\MROF\Palomar\2020\16 Form\2020-1.pdf 2/17/21

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Description	Date
M-DESIGNS ARCHITECTS 4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306 www.mdesignsarchitects.com Email: info@mdesignsarchitects.com Phone: 650-565-9036 Fax: 650-565-7869	
INTERIOR DESIGN PACKAGE	NEW RESIDENCE AT 634 PALOMAR DRIVE REDWOOD CITY, CA 94062
EXHIBITS	12/12/2022
T0.2	



(P) FLOOR AREA RATIO			
NO.	WIDTH	LENGTH	AREA
BASEMENT (COUNTED)			
B1	25' - 7"	25' - 6"	653 SF
B2	9' - 4"	4' - 6"	42 SF
B3	27' - 0"	5' - 6"	148 SF
B4	11' - 0"	4' - 0"	44 SF
			887 SF
GARAGE (COUNTED)			
G1	14' - 1"	4' - 6"	64 SF
G2	21' - 0"	4' - 4"	90 SF
			154 SF
BASE FLR			1041 SF
1ST FLOOR			
FF1	58' - 0"	18' - 4"	1065 SF
FF2	36' - 0"	15' - 8"	563 SF
FF3	9' - 10"	7' - 6"	74 SF
FF4	15' - 0"	14' - 7"	218 SF
S2	26' - 2"	3' - 11"	102 SF
			2022 SF
COVERED TERRACE			
T4	35' - 0"	9' - 0"	315 SF
			315 SF
DECK			
D1	44' - 2"	3' - 6"	155 SF
			155 SF
1ST FLR			2491 SF
2ND FLOOR			
SF1	39' - 4"	12' - 2"	479 SF
SF2	51' - 0"	16' - 6"	840 SF
SF3	8' - 8"	2' - 6"	22 SF
			1340 SF
2ND FLR			1340 SF
TOTAL			4873 SF
ALLOWED			5036.73 SF

(P) FLOOR AREA RATIO (NOT COUNTED)			
NO.	WIDTH	LENGTH	AREA
GARAGE (NOT COUNTED)			
N1	21' - 0"	19' - 1"	400 SF
			400 SF
STAIRWAY (NOT COUNTED)			
S1	12' - 0"	3' - 6"	42 SF
			42 SF
BASE FLR			442 SF
STAIRWAY (NOT COUNTED)			
S2	9' - 8"	8' - 8"	84 SF
			84 SF
2ND FLR			84 SF
TOTAL			526 SF

Description
 REVISION 1 12/18/2020
 REVISION 3 12/20/2021

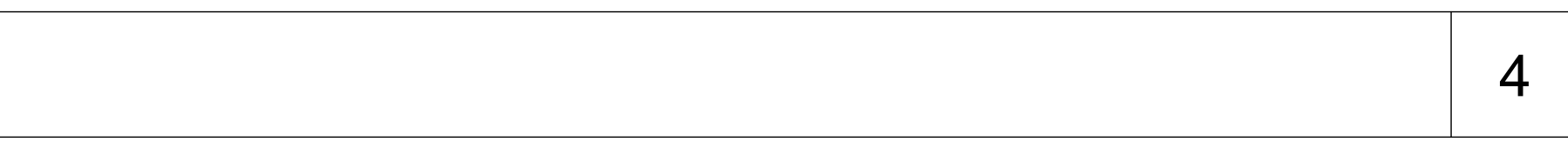
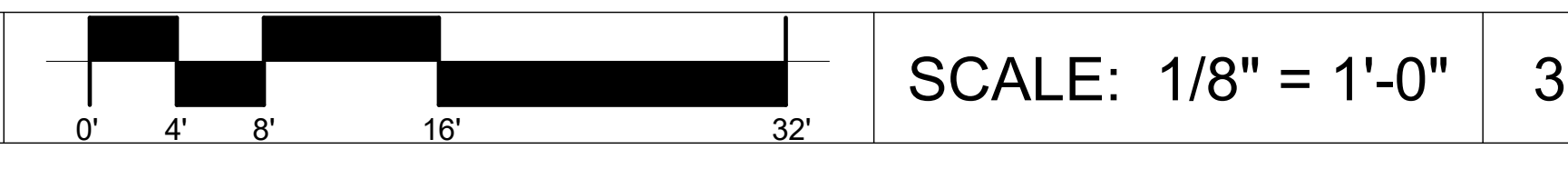
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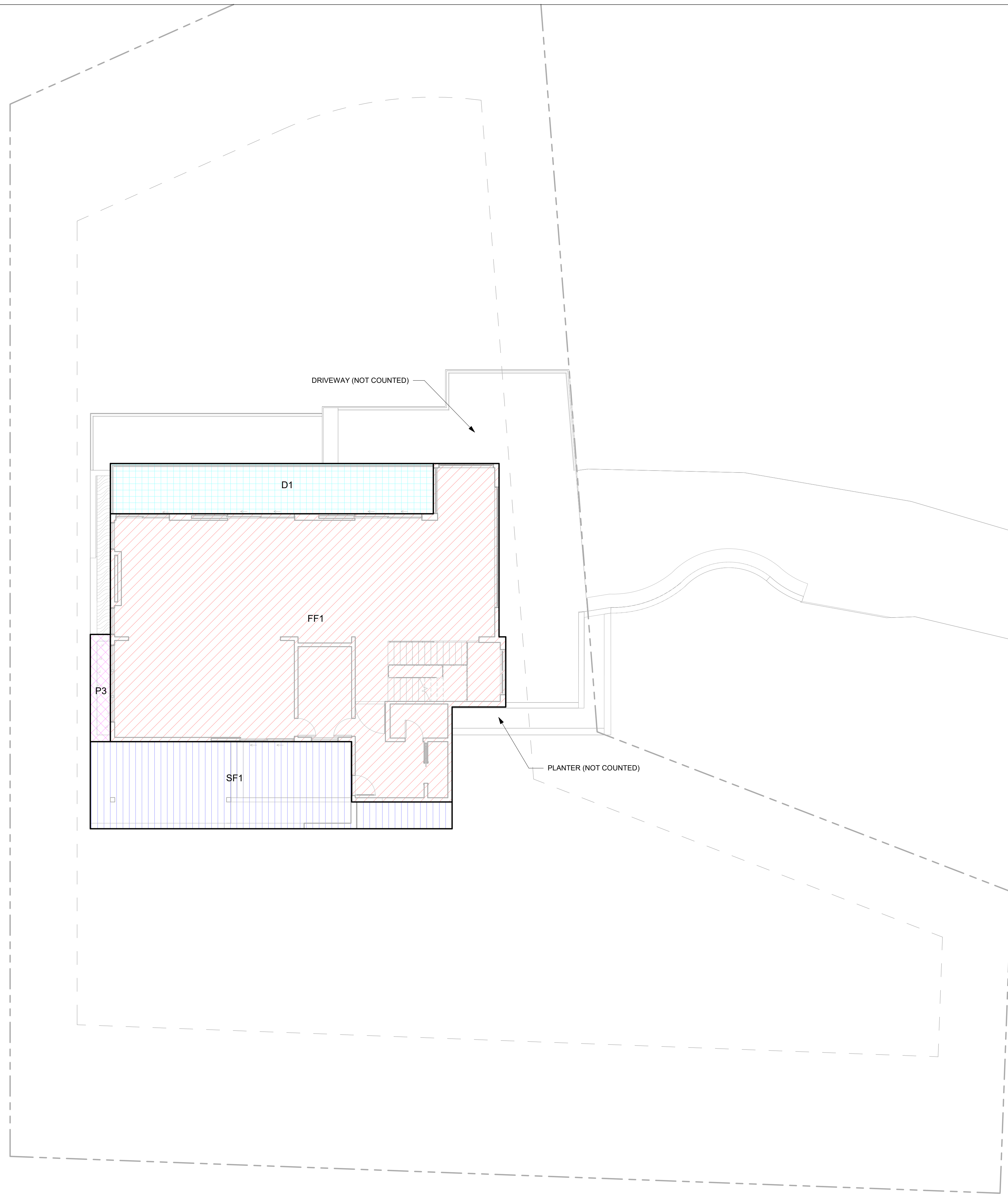
NEW RESIDENCE AT
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 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) FLOOR AREA DIAGRAMS

12/12/2022

T1.2





(P) LOT COVERAGE CALCULATIONS		
NO.	AREA	PERCENTAGE
DECK		
D1	361 SF	1.99%
	361 SF	1.99%
FIRST FLOOR		
FF1	2155 SF	11.89%
FF2	Not Placed	
	2155 SF	11.89%
PROJECTION		
P2	Not Placed	
P3	48 SF	0.26%
	48 SF	0.26%
SECOND FLOOR ABOVE		
SF1	567 SF	3.13%
	567 SF	3.13%
TOTAL	3131 SF	17.28%
ALLOWED	5436.6 SF	30.00%

COVER AGE LEGEND

	DECK
	FIRST FLOOR
	PROJECTION
	SECOND FLOOR ABOVE

Description	Date
REVISION 1	12/18/2020
REVISION 2	04/19/2021
REVISION 3	12/20/2021

M·DESIGNS ARCHITECTS

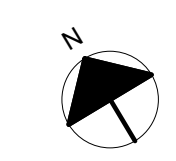
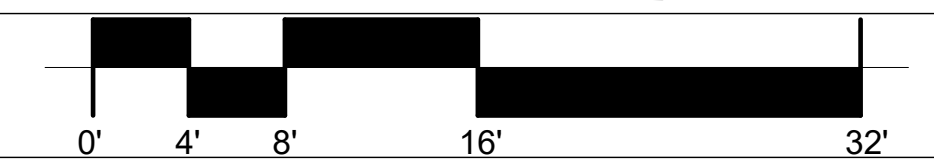
M·DESIGNS ARCHITECTS
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 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

**NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062**

**INTERIOR DESIGN PACKAGE
 (P) LOT COVERAGE
 CALCULATIONS**

12/12/2022

T1.3



Tree Management Experts

Consulting Arborists
3109 Sacramento Street
San Francisco, CA 94115
Member, American Society of Consulting Arborists
Certified Arborists, Tree Risk Assessment Qualified
Call 415.606.3610 email roy@treemanagementexperts.com



process. In the event that small branches are damaged, re-pruning to repair or correct any issue will likely best be left until the close of construction. Any branches larger than 1-inch diameter that are damaged should be reported immediately to the Project Arborist for their evaluation.

Post-construction Pruning

Pruning for overall structural improvement of the protected trees should occur at the close of construction, and before landscape installation. The exact pruning needs will need to be determined at that time, but will include improving the balance of canopies, shortening branches that are end-heavy and prone to breakage, and re-cutting or removing any branches that were broken during construction.

IRRIGATION

No supplemental irrigation is needed for the protected trees. These are all native species that are adapted to summer drought conditions. Summer irrigation of oak trees would put the trees at risk of developing root rot diseases. Construction impacts to the root systems are not expected to be severe enough to warrant the risks posed by summer irrigation.

New landscaping will require irrigation, and the plans are subject to review and approval by the Project Arborist. As a guideline, the new irrigation system should be low water use, should only operate during the dry season, and should be set up for drought tolerant and low water use plant material. It is our recommendation that plants native to the area be used for landscape purposes, and that the new irrigation system be designed for use on a minimal level and such that it is not necessary during drought conditions.

LANDSCAPING

New landscape designs are subject to reviewed and approval by the Project Arborist.

The new irrigation system must be designed to avoid the use of trenches across existing TPZ areas. If such surface trenches must be installed, common trenches should be used and they should stay as far away from the trees as possible. A trench running along a radius line directly toward a tree is preferable to a cross trench. If extensive trenching is done, Air-spade® excavation will be required.

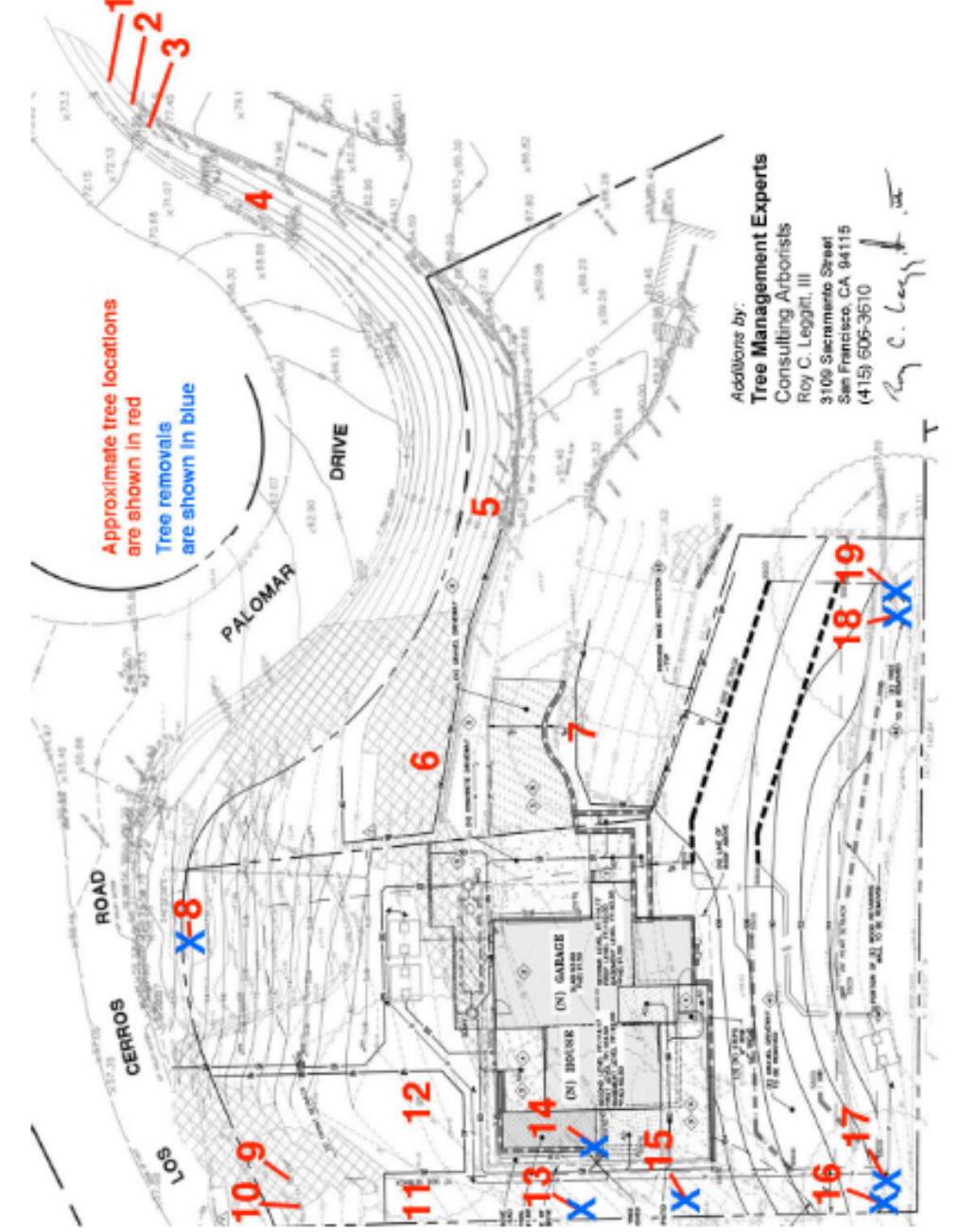
Care must be taken to keep mulch away from the base of all trees and other woody plants. Similarly, soil grades must be carefully monitored to keep excess soil from accumulating around the base of trees and shrubs.

Tree Management Experts

Consulting Arborists
3109 Sacramento Street
San Francisco, CA 94115
Member, American Society of Consulting Arborists
Certified Arborists, Tree Risk Assessment Qualified
Call 415.606.3610 email roy@treemanagementexperts.com



Tree Removal Plan

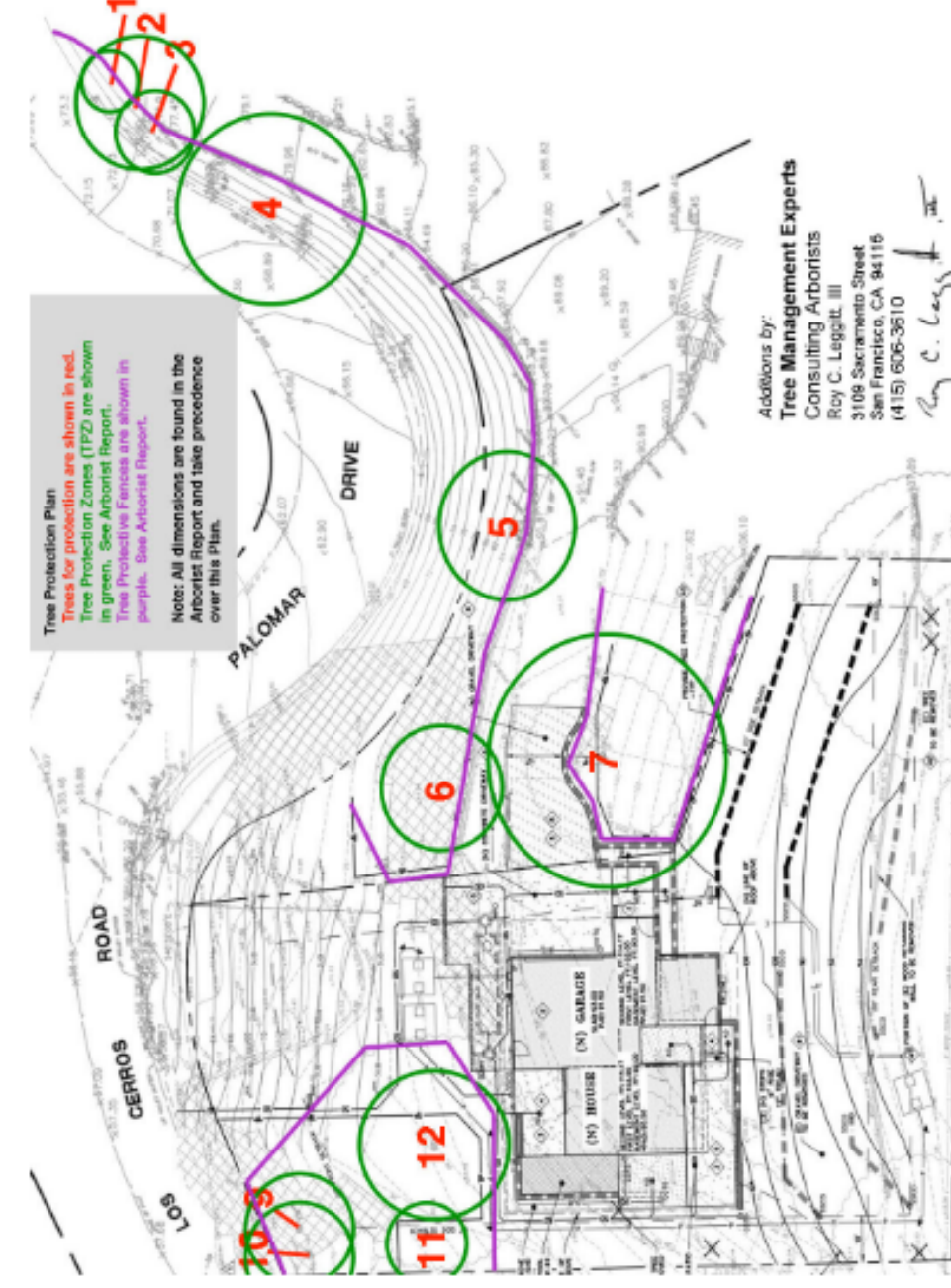


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Tree Protection Plan



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Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
5. Loss or alteration of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

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Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

Certification of Performance

I, Roy C. Leggett, III, Certify:

- That we have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report;
- That we have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I am a member in good standing of the American Society of Consulting Arborists and a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge asserted through this report by completion of a Bachelor of Science degree in Plant Science, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 30 years.

Signed:

Date: 12/12/20



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Fax: 650-925-7869

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INTERIOR DESIGN PACKAGE

ARBORIST REPORT

12/12/2022

T2.2

Description	Date
REVISION 1	12/18/2020
REVISION 5	12/12/2022

- LEGEND
- — — — — PROPERTY LINES
 - - - - - PROPERTY LINES
 - - - - - BASEMENT OUTLINE
 - - - - - 1ST FLOOR OUTLINE
 - - - - - 2ND FLOOR OUTLINE
 - E E E E E ELEC. LINE
 - G G G G G GAS LINE
 - SS SS SS SS SANITARY SEWER LINE
 - W W W W WATER LINE
 - ○ ○ ○ ○ FENCE LINE
 - - - - - TPZ FENCING



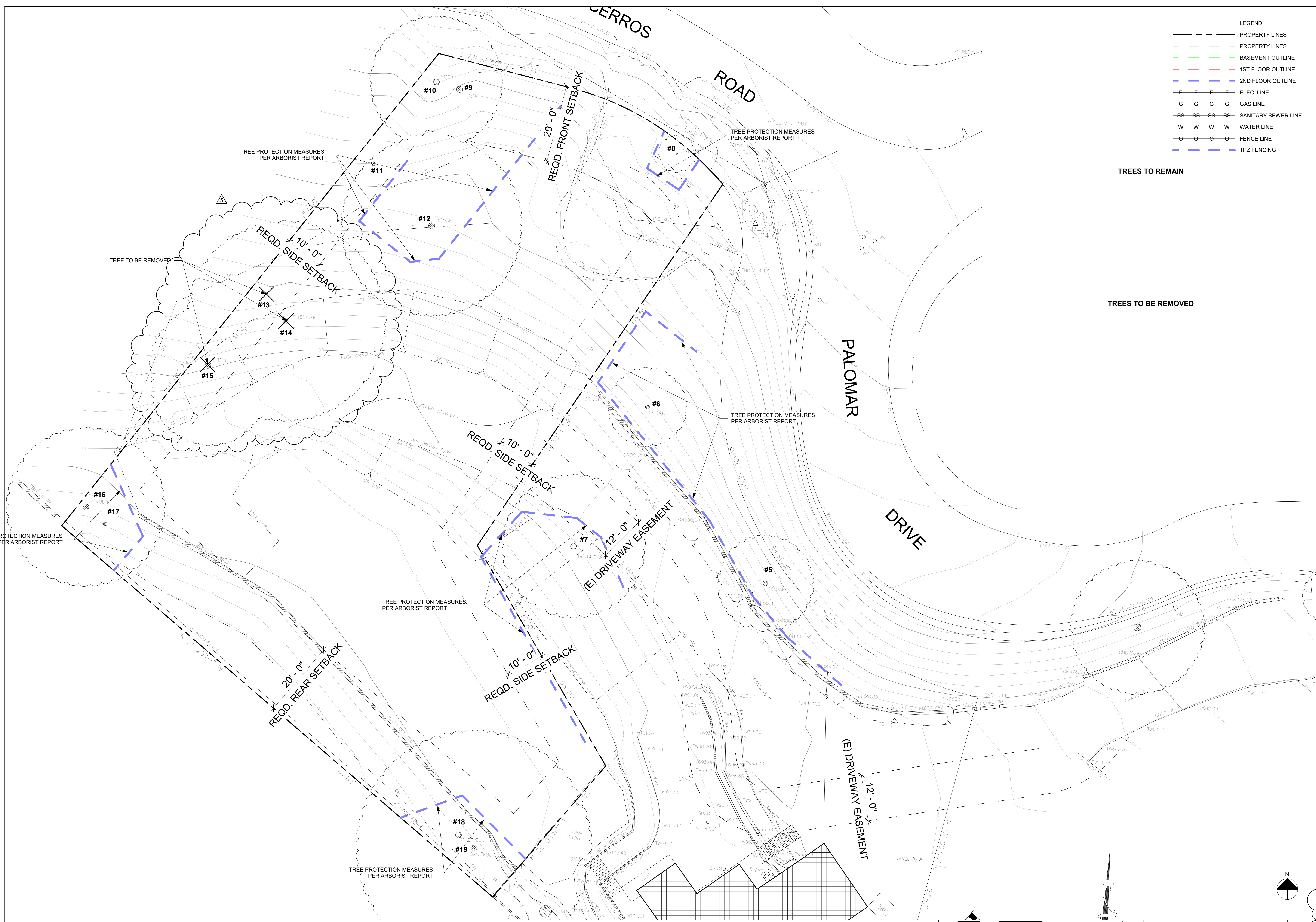
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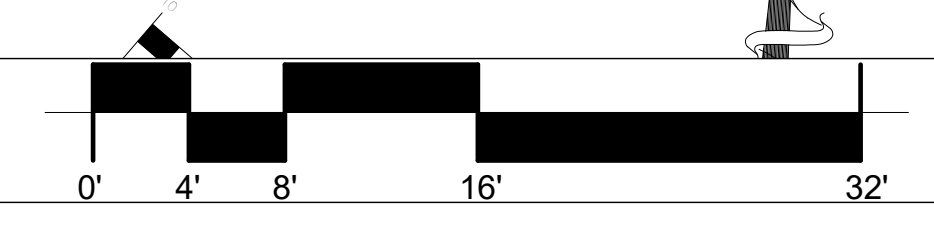
INTERIOR DESIGN PACKAGE
 (E) SITE PLAN / TREE
 PROTECTION MEASURES

12/12/2022

A1.1



(E) SITE PLAN / TREE PROTECTION MEASURES



SCALE: 3/32" = 1'-0" 1

Description	Date
REVISION 1	12/18/2020
REVISION 3	12/20/2021
REVISION 4	11/17/2022
REVISION 5	12/12/2022



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(P) SITE PLAN

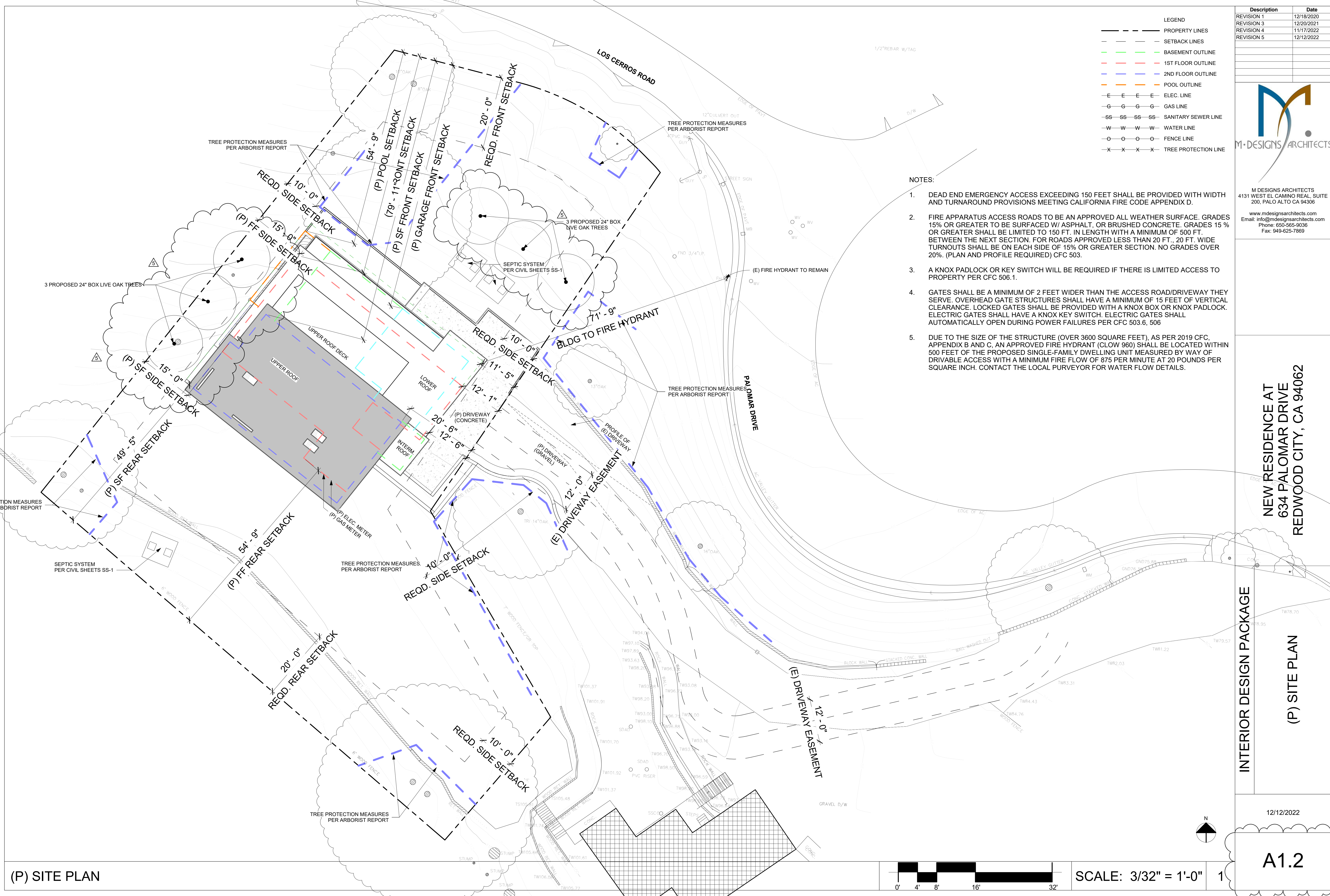
12/12/2022

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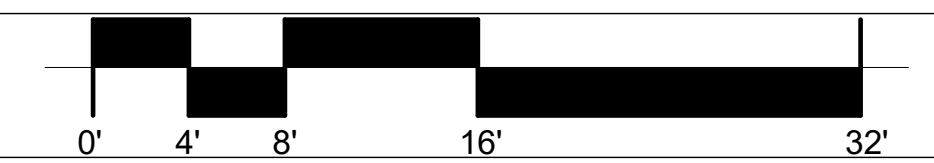
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- - - SETBACK LINES
- - - BASEMENT OUTLINE
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- - - 2ND FLOOR OUTLINE
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- O O O O FENCE LINE
- X X X X TREE PROTECTION LINE

NOTES:

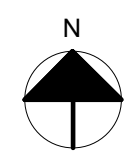
- DEAD END EMERGENCY ACCESS EXCEEDING 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.
- FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED W/ ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FT. IN LENGTH WITH A MINIMUM OF 500 FT. BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FT., 20 FT. WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED) CFC 503.
- A KNOX PADLOCK OR KEY SWITCH WILL BE REQUIRED IF THERE IS LIMITED ACCESS TO PROPERTY PER CFC 506.1.
- GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ACCESS ROAD/DRIVEWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 15 FEET OF VERTICAL CLEARANCE. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK. ELECTRIC GATES SHALL HAVE A KNOX KEY SWITCH. ELECTRIC GATES SHALL AUTOMATICALLY OPEN DURING POWER FAILURES PER CFC 503.6, 506
- DUE TO THE SIZE OF THE STRUCTURE (OVER 3600 SQUARE FEET), AS PER 2019 CFC, APPENDIX B AND C, AN APPROVED FIRE HYDRANT (CLOW 960) SHALL BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS WITH A MINIMUM FIRE FLOW OF 875 PER MINUTE AT 20 POUNDS PER SQUARE INCH. CONTACT THE LOCAL PURVEYOR FOR WATER FLOW DETAILS.

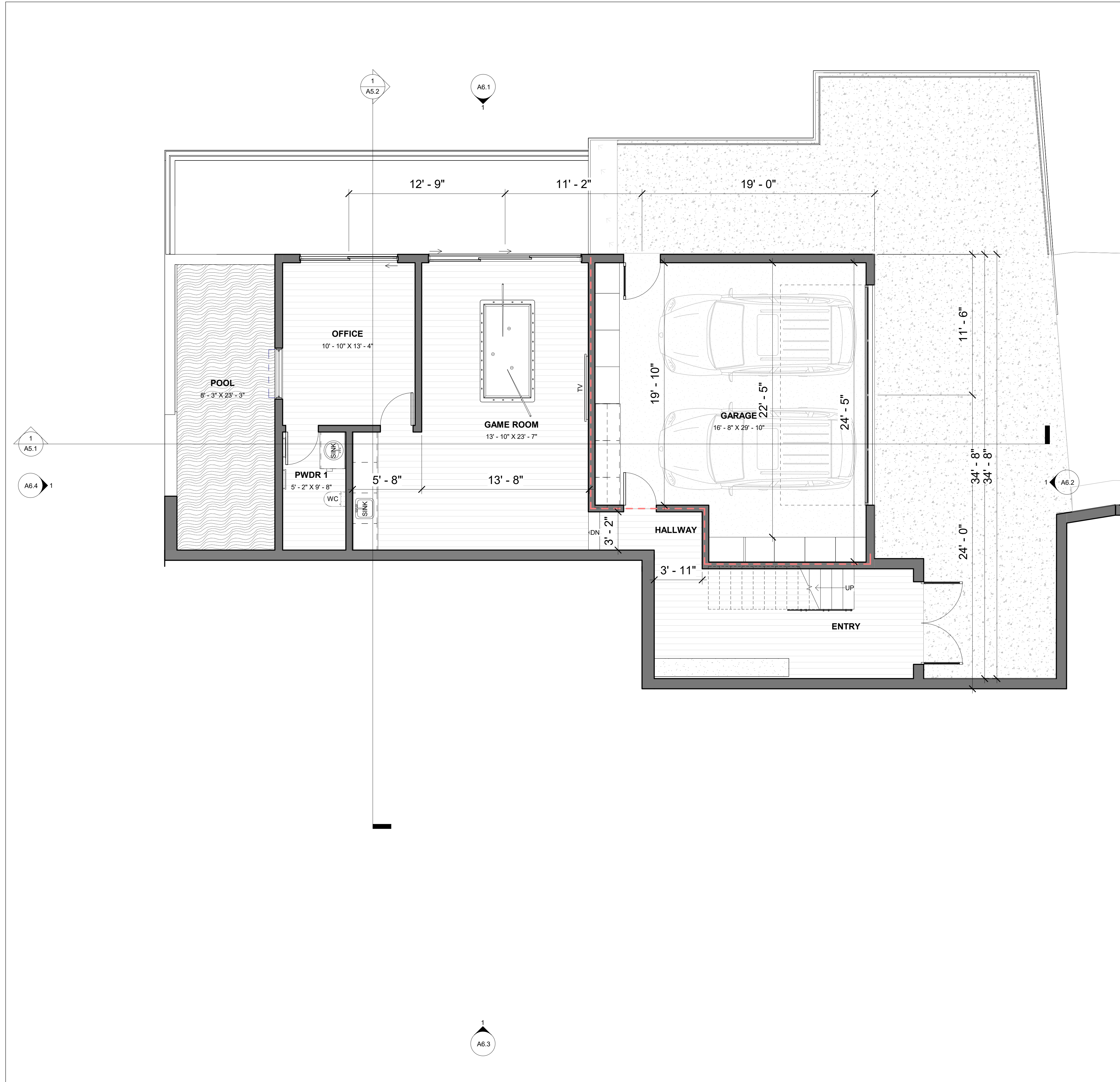


(P) SITE PLAN



SCALE: 3/32" = 1'-0" 1





LEGEND

	(E) WALLS TO REMAIN
	(P) NEW WALLS
	1-HOUR FIRE-RATED WALLS
	WALL TAG
	WINDOW TAG
	DOOR TAG
	TEMPERED TAG
	OBSCURE TAG
	PLAN NOTE
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE DETECTOR
	ELECTRIC METER
	GAS METER

NOTES:

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- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY, WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
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- AN EXTERIOR BELL IS REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM

Description	Date
REVISION 1	12/18/2020
REVISION 3	12/20/2021

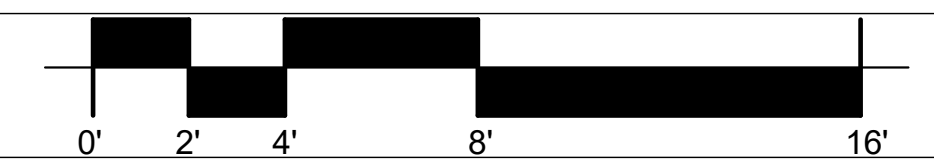
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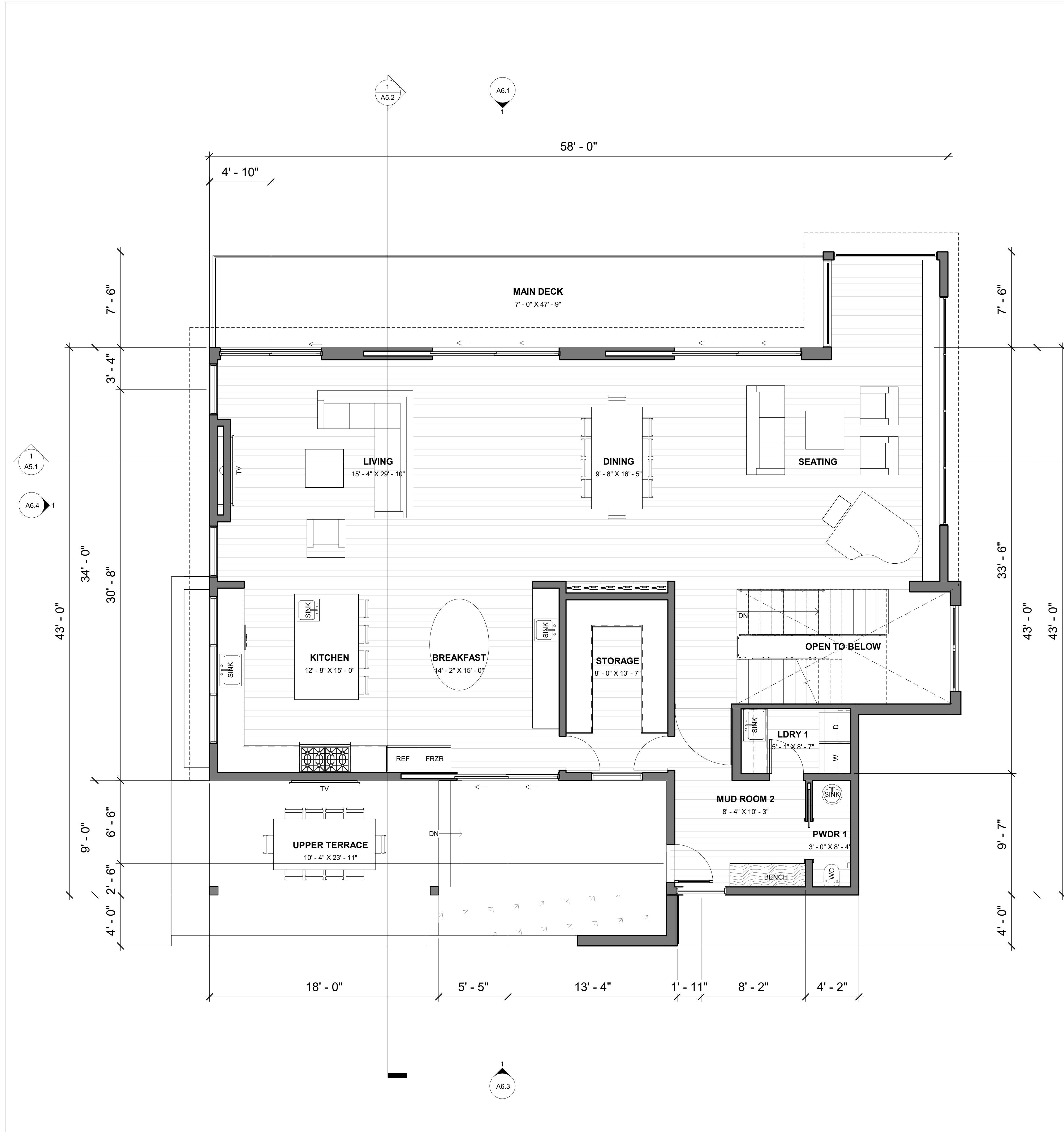
NEW RESIDENCE AT
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REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

(P) BASE FLOOR PLAN

12/12/2022





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LEGEND

	(E) WALLS TO REMAIN
	(P) NEW WALLS
	1-HOUR FIRE-RATED WALLS
	WALL TAG
	WINDOW TAG
	DOOR TAG
	TEMPERED TAG
	OBSCURE TAG
	PLAN NOTE
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE DETECTOR
	ELECTRIC METER
	GAS METER

Description	Date
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REVISION 4	11/17/2022

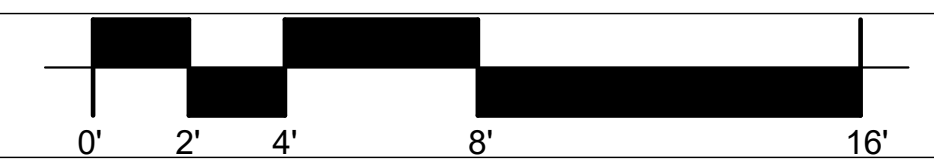
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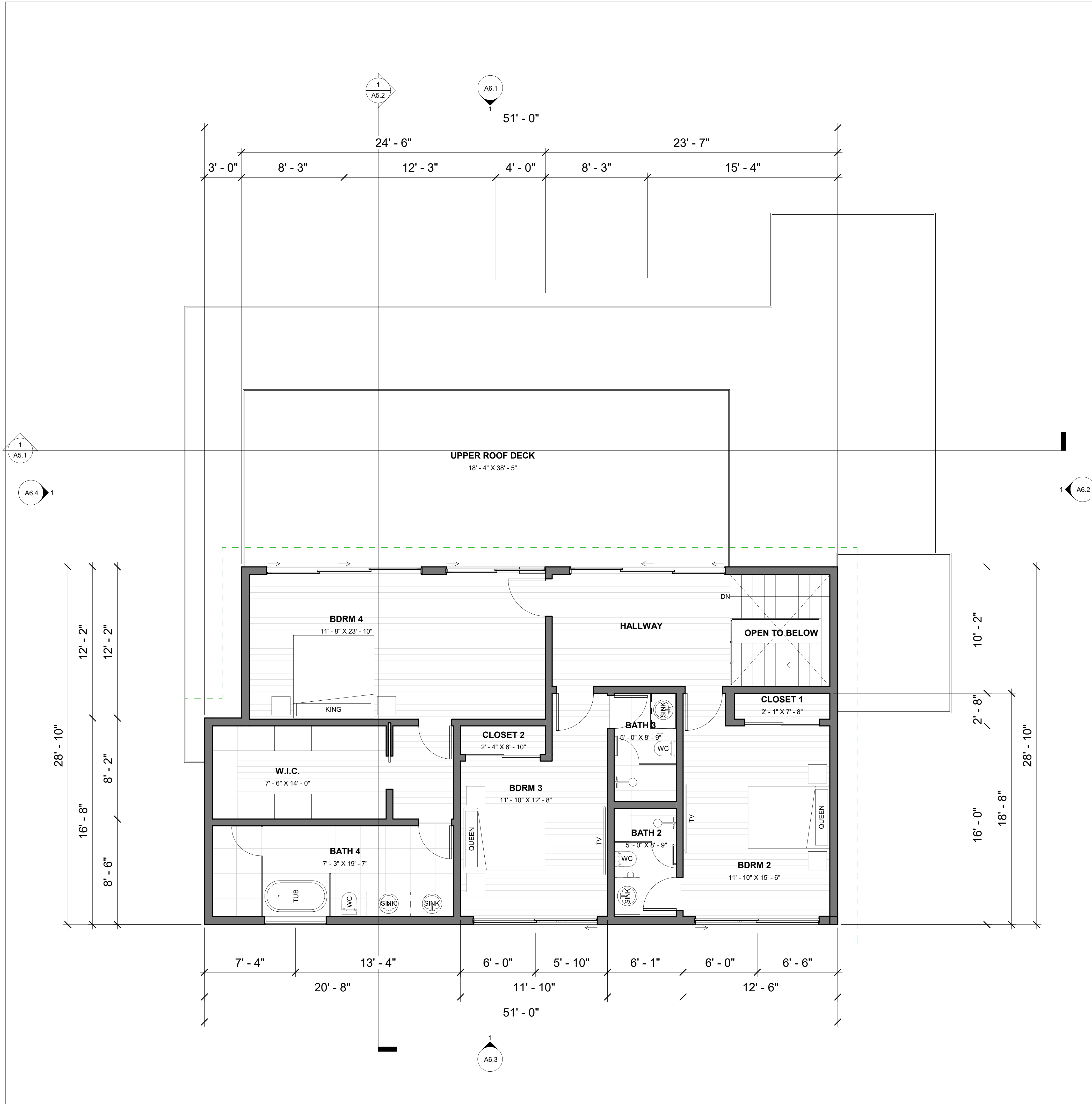
INTERIOR DESIGN PACKAGE
(P) 1ST FLOOR PLAN

12/12/2022
A2.2

(P) 1ST FLOOR PLAN



SCALE: 1/4" = 1'-0" 1



LEGEND

	(E) WALLS TO REMAIN
	(P) NEW WALLS
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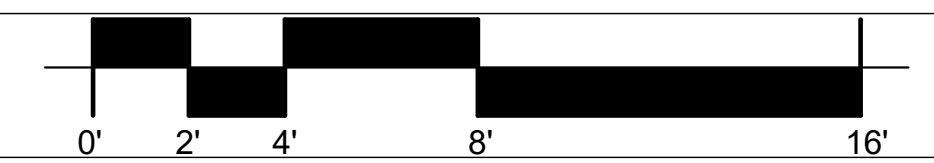
INTERIOR DESIGN PACKAGE

(P) 2ND FLOOR PLAN

12/12/2022

A2.3

(P) 2ND FLOOR PLAN



SCALE: 1/4" = 1'-0" 1

NOTE: THE BUILDING IS IN A VERY HIGH FIRE HAZARD SEVERITY ZONE AND WILL REQUIRE A CLASS A ROOF.

Description	Date
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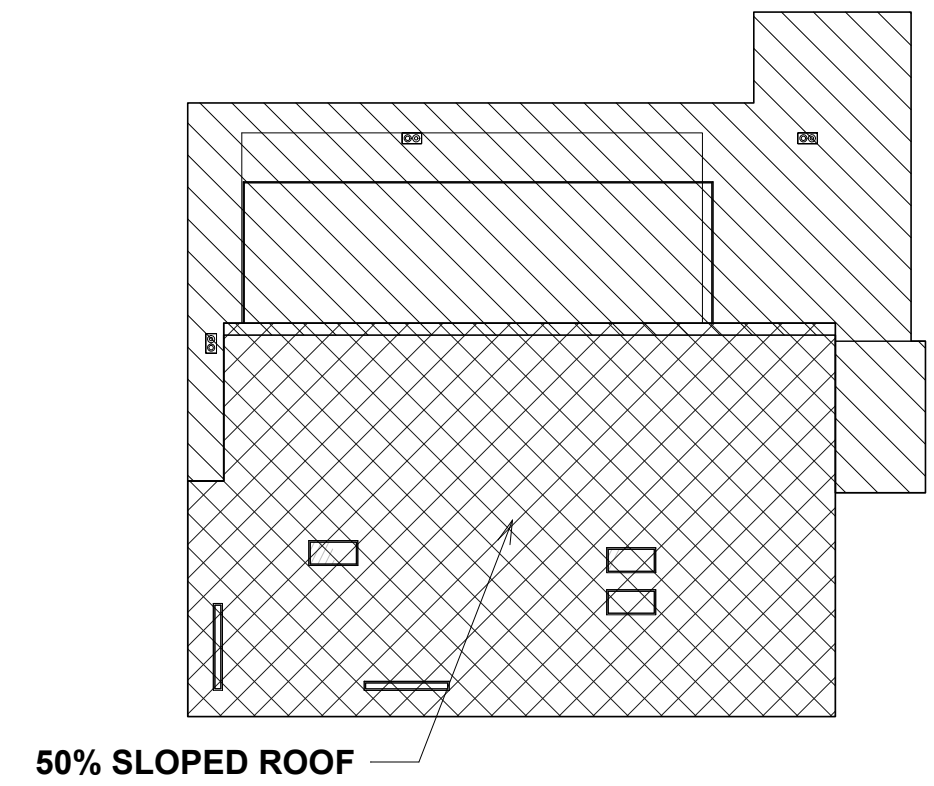
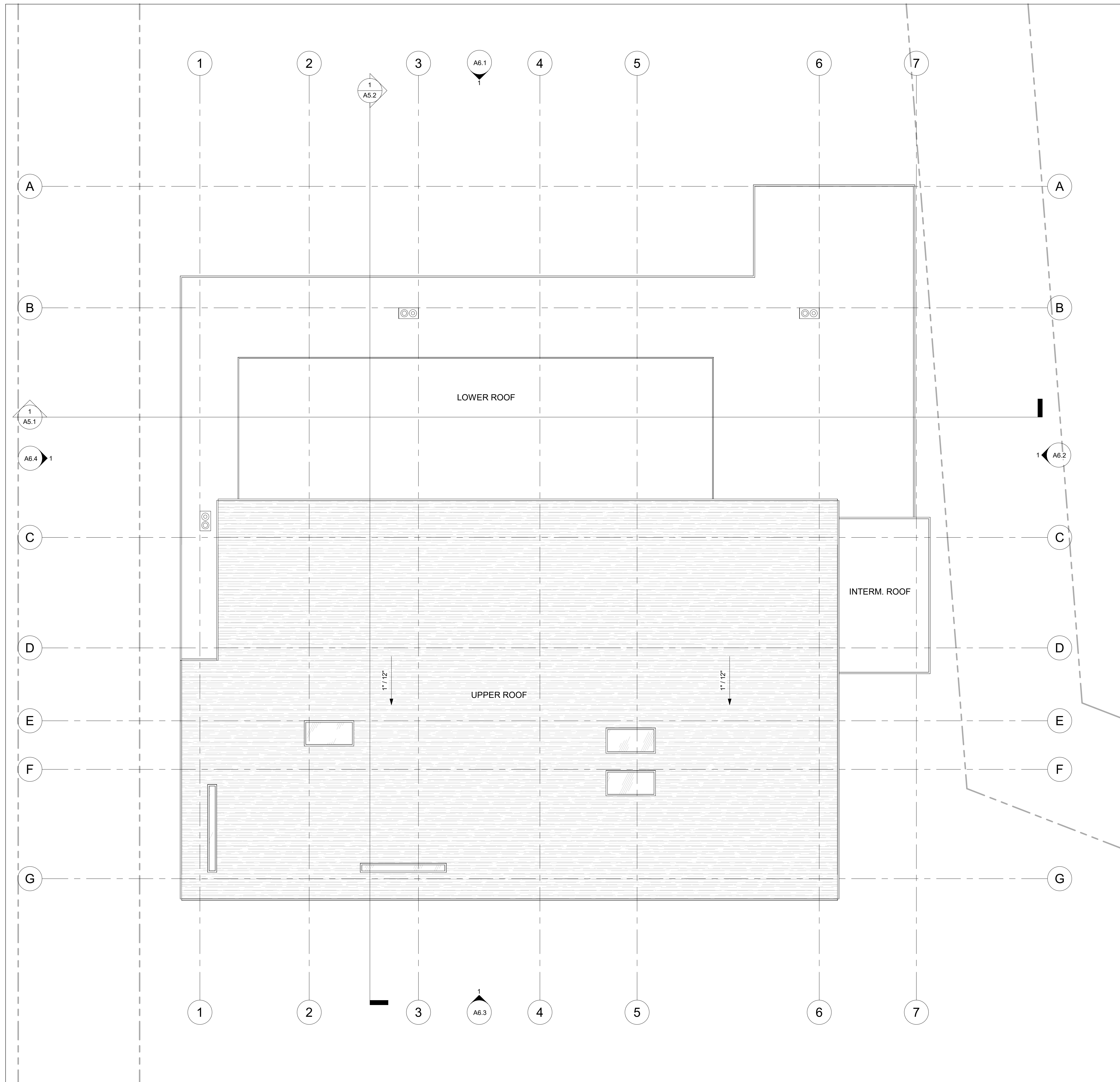
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 4131 WEST EL CAMINO REAL, SUITE 200, PALO ALTO CA 94306
 www.mdesignsarchitects.com
 Email: info@mdesignsarchitects.com
 Phone: 650-565-9036
 Fax: 650-565-7869

NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

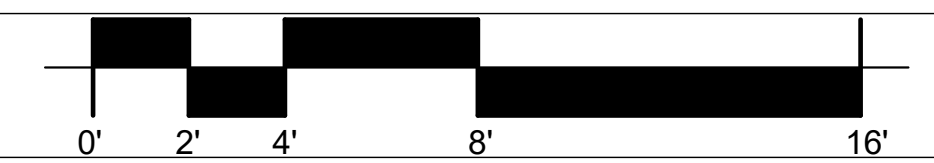
INTERIOR DESIGN PACKAGE
 (P) ROOF PLAN

12/12/2022

A4.1



(P) ROOF PLAN



SCALE: As indicated 1

LEGEND	
(E)	WALLS, FLOORS, AND ROOFS TO REMAIN
(P)	NEW WALLS, FLOORS AND ROOFS
#	WALL TAG
#	WINDOW TAG
#	DOOR TAG
#	TEMPERED TAG
(OBS)	OBSCURE TAG
#	PLAN NOTE

Description	Date
REVISION 4	11/17/2022

M·DESIGNS ARCHITECTS

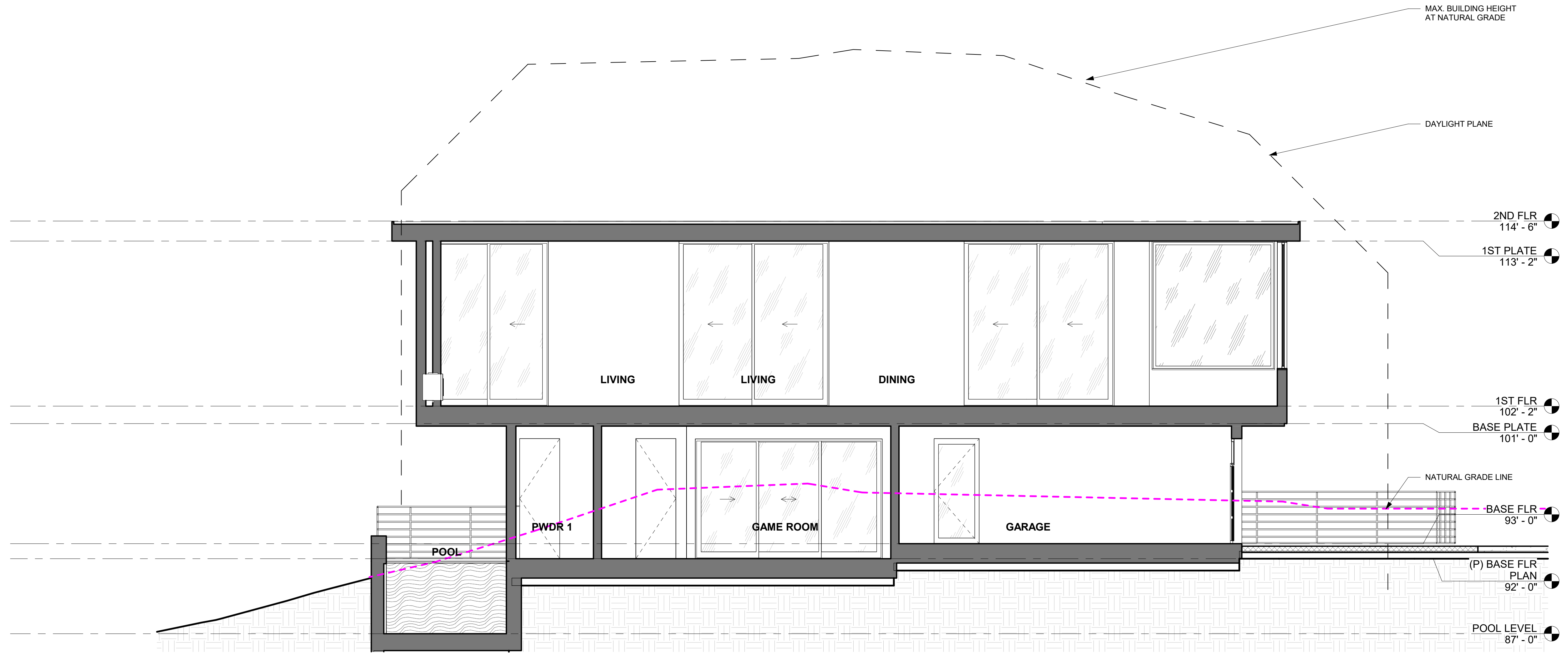
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634 PALOMAR DRIVE
REDWOOD CITY, CA 94062**

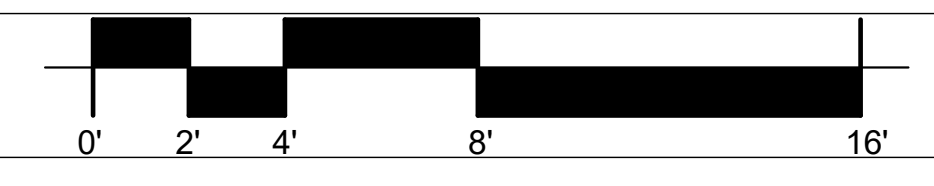
**INTERIOR DESIGN PACKAGE
(P) A-A SECTION**

12/12/2022

A5.1



(P) A-A SECTION



SCALE: 1/4" = 1'-0" 1

Description	Date
REVISION 5	12/12/2022



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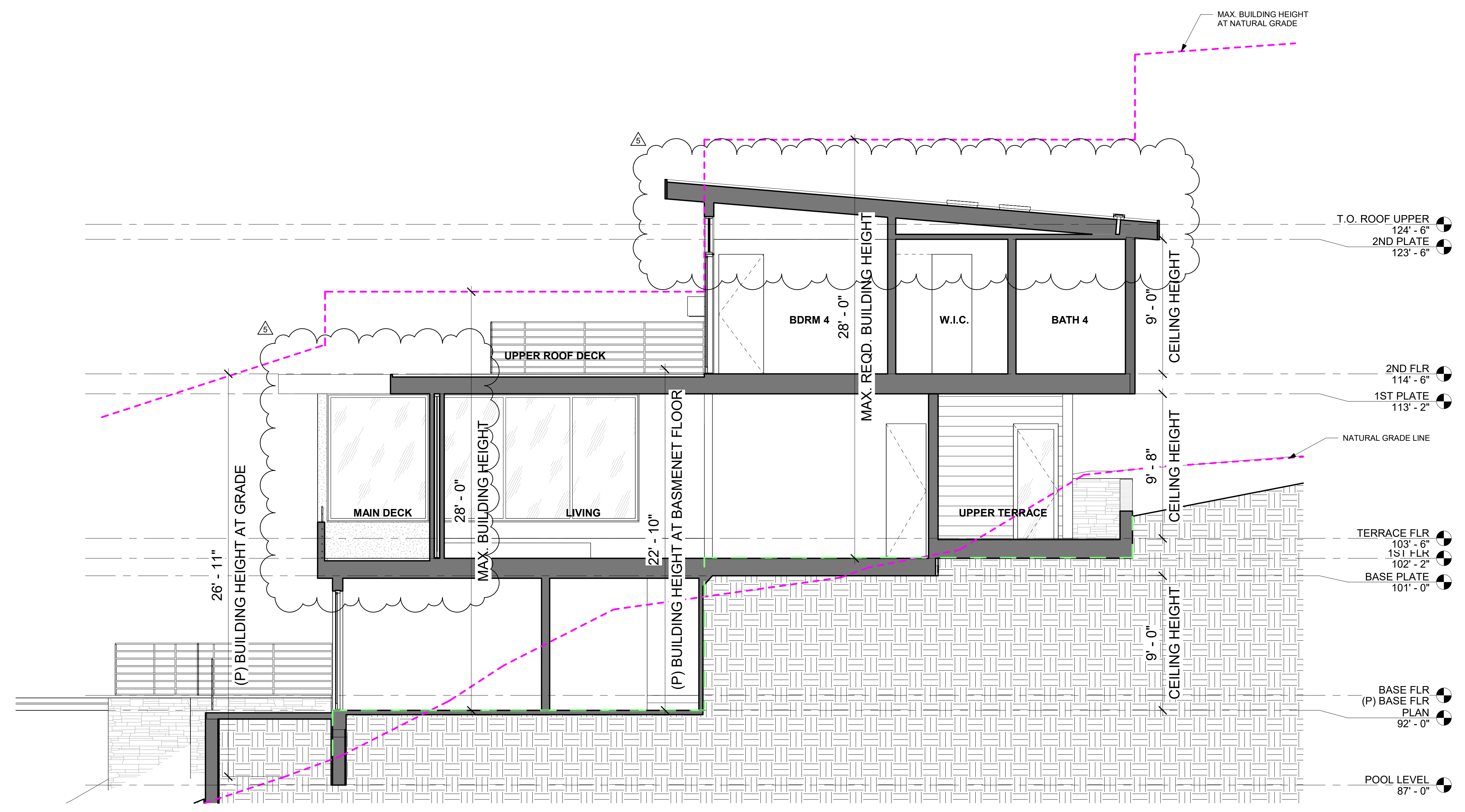
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) B-B SECTION

12/12/2022

A5.2

- LEGEND
- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE



(P) B-B SECTION

SCALE: 1/4" = 1'-0" 1

Description	Date
REVISION 4	11/17/2022
REVISION 5	12/12/2022



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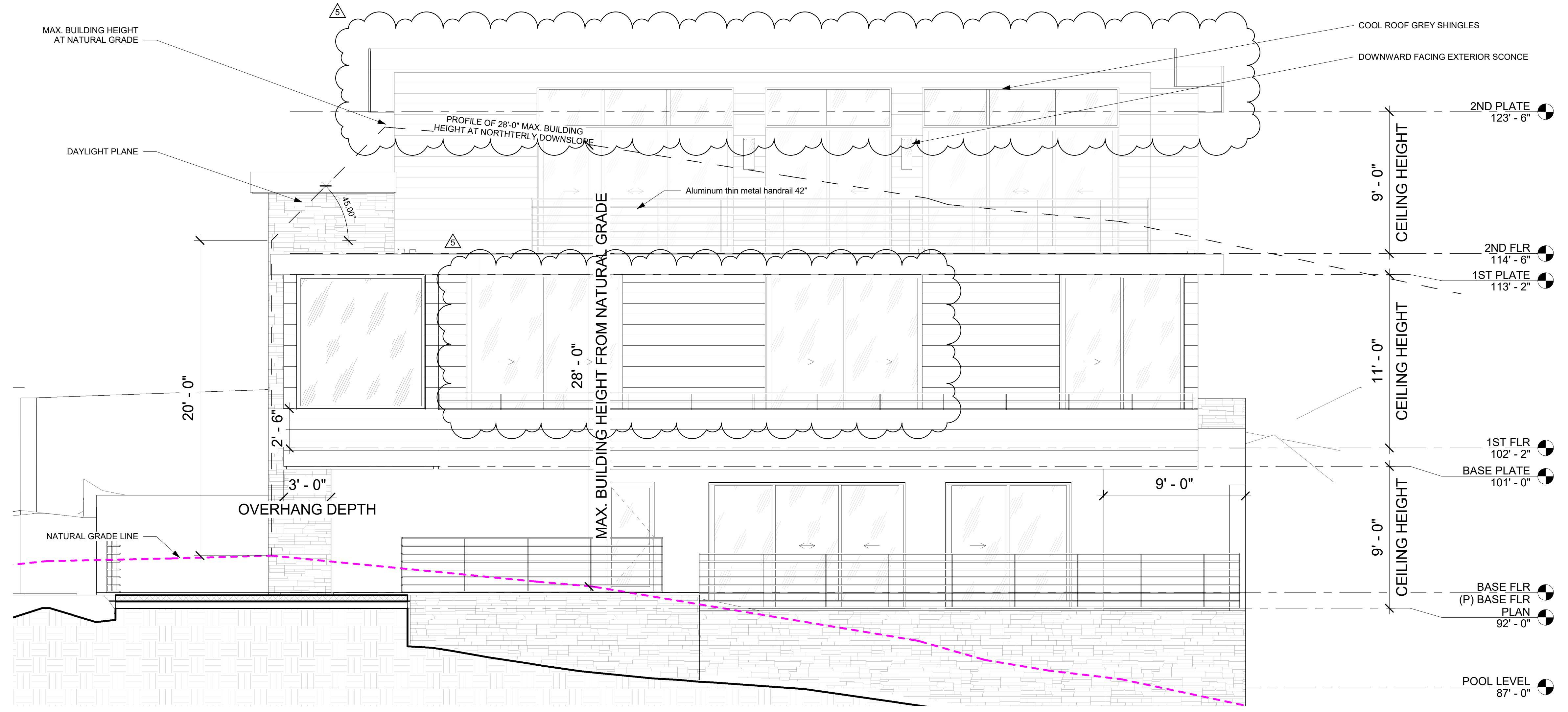
- LEGEND
- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE

NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

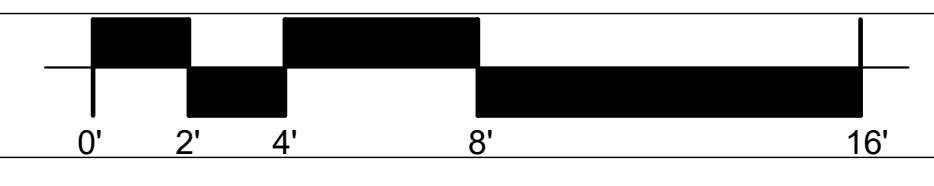
INTERIOR DESIGN PACKAGE
 (P) NORTH ELEVATIONS

12/12/2022

A6.1



(P) NORTH ELEVATIONS



SCALE: 1/4" = 1'-0"

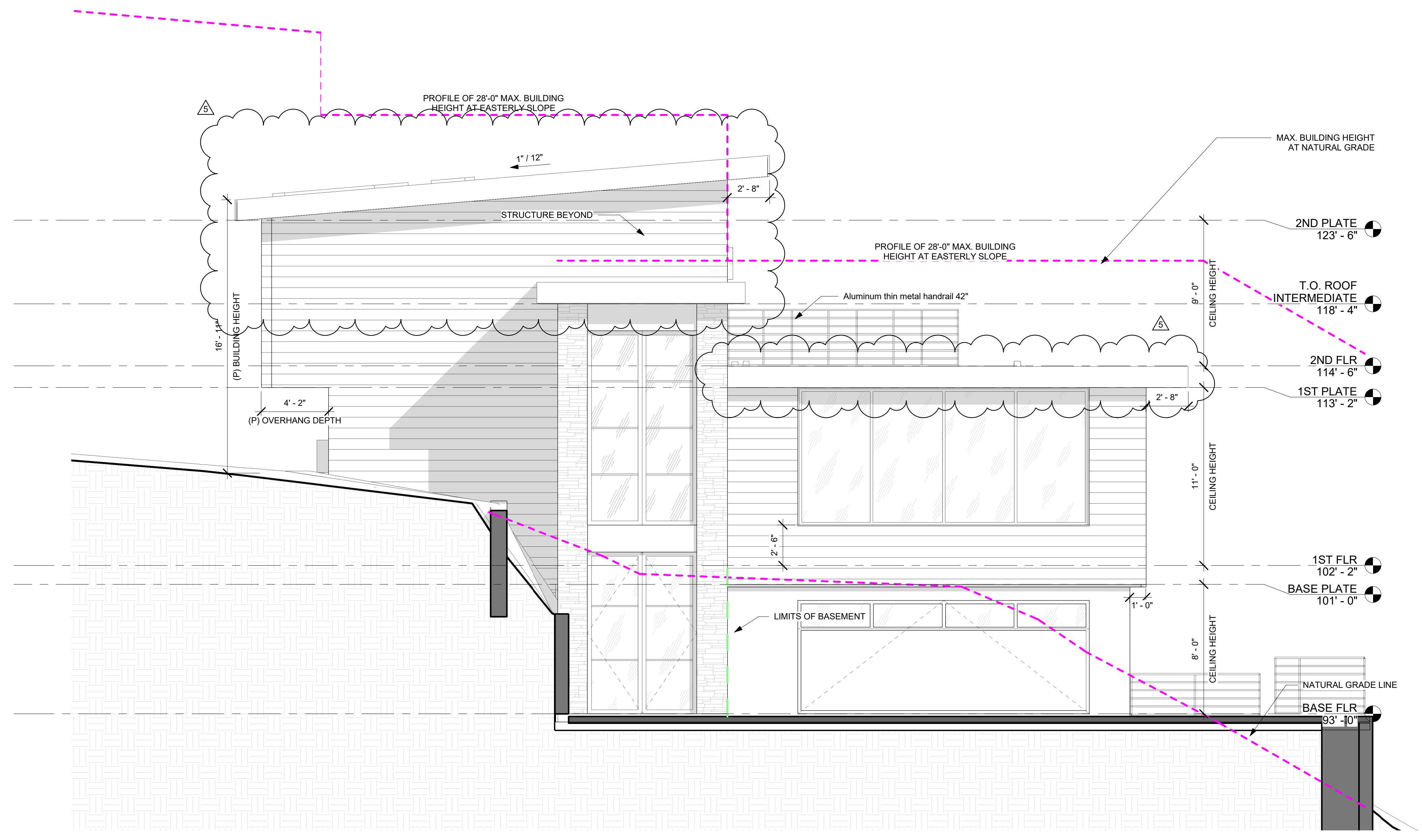
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Description	Date
REVISION 5	12/12/2022

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- LEGEND
- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE



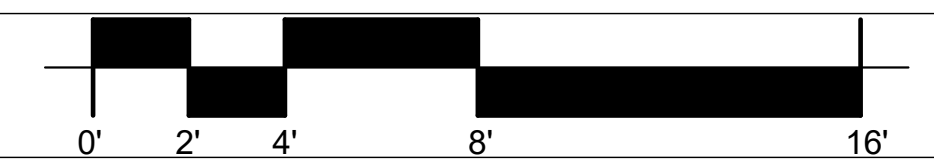
NEW RESIDENCE AT
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
(P) EAST ELEVATIONS

12/12/2022

A6.2

(P) EAST ELEVATIONS



SCALE: 1/4" = 1'-0"

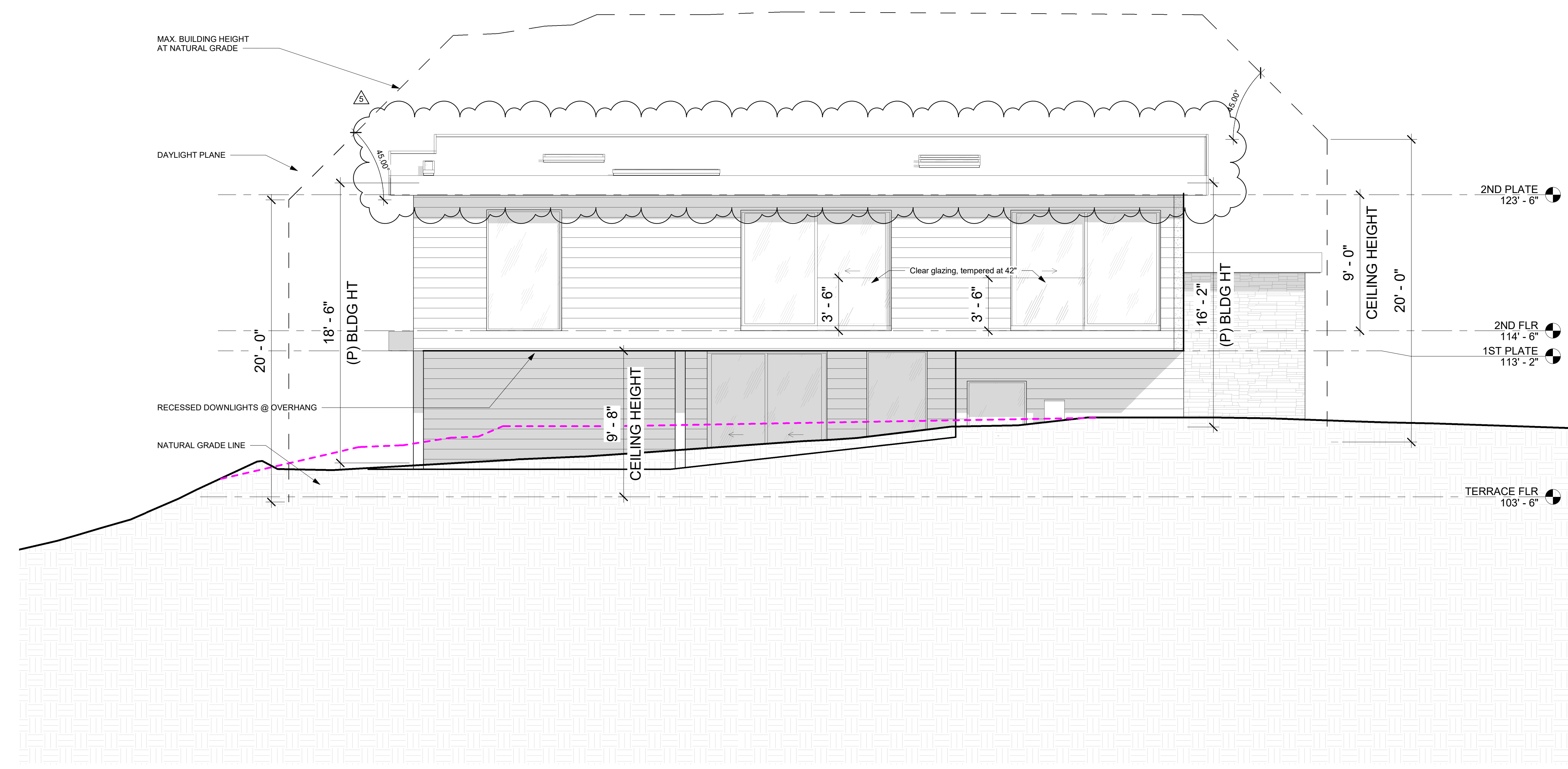
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Description	Date
REVISION 5	12/12/2022



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 Fax: 650-565-7869

- LEGEND
- ◇ # WALL TAG
 - ◻ # WINDOW TAG
 - ◻ # DOOR TAG
 - ⊕ TEMPERED TAG
 - OBS OBSOURE TAG
 - ⊕ # PLAN NOTE



NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

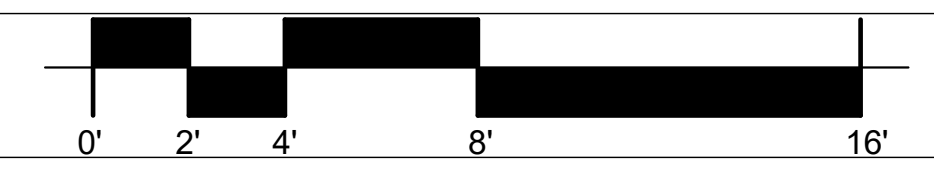
INTERIOR DESIGN PACKAGE

(P) SOUTH ELEVATION

12/12/2022

A6.3

(P) SOUTH ELEVATION



SCALE: 1/4" = 1'-0"

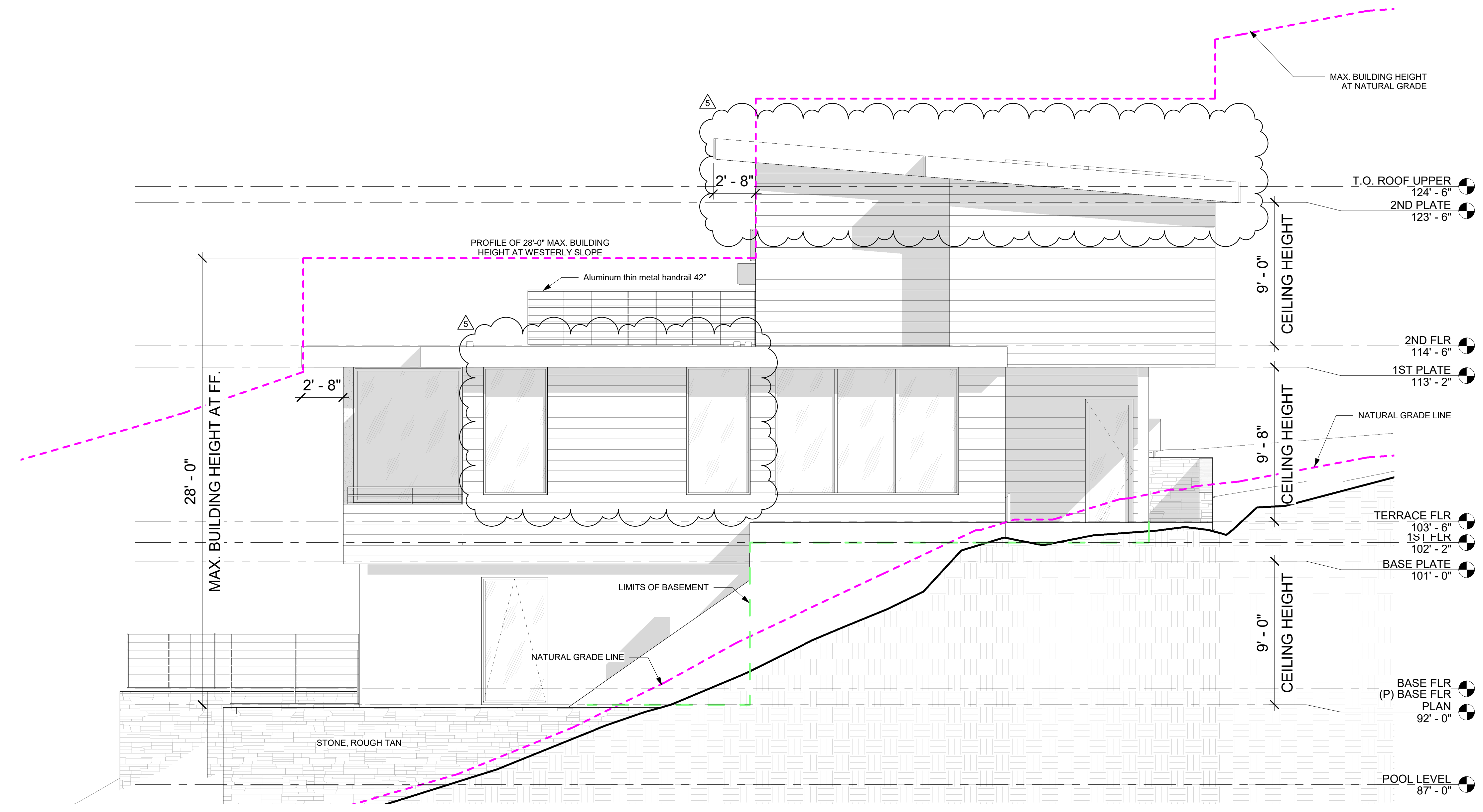
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Description	Date
REVISION 5	12/12/2022



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 Fax: 650-565-7869

- LEGEND
- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE



NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

(P) WEST ELEVATION

12/12/2022

A6.4

(P) WEST ELEVATION

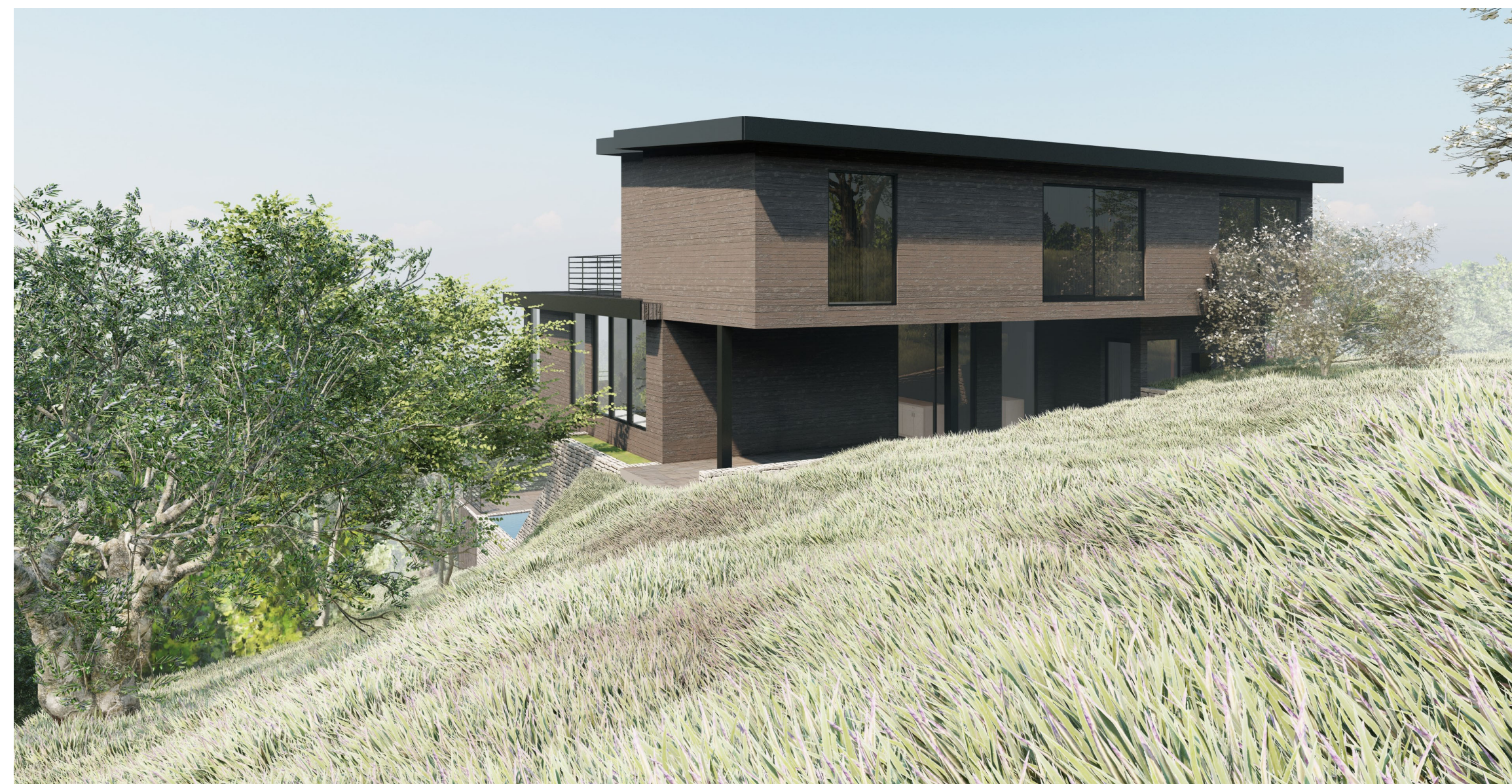


SCALE: 1/4" = 1'-0"

1



FRONT VIEW



REAR VIEW

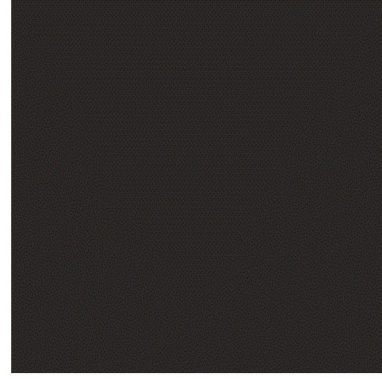
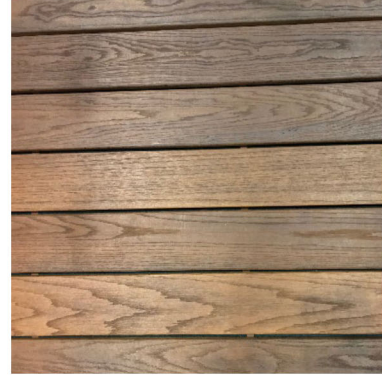


STREET VIEW



September 26, 2022

Subject: MATERIALS BOARD
 Re: 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

	
ROOF - MENARD BLACK SHINGLES	WINDOWS & DOORS TRIM- BLACK
	
STONE - CORONADO VEJO RANCH BLEND	WOOD SIDING - POPULAR WOOD T&G

4131 El Camino Real, Suite 200 • Palo Alto, CA 94306 • (650) 565-9036 • www.mdesignsarchitects.com

Description	Date
REVISION 1	12/18/2020
REVISION 4	11/17/2022



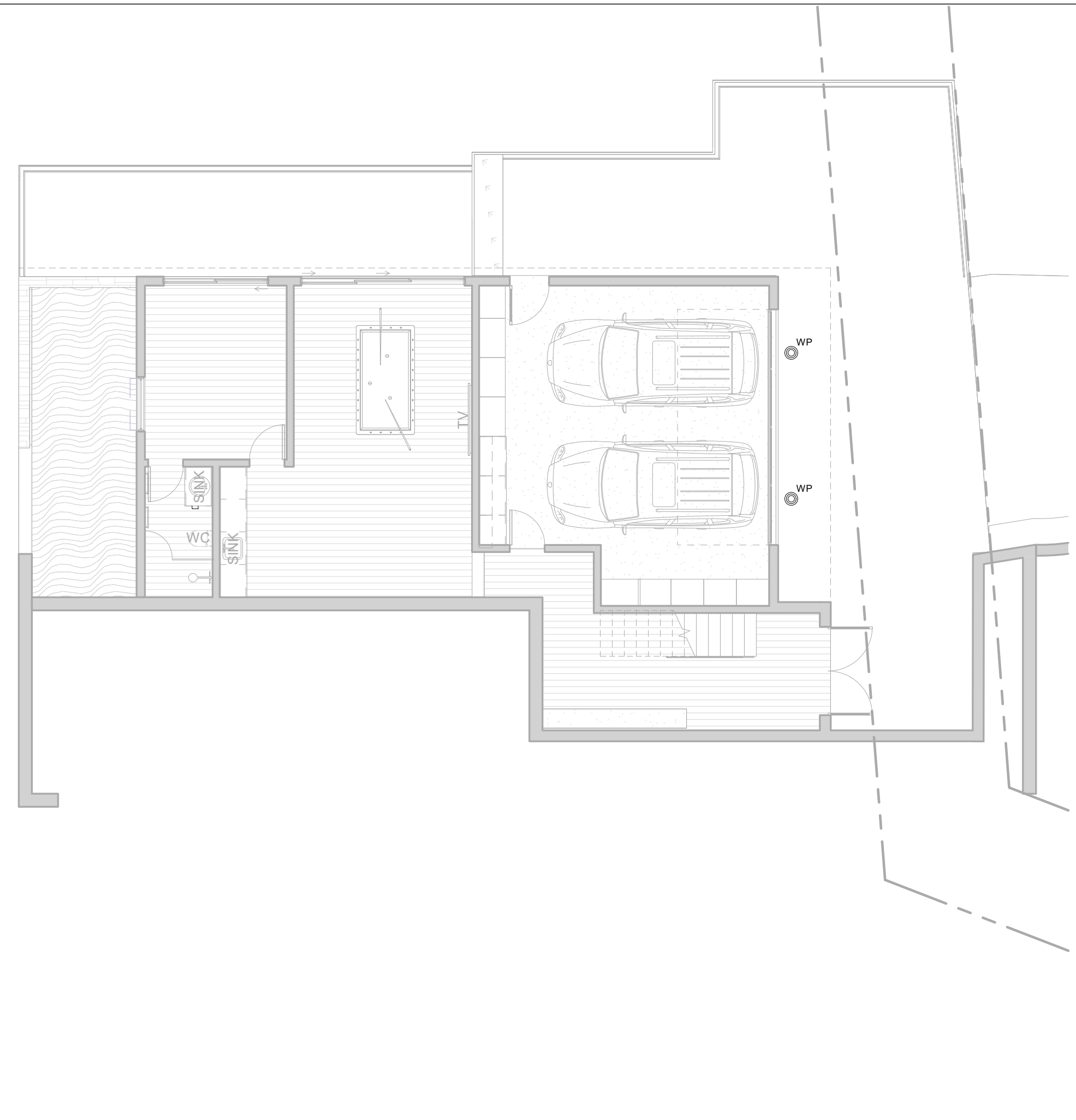
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NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 COLOR/MATERIAL BOARD

12/12/2022

CB.1



BASEMENT FLOOR EXTERIOR LIGHTING PLAN

Finiré 4" LED Recessed Lighting
17 W, 18 W, and 20 W IC LED Round Adjustable

LUTRON
HALO COLLECTION

367 216th 1 02.08.2019

DIMENSIONS
SIDE VIEW

Legend:
A Frame
B Trim
C Junction Box
D IC Housing
E Mud Ring*
Lutron Hi-Lume 1% LED Driver not shown

BOTTOM VIEW (Trimmed)

BOTTOM VIEW (Trimless)

PRINCIPAL FEATURES

- Xicato LEDs: 83 CRI (typical) or 97 CRI, R9=95 (typical).
- 50,000 hours rated LED system life (LED and driver) at 77 °F (25 °C) ambient.
- Powerful adjustable LED module in efficient trim with excellent cutoff.
- Standard Lutron Hi-Lume 1% LED Driver delivers continuous, flicker-free dimming from 100% down to 1% of measured light output.
- Hi-Lume 1% EcoSystem LED Driver features Soft-on, Fade-to-Black technology.¹
- 20°, 30°, 35°, 40° and 50° beam angles available.
- Trim supports a variety of lens/accessory options.
- IC fixtures must be used for installations containing insulating materials. Non-IC fixtures cannot be used in this type of application.
- IC fixtures meet airtight and Chicago plenum construction requirements for 2.0 CFM or less air leakage.
- Frame constructed of 20 gauge steel.
- UL_e and cUL_e Listed.
- Supplied with 14 in to 24 in (356 mm to 610 mm) adjustable bar hangers.
- LED optics rotate 357° and tilt from 0° to 42°.
- Housings finished with reclaimed black powder coat.
- Adjustable mounting brackets can be mounted on any side of the fixture.
- Field replaceable components:
 - Beam angle reflector
 - Lutron LED driver
 - LED module with integrated heat sink options.
- 2-wire forward phase controls are generally for residential applications. EcoSystem controls are generally for commercial applications.

SPECIFICATIONS

Operating Temperature: 32 °F to 104 °F (0 °C to 40 °C)

Decibel Rating: Quiet in a 25 dB room

Max Ceiling Thickness: 2.0 in (50 mm)

Mud Ring Thickness*: 4.8 in (122 mm)

Ceiling Cutout: 4.8 in (122 mm)

Fixture Weight: 4.0 lb (1.8 kg)

Fixture Size (by LED Type):

- 1A: 13.0 in x 9.5 in x 6.4 in (330 mm x 241 mm x 163 mm)
- 2S and 2A: 18.9 in x 9.5 in x 6.4 in (480 mm x 241 mm x 163 mm)

Junction Box Size: 4.9 in x 3.1 in x 1.75 in (124 mm x 79 mm x 44 mm). See NEC chart 314.16A for box fill/wiring capacity.

COMPATIBLE CONTROLS

Visit www.lutron.com/finire

*Mud ring is for trimless fixtures only.
*PWM dimming below 5% for Hi-Lume 1% EcoSystem drivers.

www.lutron.com/halo HALO | 1

Slant LED Indoor & Outdoor Wall Light
By dweLED

YLIGHTING
Call Us 866.428.9289

Product Options

Finish: Brushed Aluminum, Black

Details

- May be mounted on wall vertically or upside down
- ACLED driver
- Designed in 2019
- Material: Aluminum
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: ELV Dimmer: 100 - 10%
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made in China

Dimensions

Fixture: Length 5", Width 3.25", Height 18.83"

Lighting

- 7 Watt (443 Lumens) 120 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

Additional Details

Product URL:
<https://www.ylighting.com/slant-led-indoor-and-outdoor-wall-light-by-dweled-DWEF266554.html>

Rating: ETL Listed Wet

Product ID: DWEF266554

Prepared by: [Blank]

Prepared for: [Blank]

Project: [Blank]

Room: [Blank]

Placement: [Blank]

Approval: [Blank]

Created December 20th, 2021



FIRST FLOOR EXTERIOR LIGHTING PLAN



SECOND FLOOR EXTERIOR LIGHTING PLAN

Description	Date
REVISION 1	12/18/2020
REVISION 3	12/20/2021

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200, PALO ALTO CA 94306

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Phone: 650-565-9036
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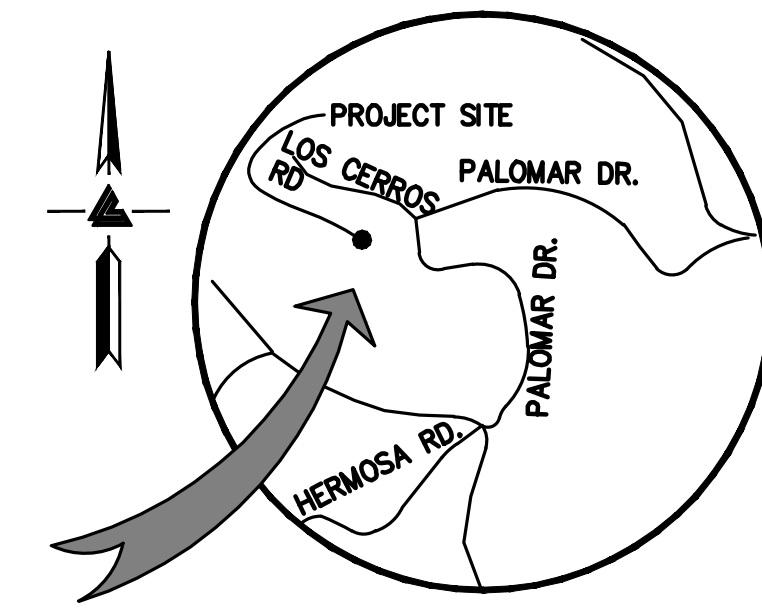
NEW RESIDENCE AT
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
EXTERIOR LIGHTING

12/12/2022

E2.0

634 PALOMAR DRIVE REDWOOD CITY, CALIFORNIA UNINCORPORATED SAN MATEO COUNTY



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CALIFORNIA 94568
SAN JOSE, CALIFORNIA 95128
(510) 887-4086
WWW.LEABRAZE.COM

OWNER'S INFORMATION

OWNER:
DAVID JACKSON AND ANUSHA THALAPANEN
485 BRYANT STREET, APT. B
SAN FRANCISCO, CALIFORNIA

APN: 051-022-380

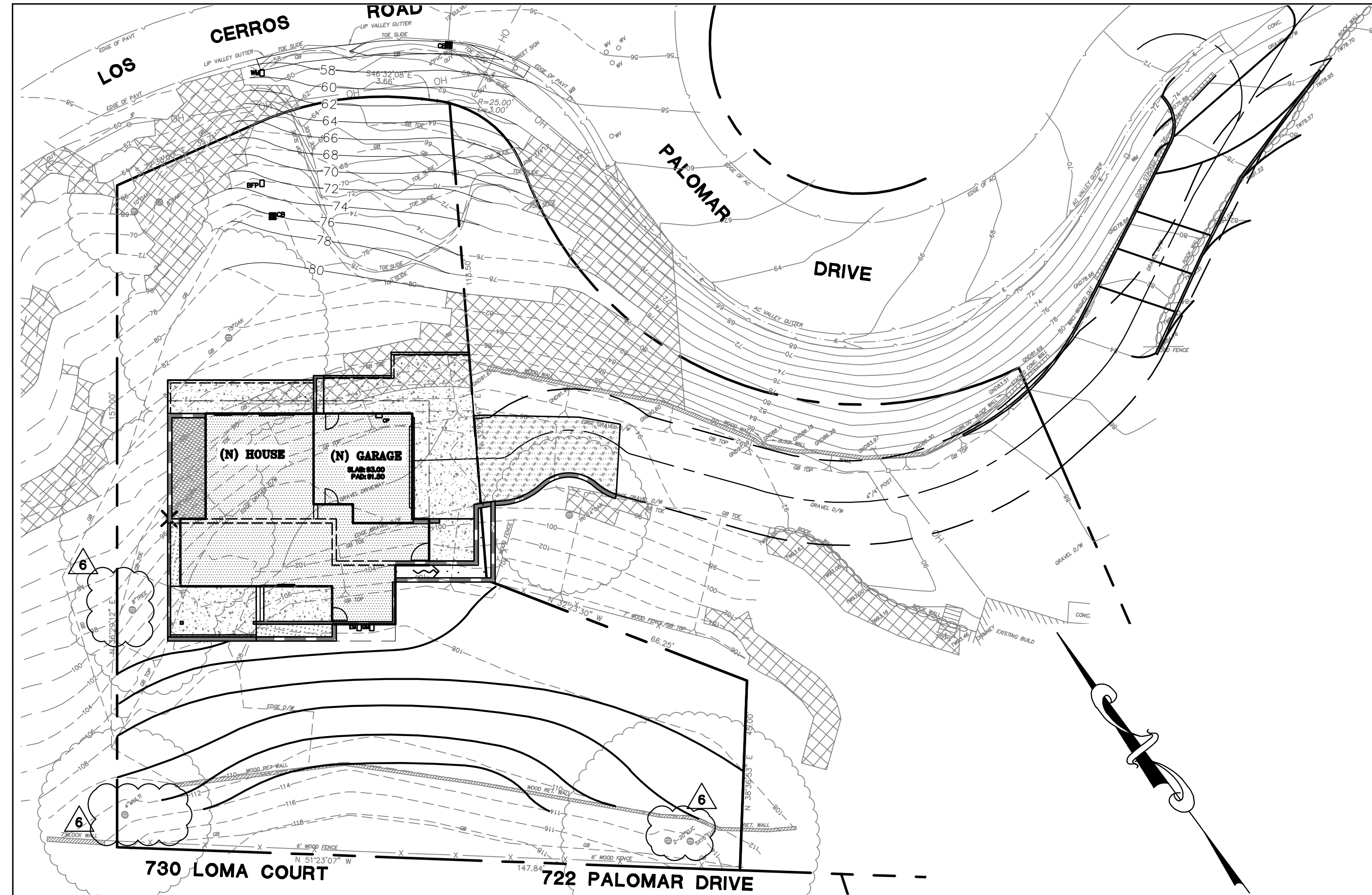
REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY GIULIANI & KULL, INC., ENTITLED: "TOPOGRAPHIC SURVEY" 634 PALOMAR DRIVE, REDWOOD CITY, CALIFORNIA DATED: 3-24-17 JOB# 14144
 - ARCHITECTURAL AND SITE DESIGN PLANS BY M. DESIGN ARCHITECTS, ENTITLED: "NEW RESIDENCE AT 634 PALOMAR DRIVE" 634 PALOMAR DRIVE, REDWOOD CITY, CALIFORNIA DATED: 04-22-20 JOB#:
 - SOIL REPORT BY ATLAS GEOSPHERE CONSULTANTS, INC., ENTITLED: "PROPOSED RESIDENTIAL DEVELOPMENT" 634 PALOMAR DRIVE, REDWOOD CITY, CALIFORNIA DATE: 07-29-2020 JOB# 91-55905-A

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

SITE DEVELOPMENT INFORMATION

TOTAL SITE AREA: 18,129 SQFT / 0.42 ACRE
TOTAL DISTURBED AREA: 14,359 SQFT / 0.33 ACRE

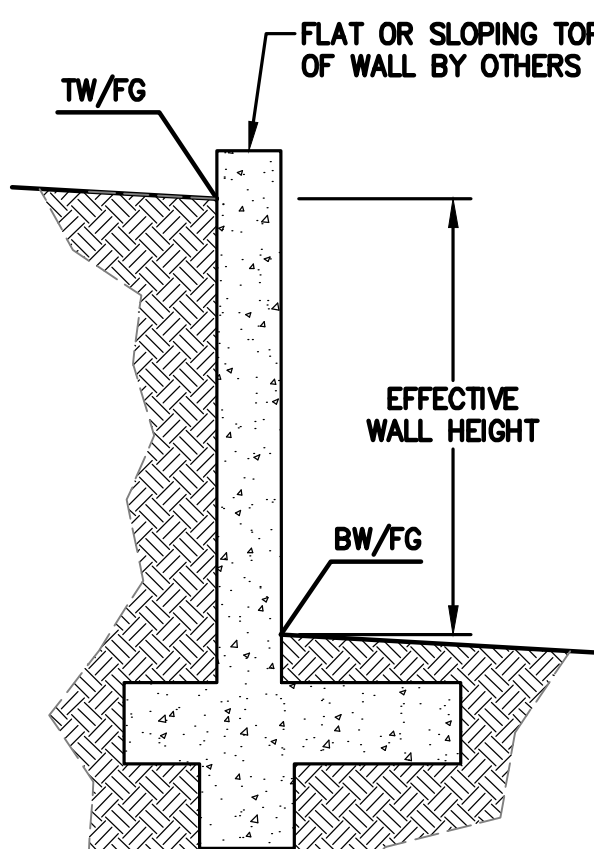


KEY MAP

1" = 20'

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



SCHEMATIC RETAINING WALL. PLEASE NOTE THE DETAIL ABOVE IS SCHEMATIC ONLY AND DOES NOT PERTAIN TO ANY SPECIFIC RETAINING WALL LOCATED ON-SITE.



*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

INSPECTIONS REQUIRED
THE COUNTY OF SAN MATEO REQUIRES LEA & BRAZE ENGINEERING, INC. TO INSPECT ALL STORM DRAINAGE AS IT IS INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LEA & BRAZE ENGINEERING, INC. PRIOR TO START OF CONSTRUCTION TO SET UP A PRE-CONSTRUCTION MEETING, AND TO CALL AT LEAST 48 HOURS IN ADVANCE OF ANY INSPECTIONS. PIPES ARE TO REMAIN UNCOVERED UNTIL AN INSPECTION PERFORMED BY LEA & BRAZE ENGINEERING, INC. OCCURS.
POINT OF CONTACT:
JIM TOBY
LEA & BRAZE ENGINEERING, INC.
(510)887-4086 jtoby@leabraze.com

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	SWIMMING POOL(S) AND SPA(S)	OFFSITE/ROADWAY	TOTAL CUBIC YARDS
CUT	525	290	35	30	880
FILL	0	90	0	0	90
EXPORT					790

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

SHEET INDEX

- C-1.0 TITLE SHEET
- C-2.0 GRADING & DRAINAGE PLAN
- C-3.0 UTILITY PLAN
- C-4.0 DETAILS
- C-4.1 DETAILS
- C-5.0 GRADING SPECIFICATIONS
- C-6.0 DRIVEWAY PROFILES
- ER-1 EROSION CONTROL
- ER-2 EROSION CONTROL DETAILS
- BMP BEST MANAGEMENT PRACTICES

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	NEW	NEW
BM	BENCHMARK	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O.V.	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PE	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST	STREET
G	GAS	STA	STATION
GA	GAGE OR GAUGE	STD	STANDARD
GB	GRADE BREAK	STRUCT	STRUCTURAL
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	T	TELEPHONE
HORIZ	HORIZONTAL	TC	TOP OF CURB
HI PT	HIGH POINT	TEMP	TEMPORARY
H&T	HUB & TACK	TP	TOP OF PAVEMENT
ID	INSIDE DIAMETER	TW/FG	TOP OF WALL/FINISH GRADE
INV	INVERT ELEVATION	TYP	TYPICAL
JB	JUNCTION BOX	VC	VERTICAL CURVE
JT	JOINT TRENCH	VCP	VETRIFIED CLAY PIPE
JP	JOINT UTILITY POLE	VERT	VERTICAL
L	LENGTH	W/	WITH
LNDR	LANDING	WM	WATER LINE
		WM	WATER METER
		WVF	WELDED WIRE FABRIC

634 PALOMAR DRIVE
REDWOOD CITY,
CALIFORNIA

TITLE SHEET

NO.	DESCRIPTION	BY
6	PLANCHCK 01-30-23	JOR
5	PLANCHCK 05-24-22	JOR
4	PLANCHCK 04-07-22	JOR
3	PLANCHCK 11-25-21	JOR

REVISIONS BY

JOB NO: 2200474
DATE: 07-17-20
SCALE: 1"=20'
DESIGN BY: JOR
DRAWN BY: JOR
SHEET NO:

C-1.0
1 OF 9 SHEETS

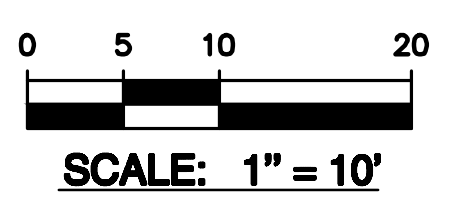
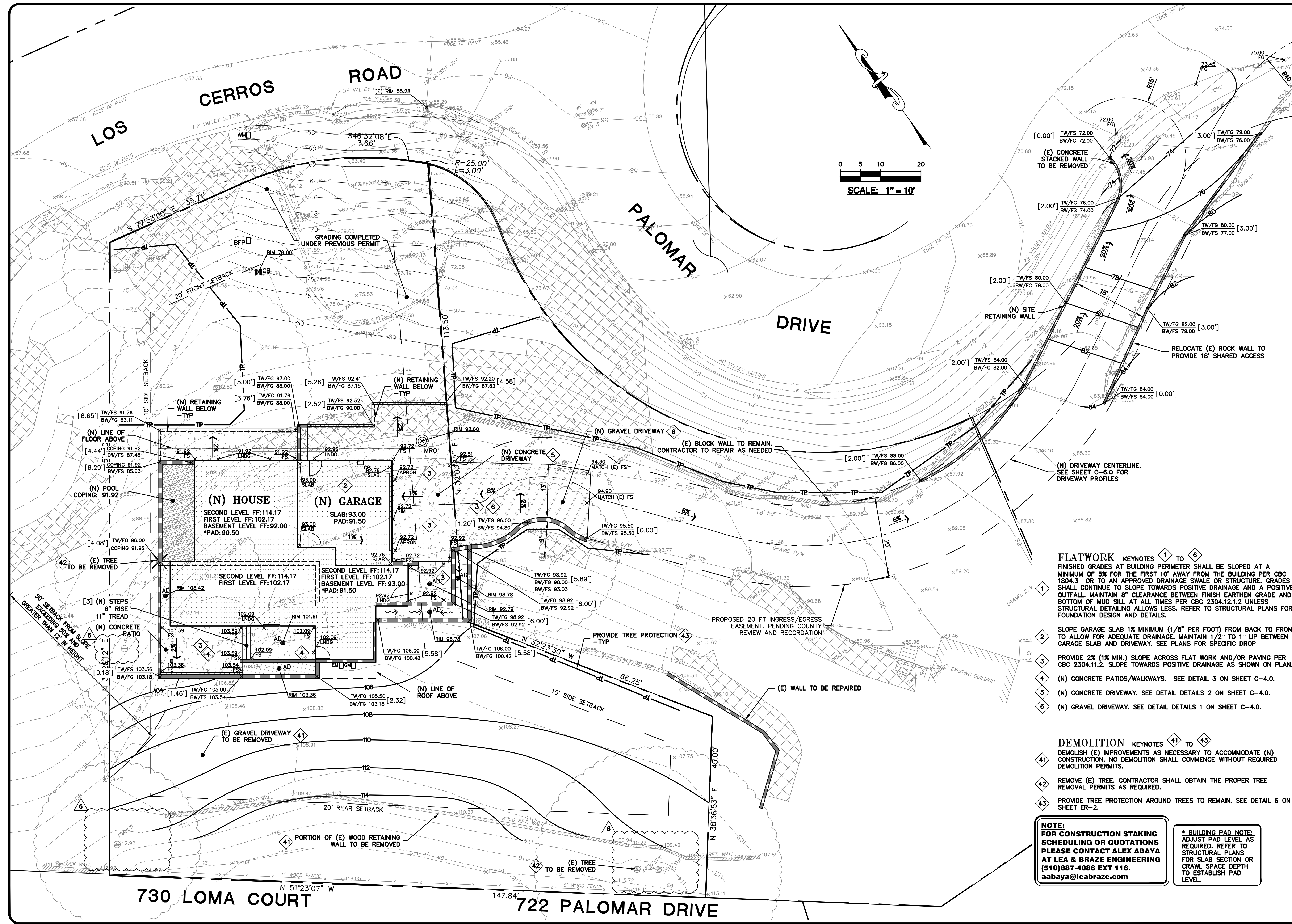


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**634 PALOMAR DRIVE
 REDWOOD CITY,
 CALIFORNIA**
 APN: 051-022-380
 SAN MATEO COUNTY

**GRADING &
 DRAINAGE PLAN**

NO.	DESCRIPTION	DATE	BY
6	PLANCHCK 01-30-23	JOR	
5	PLANCHCK 05-24-22	JOR	
4	PLANCHCK 04-07-22	JOR	
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REVISIONS		BY	
JOB NO: 2200474		DATE: 07-17-20	
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- FLATWORK KEYNOTES 1 TO 6**
- FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.3 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 - SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP.
 - PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 2304.11.2. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 - (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 3 ON SHEET C-4.0.
 - (N) CONCRETE DRIVEWAY. SEE DETAIL DETAILS 2 ON SHEET C-4.0.
 - (N) GRAVEL DRIVEWAY. SEE DETAIL DETAILS 1 ON SHEET C-4.0.
- DEMOLITION KEYNOTES 41 TO 43**
- DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
 - REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
 - PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

NOTE:
 FOR CONSTRUCTION STAKING
 SCHEDULING OR QUOTATIONS
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 aabaya@leabraze.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS
 REQUIRED. REFER TO
 STRUCTURAL PLANS
 FOR SLAB SECTION OR
 CRAWL SPACE DEPTH
 TO ESTABLISH PAD
 LEVEL.



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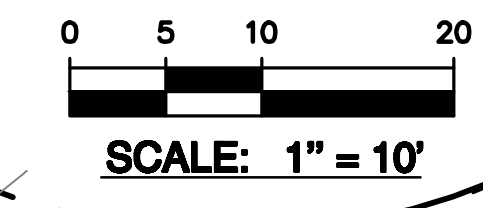
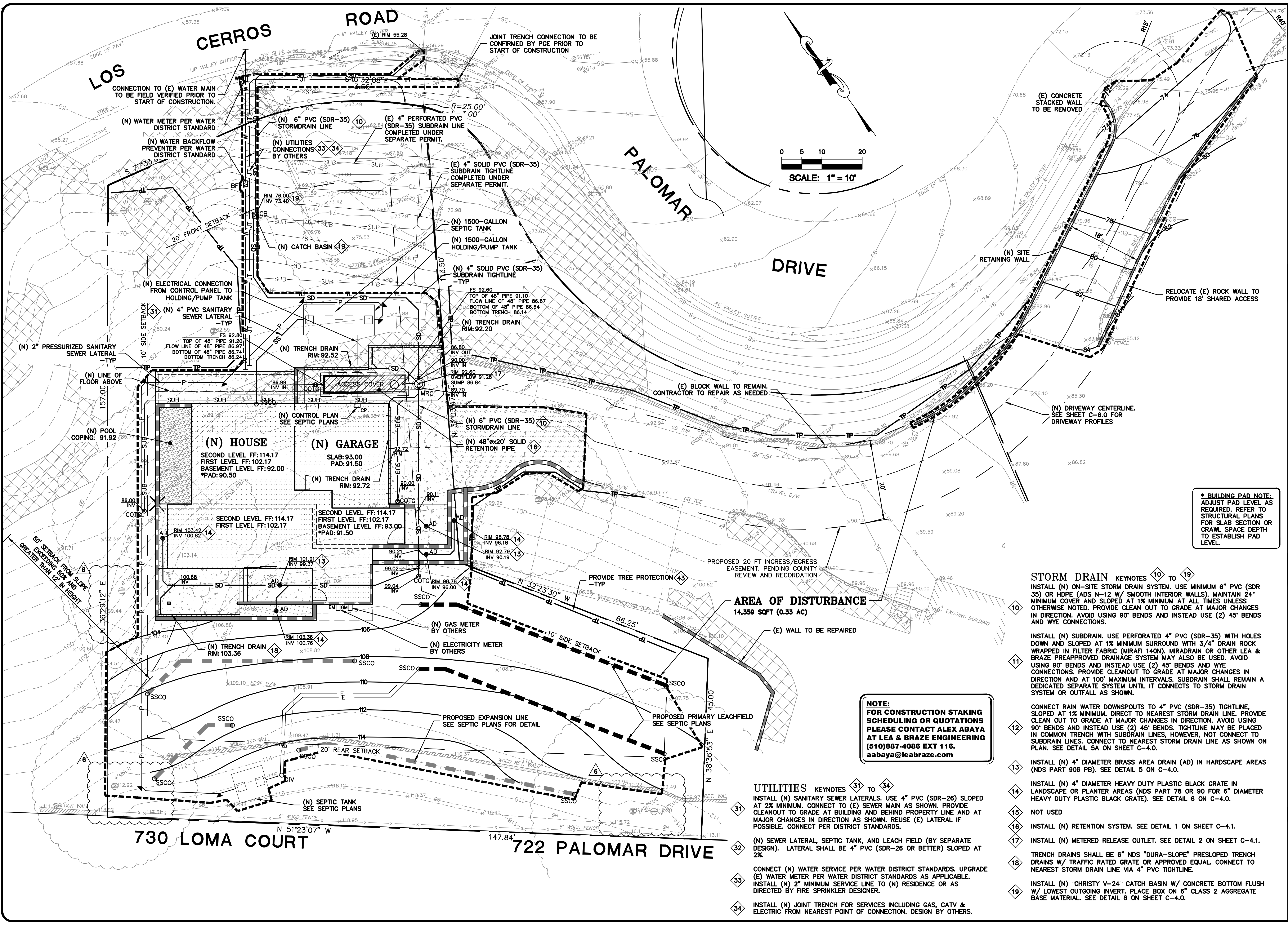
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UTILITY PLAN

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JOB NO: 2200474			
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SCALE: 1"=10'			
DESIGN BY: JOR			
DRAWN BY: JOR			
SHEET NO:			

C-3.0
 3 OF 9 SHEETS



*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

STORM DRAIN KEYNOTES 10 TO 19
 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, NOT CONNECT TO SUBDRAIN LINES. CONNECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLAN. SEE DETAIL 5A ON SHEET C-4.0.

INSTALL (N) 4" DIAMETER BRASS AREA DRAIN (AD) IN HARDSCAPE AREAS (NDS PART 906 PB). SEE DETAIL 5 ON C-4.0.

INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 6 ON C-4.0.

NOT USED

INSTALL (N) RETENTION SYSTEM. SEE DETAIL 1 ON SHEET C-4.1.

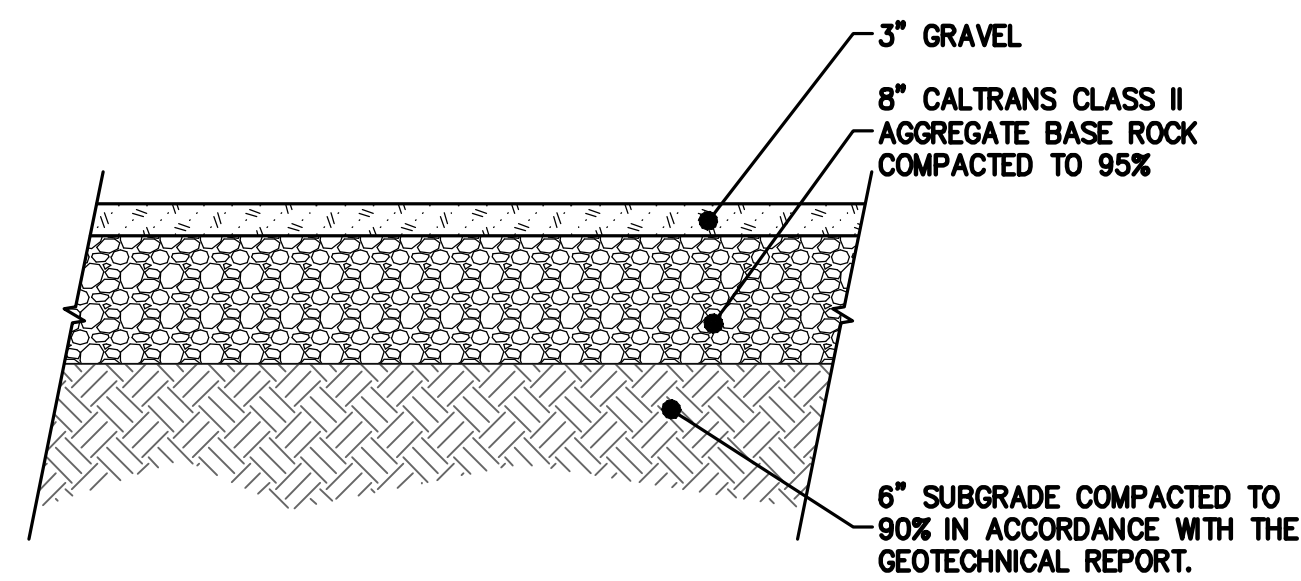
INSTALL (N) METERED RELEASE OUTLET. SEE DETAIL 2 ON SHEET C-4.1.

TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.

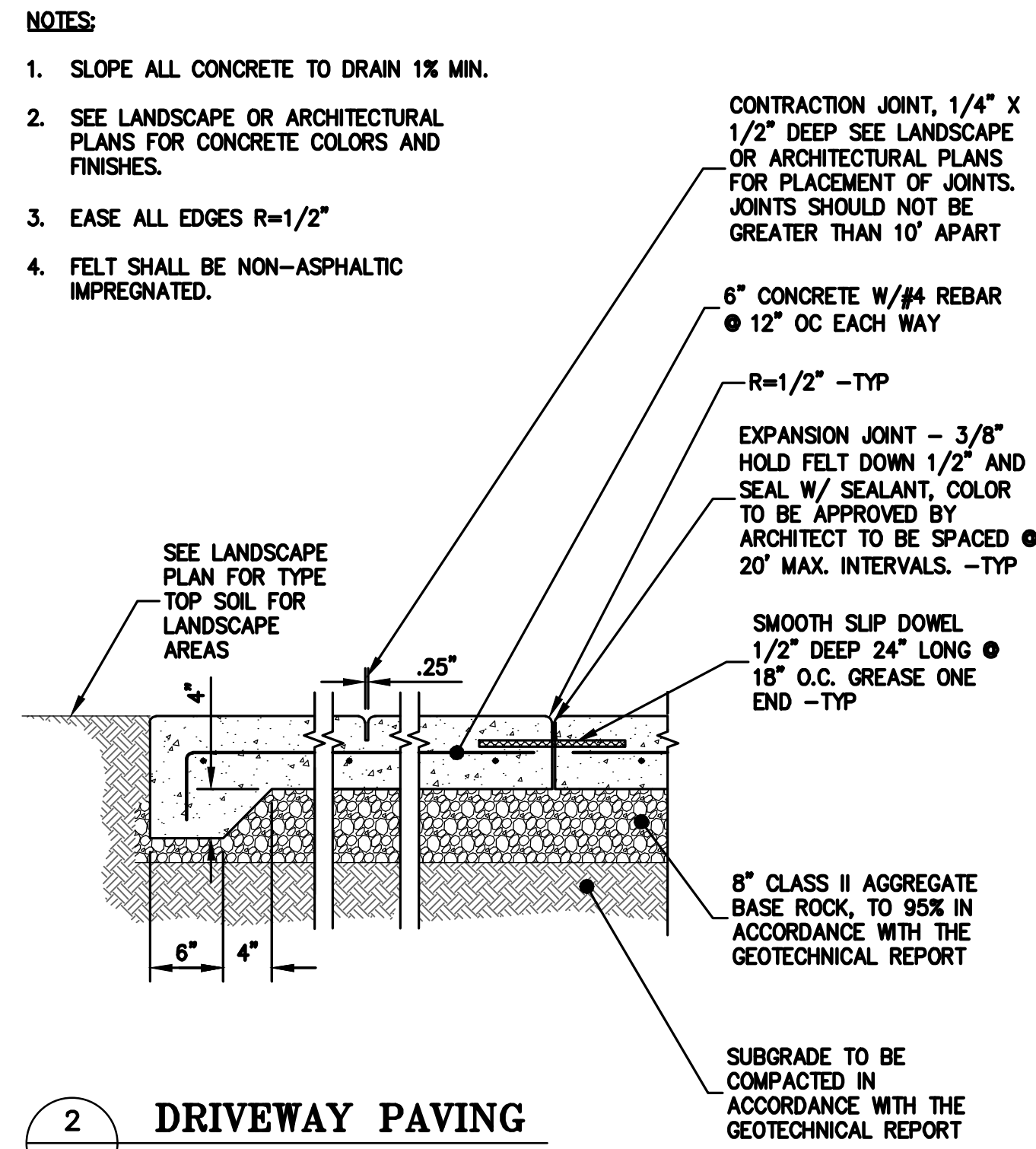
INSTALL (N) "CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 8 ON SHEET C-4.0.

- UTILITIES KEYNOTES 31 TO 34**
- 31 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
 - 32 (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.
 - 33 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 34 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

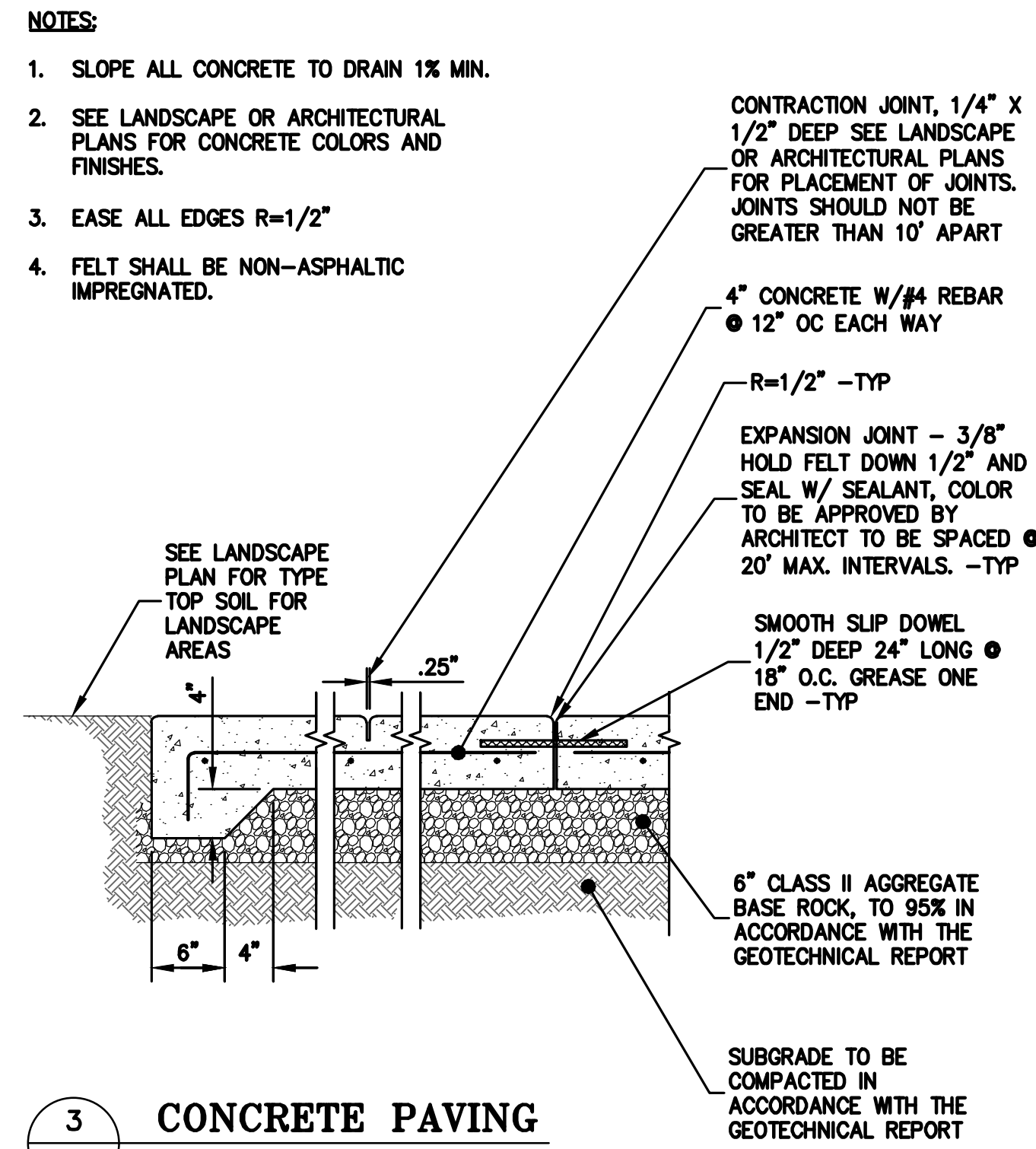
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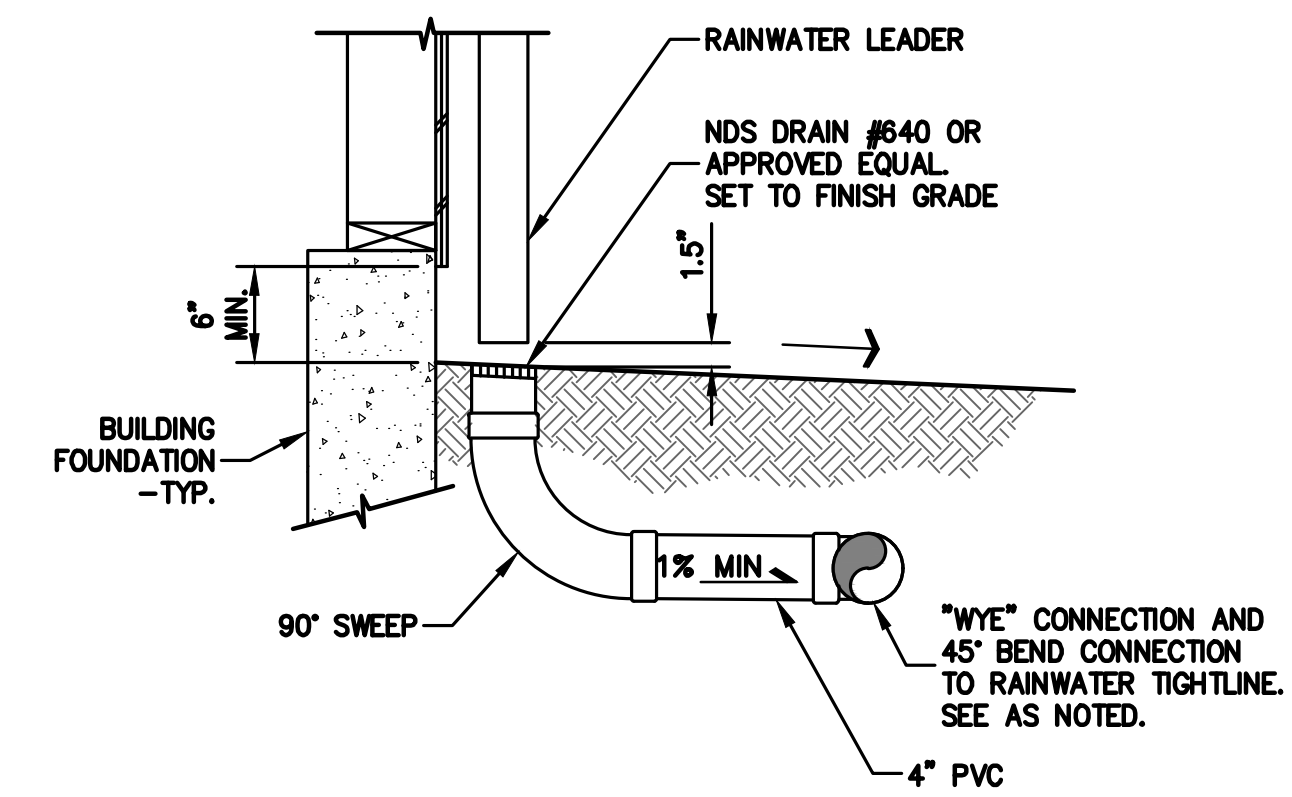
1 GRAVEL DRIVEWAY SECTION
C-4.0 NTS



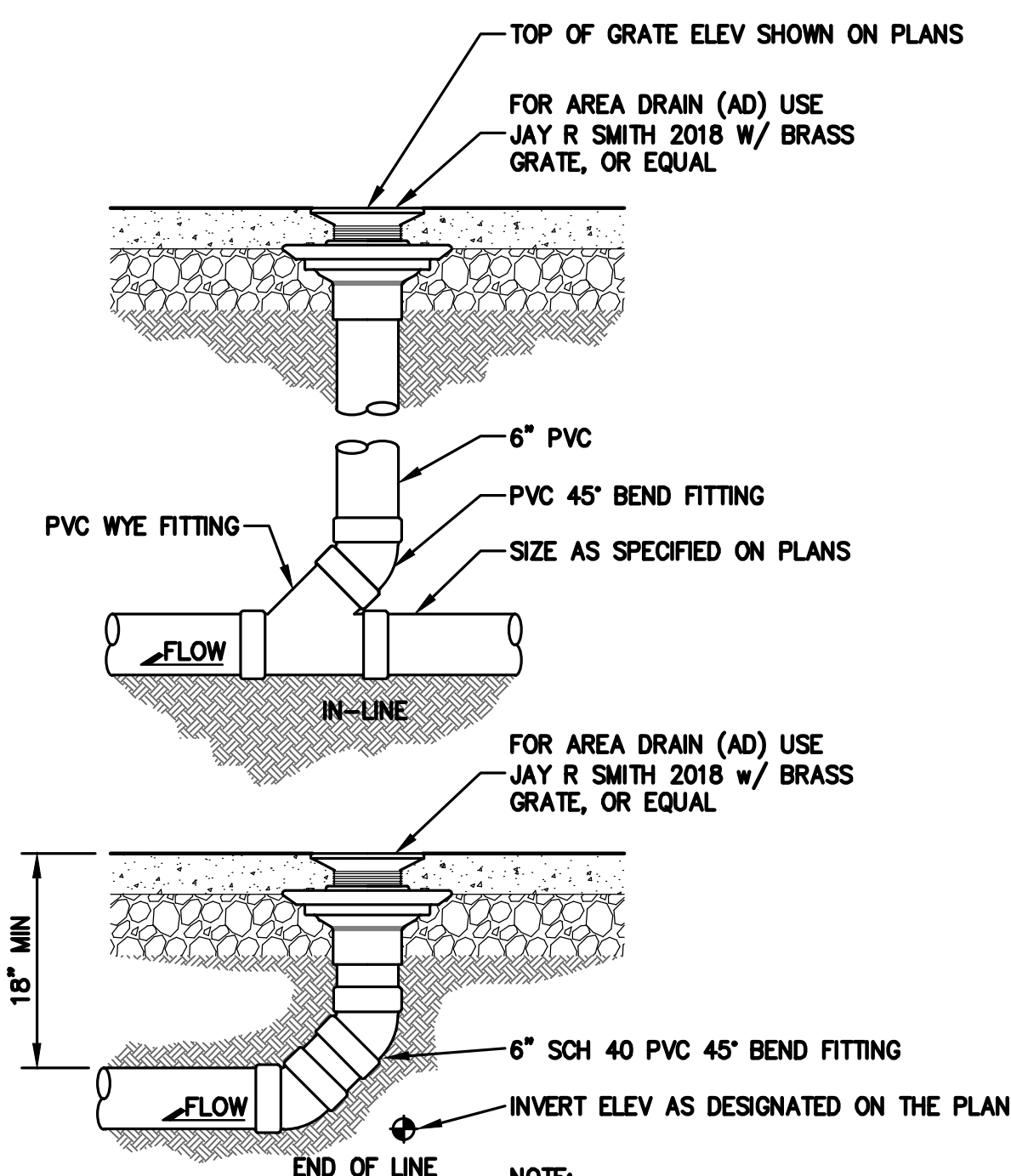
2 DRIVEWAY PAVING
C-4.0 NTS



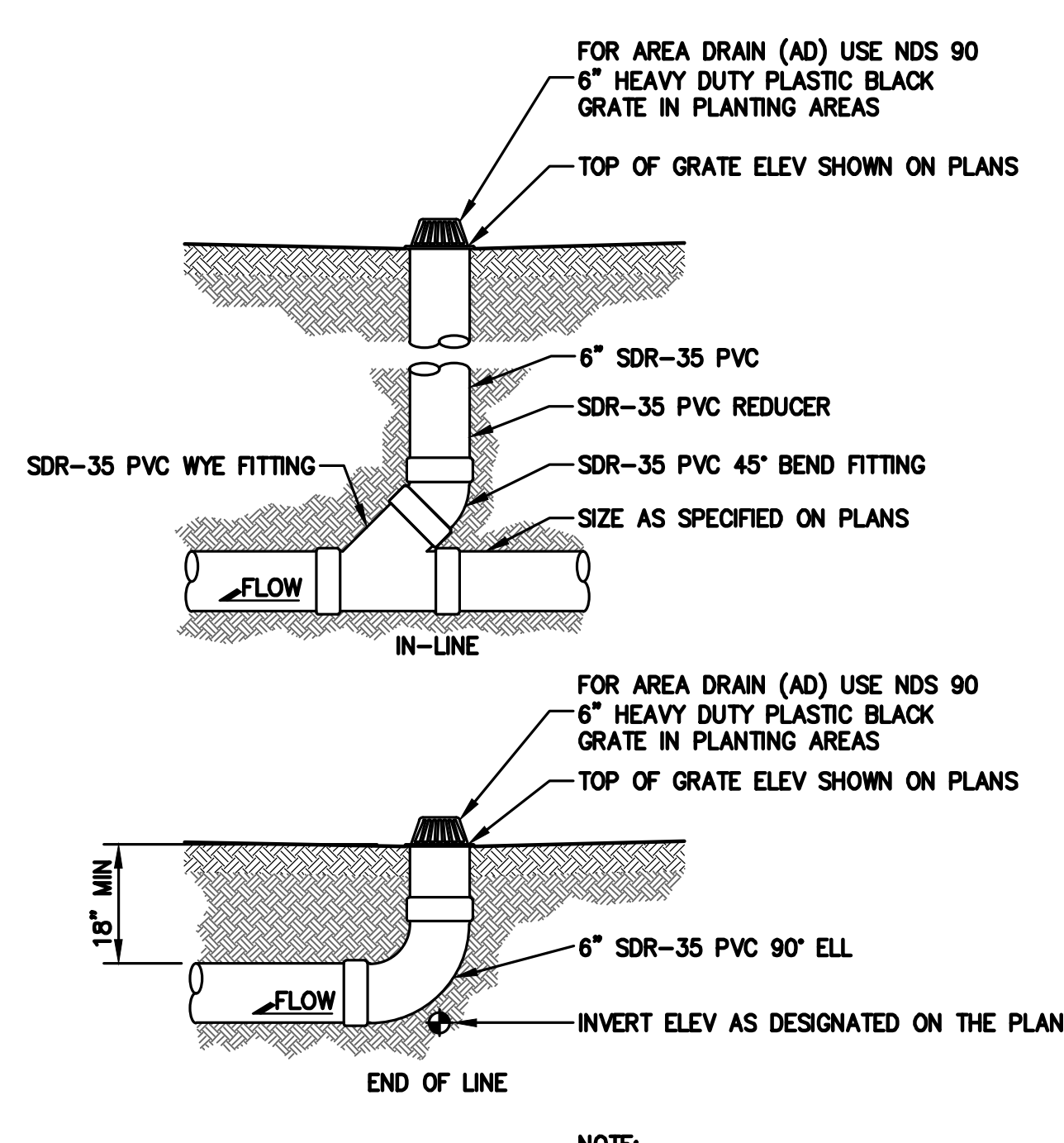
3 CONCRETE PAVING
C-4.0 NTS



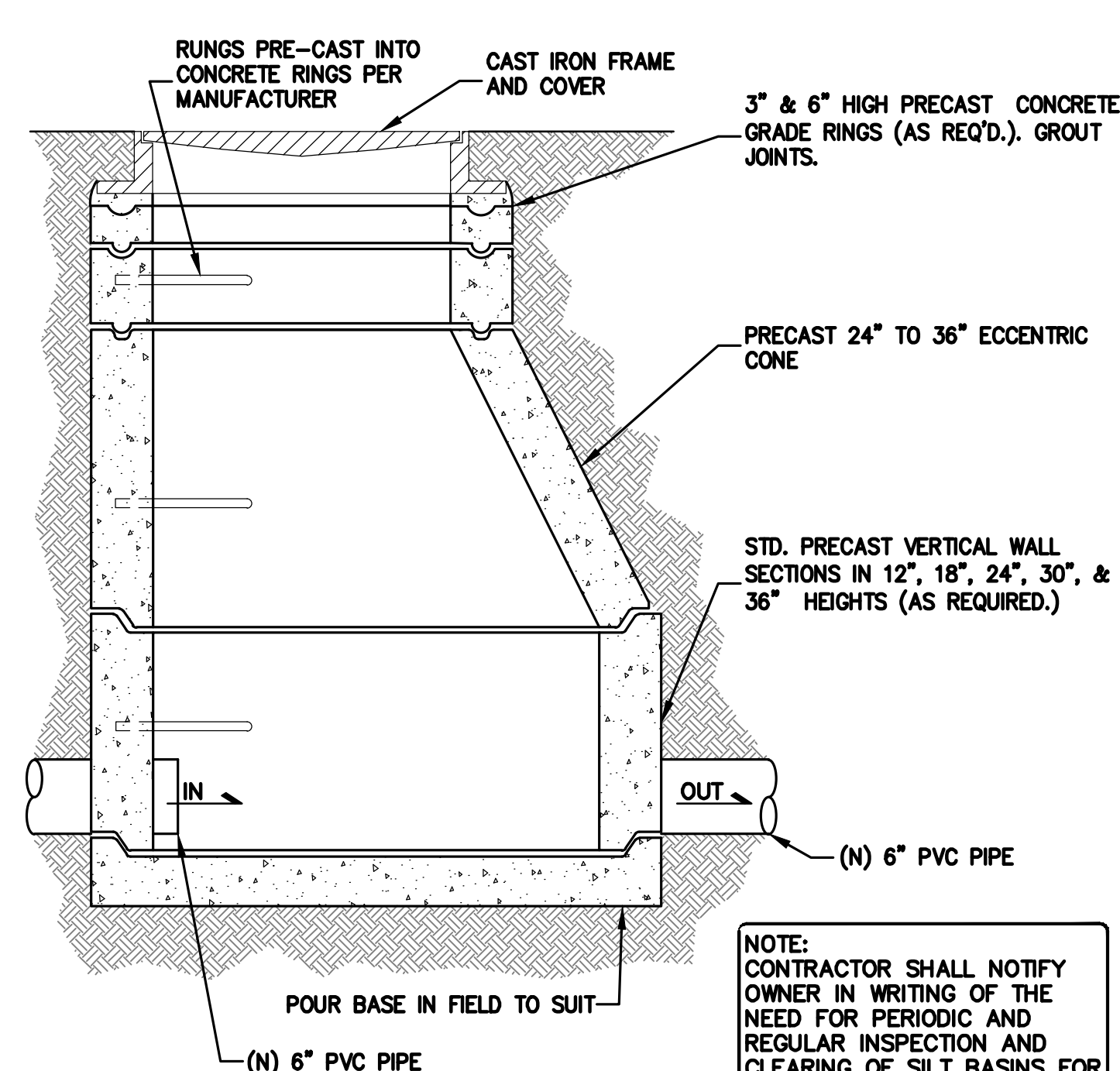
4 RAIN WATER LEADER TO TIGHTLINE CONNECTION
C-4.0 NTS



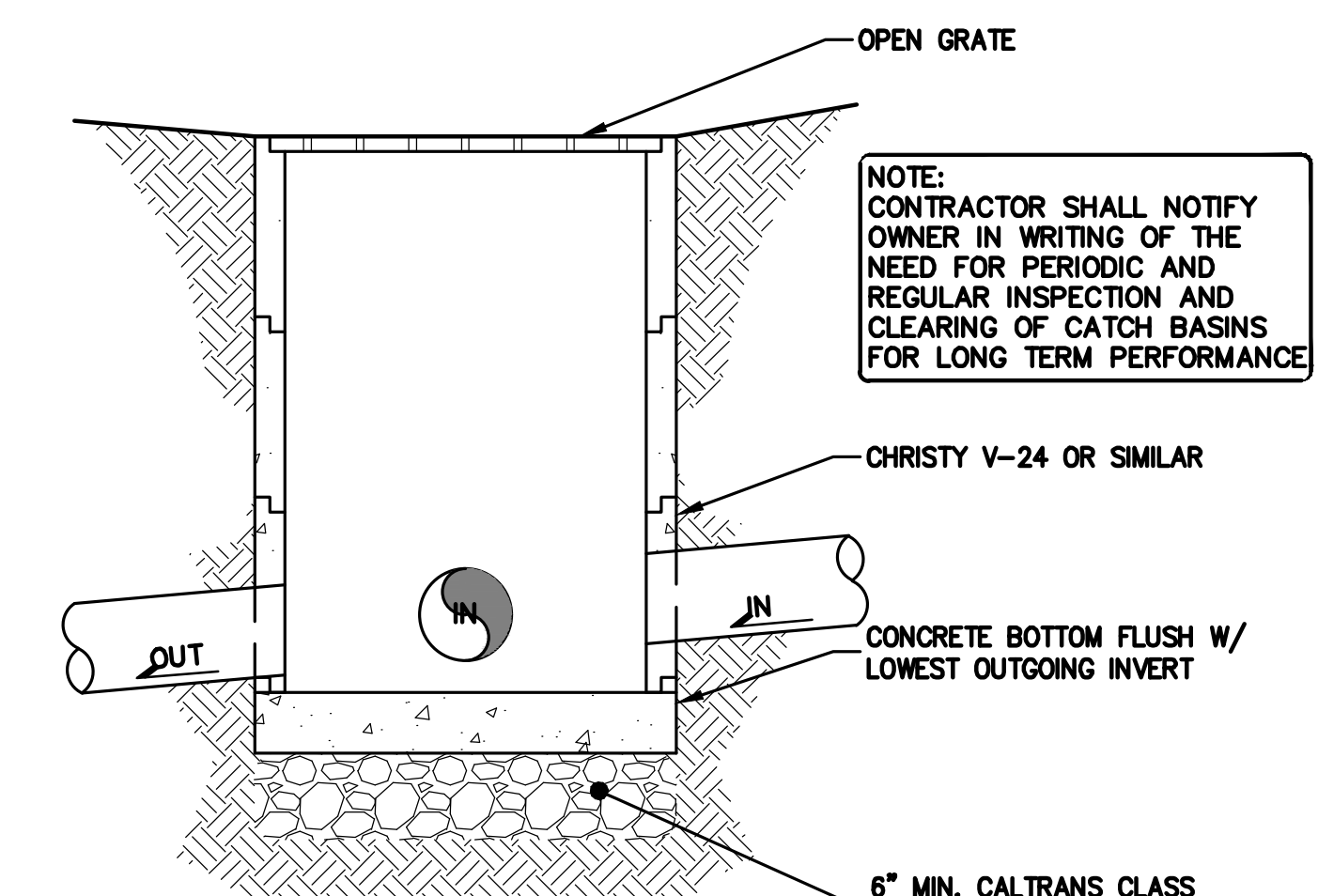
5 FLATWORK DRAIN
C-4.0 NTS



6 AREA DRAIN
C-4.0 NTS



7 STORM DRAIN MANHOLE
C-4.0 NTS



8 CATCH BASIN
C-4.0 NTS



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DETAILS

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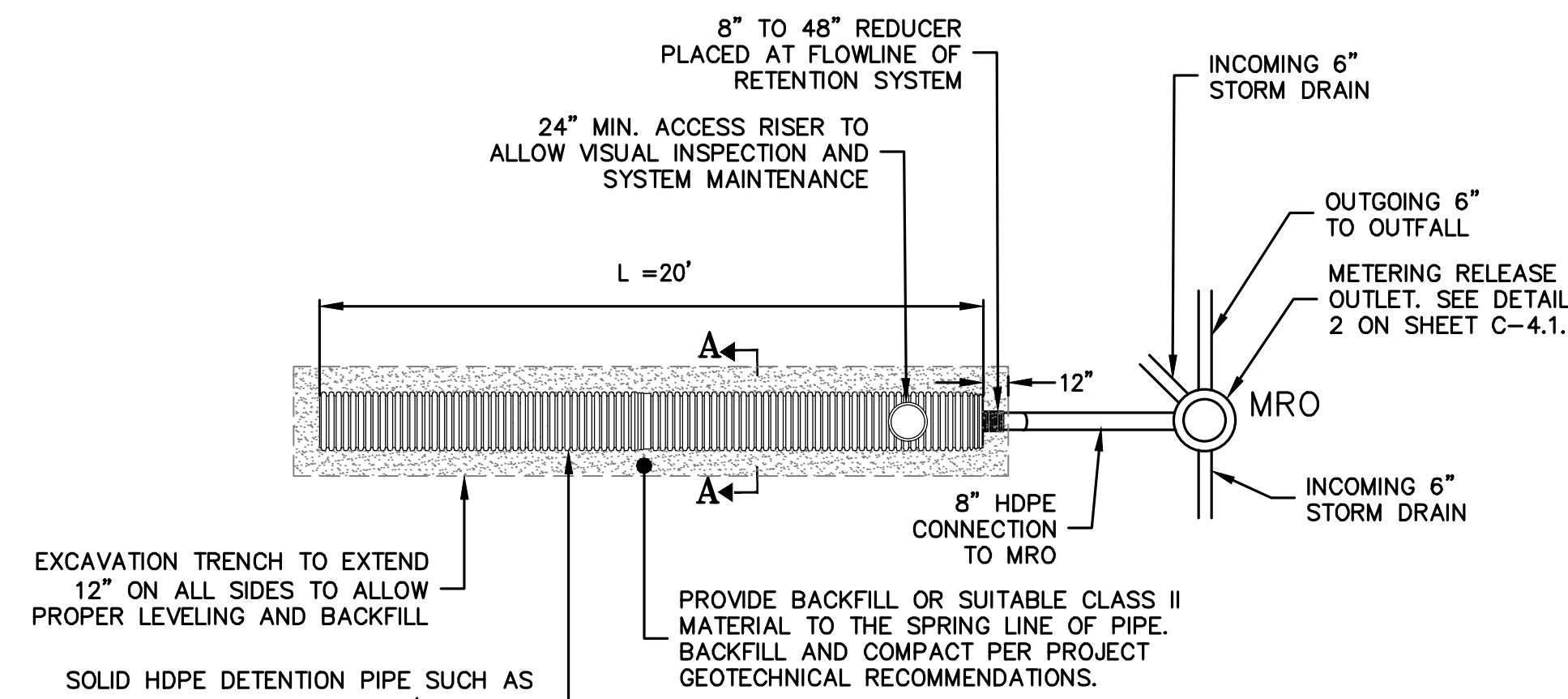
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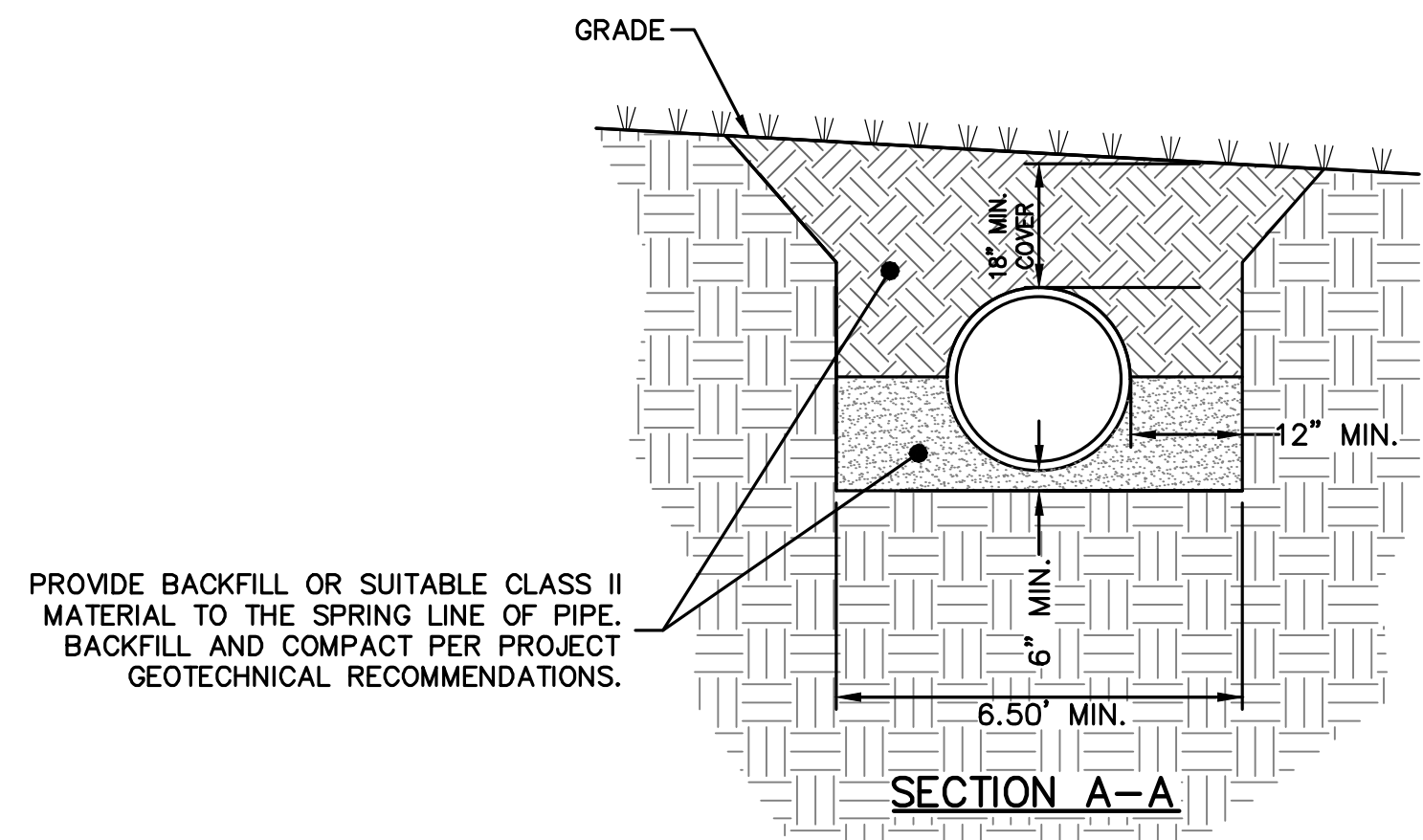


1
 C-4.1
DETENTION SYSTEM DETAIL
 NTS

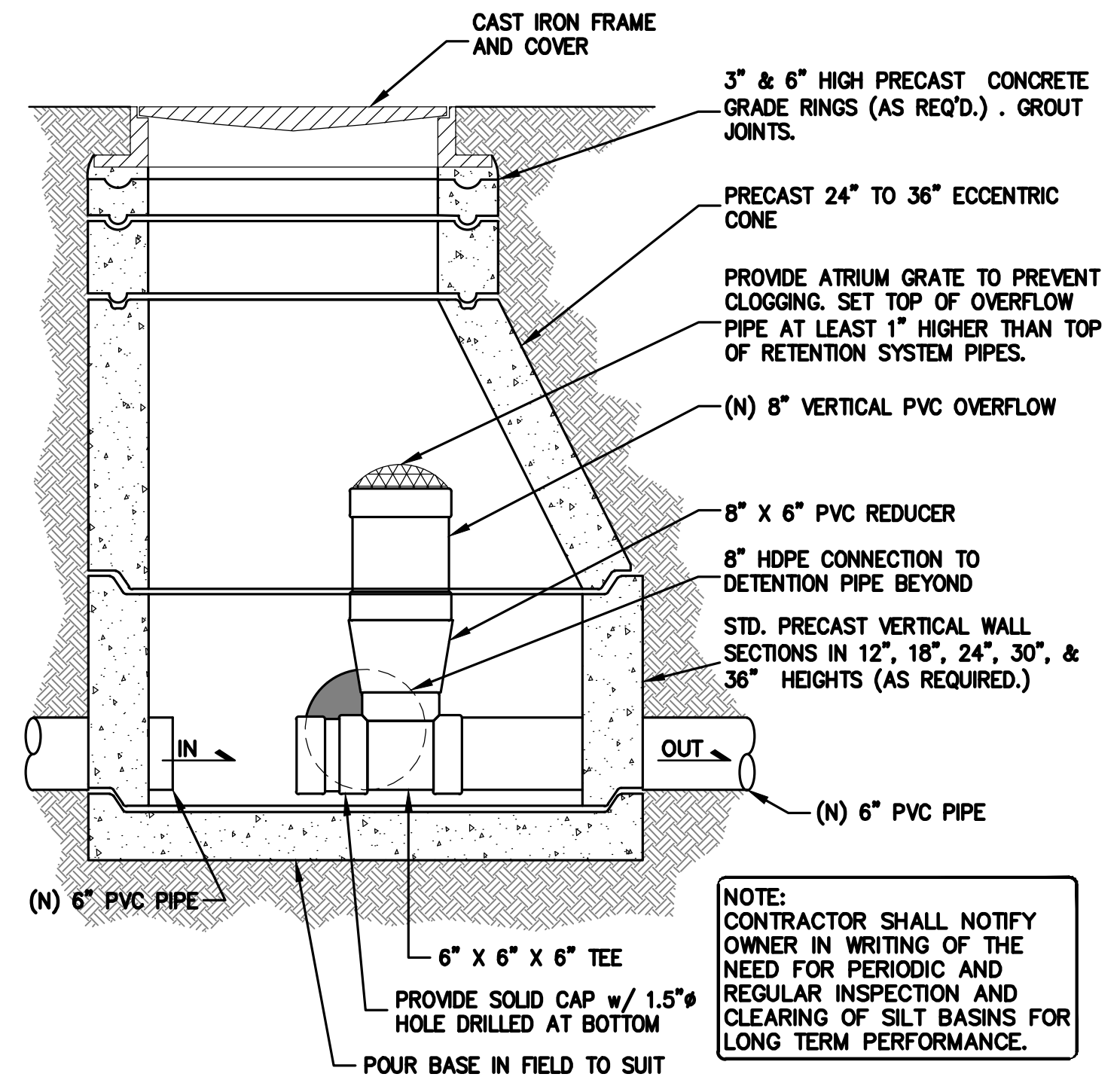
STORAGE PIPE NOMINAL I.D.	NOMINAL O.D.	MIN. SIDE COVER
48" (1200 MM)	54" (1372 MM)	12" (292 MM)

NOTE:
 REFER TO THE PLANS FOR SPECIFIC INLET AND OUTLET LOCATIONS.
 REFER TO THE PLANS FOR SPECIFIC ACCESS COVER LOCATIONS.

- NOTES:**
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 - MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
 - FILTER FABRIC:** A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.



- BEDDING:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 8" (150mm) FOR 30"-60" (750mm-900mm) COMPACTED TO 90% SPD.
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 18" FROM TOP OF PIPE TO GROUND SURFACE, COMPACT AS RECOMMENDED BY THE SOILS ENGINEER. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 18" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- CONNECTIONS:** ALL CONNECTIONS FOR EACH SEGMENT SHALL BE WATER TIGHT.
 * CLASS I BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.



2
 C-4.1
METERED RELEASE OUTLET
 NTS

NOTE:
 CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF THE NEED FOR PERIODIC AND REGULAR INSPECTION AND CLEARING OF SILT BASINS FOR LONG TERM PERFORMANCE.

GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT...

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT...

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE...

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED...

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK...

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS...

WORK SEQUENCE

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED...

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM...

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES...

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK...

SITE PROTECTION

PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER...

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.

SUPPLEMENTAL MEASURES

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.

2. GENERAL

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT BY EARTH INVESTIGATIONS CONSULTANTS; AND THE COUNTY OF SAN MATEO.
B. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557, FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017.

3. CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

4. SITE PREPARATION AND STRIPPING

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE PLOWED OR SCARIFIED UNTIL THE SURFACE IS FREE OF RUTS, HUMMOCKS OR OTHER UNEVEN FEATURES WHICH MAY INHIBIT UNIFORM SOIL COMPACTION.

5. EXCAVATION

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN. WHERE REQUIRED BY THE SOILS ENGINEER, UNSUITABLE NATIVE SOILS OR UNENGINEERED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OVER EXCAVATION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS.
B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

A. FILL MATERIALS

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR...

B. FILL CONSTRUCTION

THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS...

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER...

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL). DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERRILLED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS...

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED...

9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE...

10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION...

14. EROSION CONTROL

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.

FIBER, 2000 LBS/ACRE
SEED, 200 LBS/ACRE (SEE NOTE J, BELOW)
FERTILIZER (11-8-4), 500 LBS/ACRE
WATER, AS REQUIRED FOR APPLICATION

J. SEED MIX SHALL BE PER CALTRANS STANDARDS.

- K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND WEED SEED.
L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY PLANTING, OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



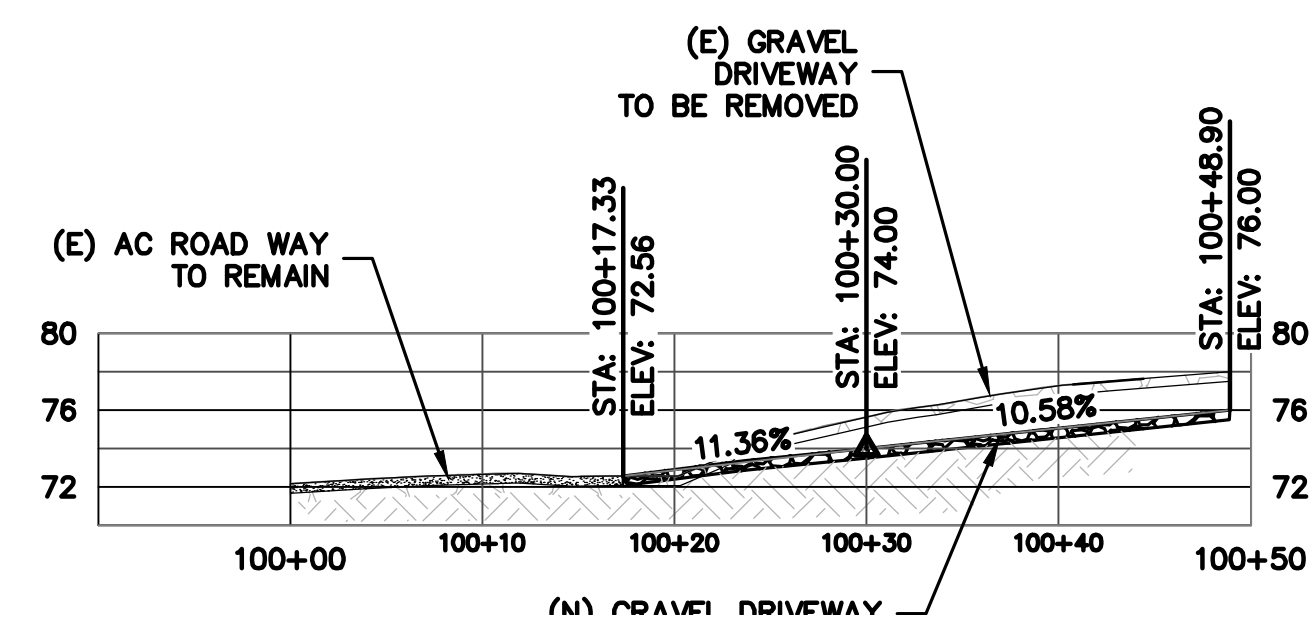
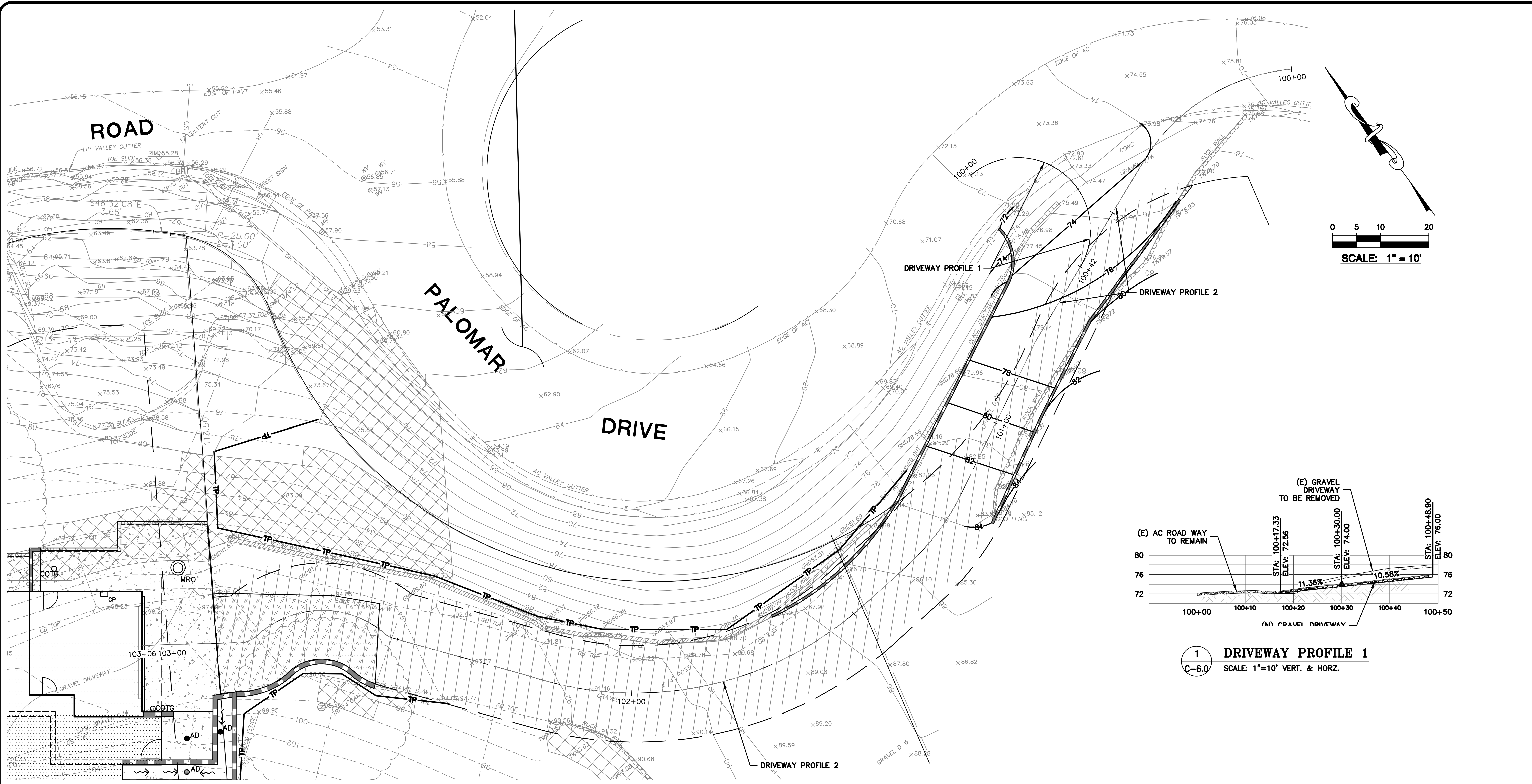
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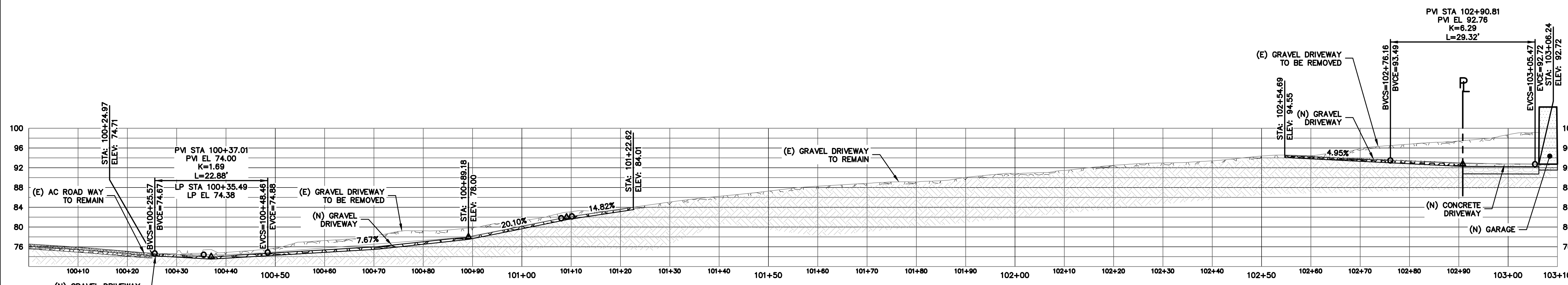
GRADING SPECIFICATIONS

Table with 3 columns: Item No., Description, and Status. Includes items 6, 5, 4, 3 for planchecks and a row for REVISIONS.

JOB NO: 2200474
DATE: 07-17-20
SCALE: NO SCALE
DESIGN BY: JOR
DRAWN BY: JOR
SHEET NO:



1 DRIVEWAY PROFILE 1
 C-6.0 SCALE: 1"=10' VERT. & HORZ.



2 DRIVEWAY PROFILE 2
 C-6.0 SCALE: 1"=10' VERT. & HORZ.



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**634 PALOMAR DRIVE
 REDWOOD CITY,
 CALIFORNIA**
 SAN MATEO COUNTY APN: 051-022-380

DRIVEWAY PROFILE

6	PLANCHECK 01-30-23	JOR
5	PLANCHECK 05-24-22	JOR
4	PLANCHECK 04-07-22	JOR
3	PLANCHECK 11-25-21	JOR
REVISIONS		BY
JOB NO: 2200474		
DATE: 07-17-20		
SCALE: 1"=10'		
DESIGN BY: JOR		
DRAWN BY: JOR		
SHEET NO:		

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 1ST.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 30TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1ST THRU APRIL 30TH, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1ST TO APRIL 30TH. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 1ST OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 1ST, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

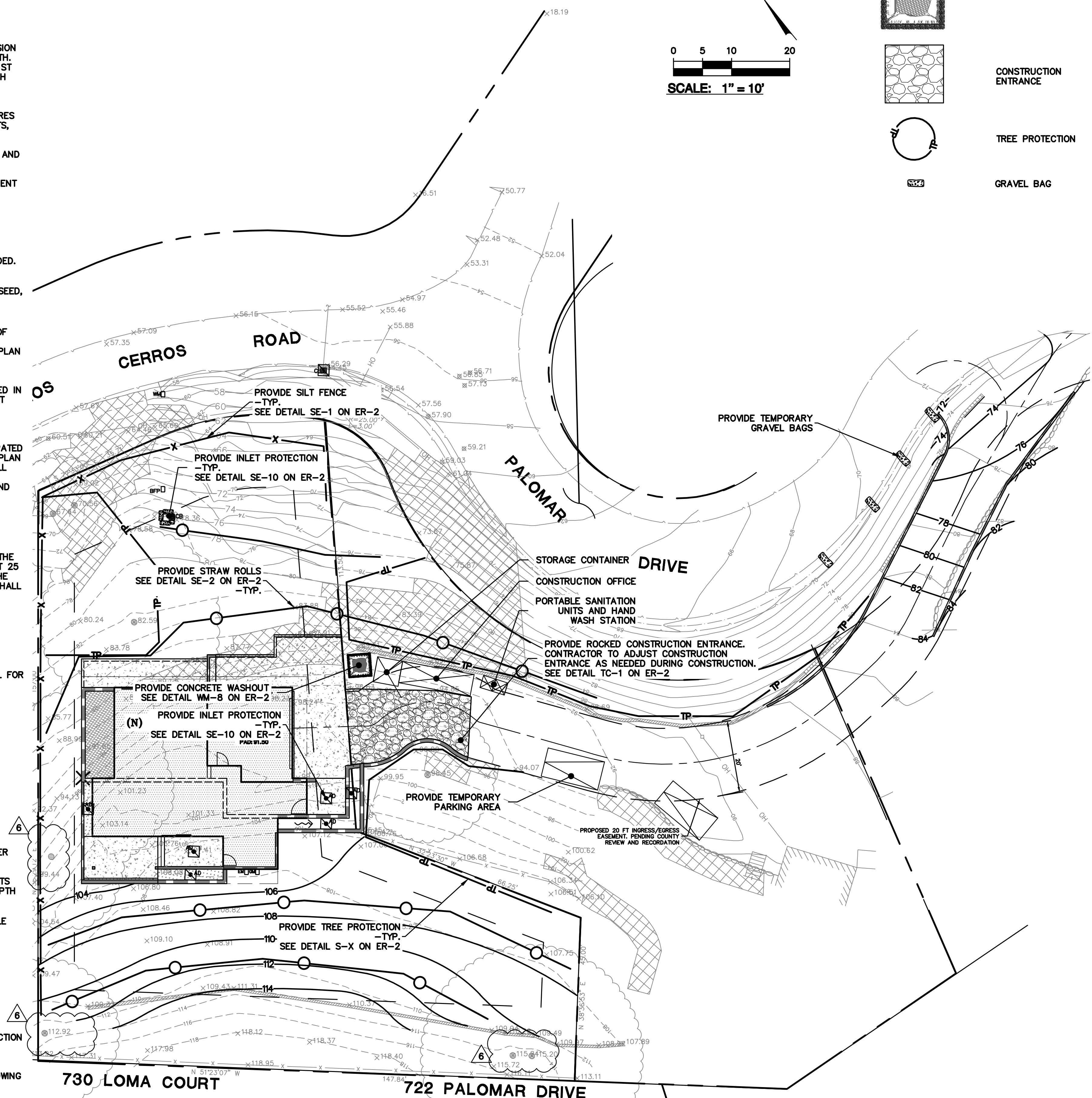
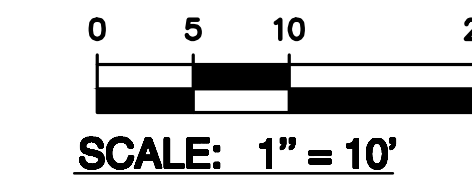
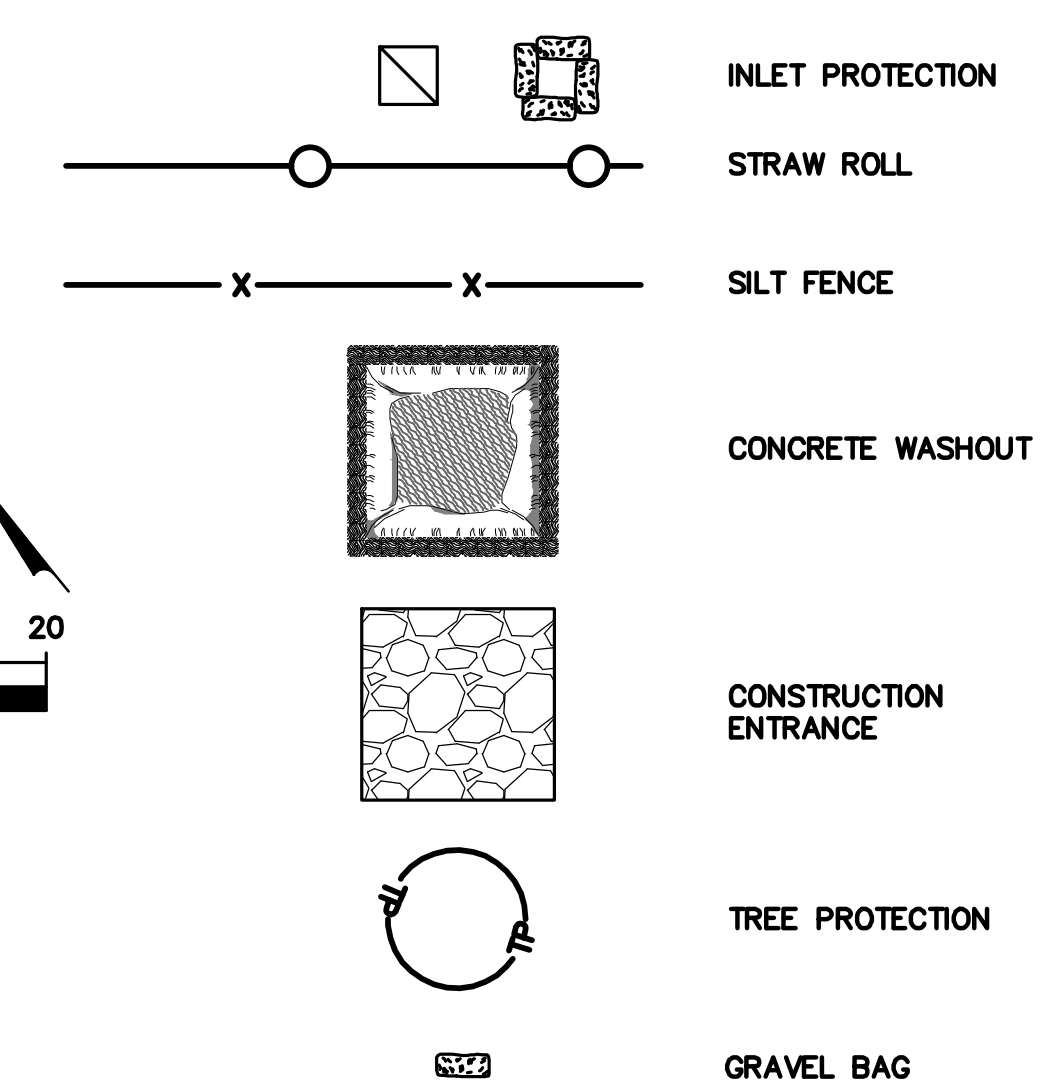
PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

NOTE:
ACCESS ROAD AND SITE WILL BE RESTORED TO NATURAL CONDITIONS ONCE THE STAGING WORK IS COMPLETED

EROSION CONTROL LEGEND



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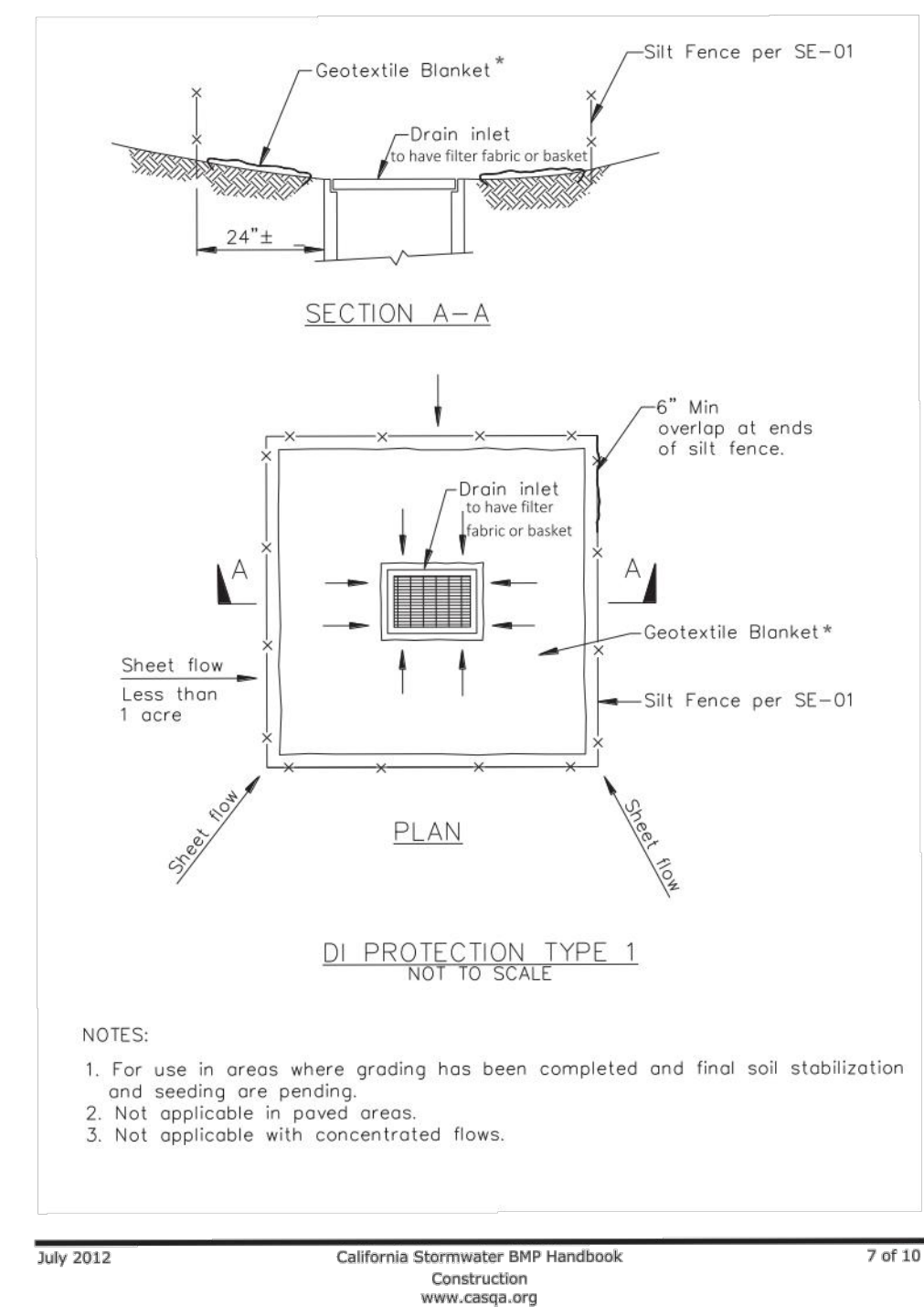
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EROSION CONTROL PLAN

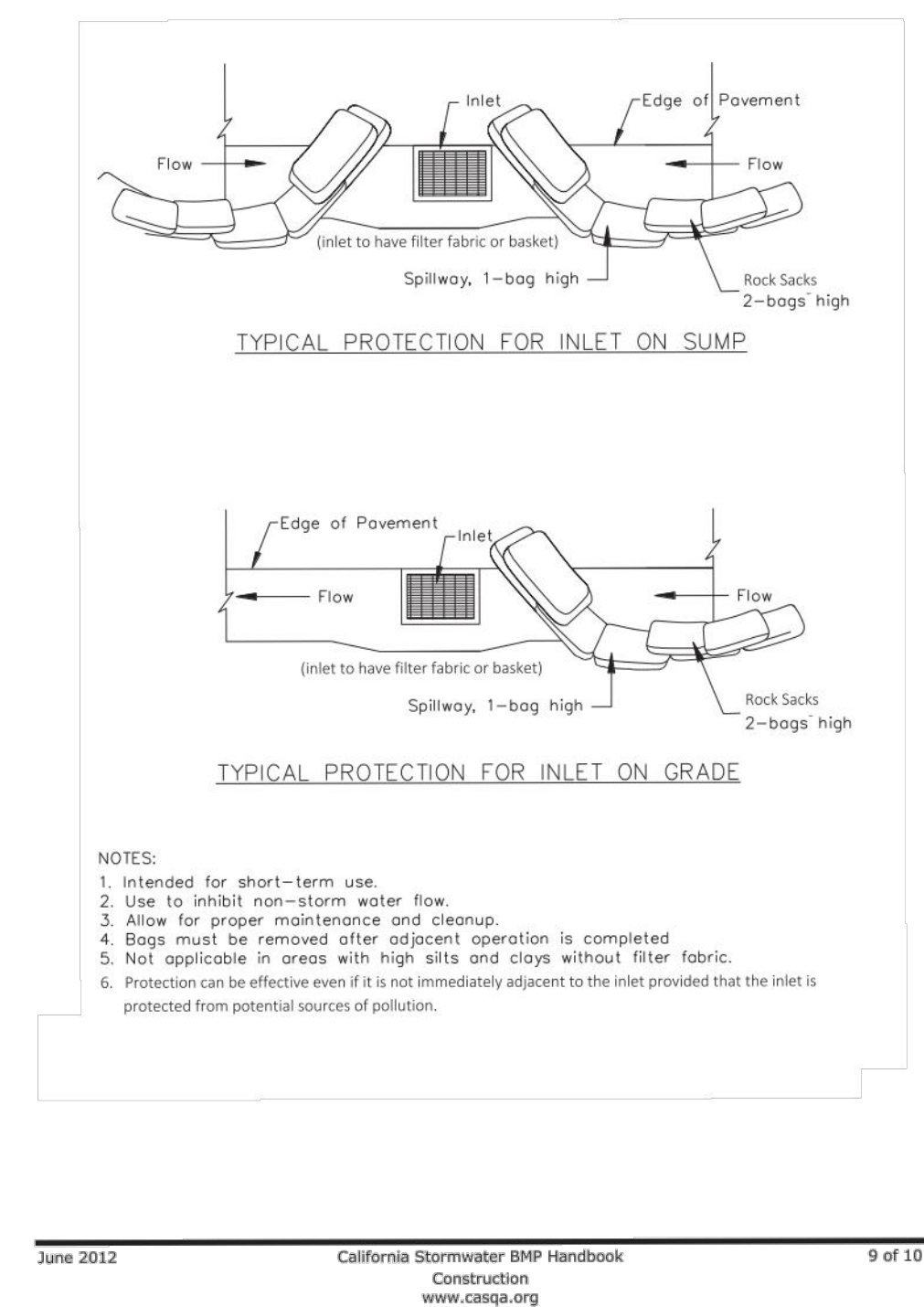
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5	PLANCHECK 05-24-22	JOR	
4	PLANCHECK 04-07-22	JOR	
3	PLANCHECK 11-25-21	JOR	
REVISIONS		BY	

JOB NO: 2200474
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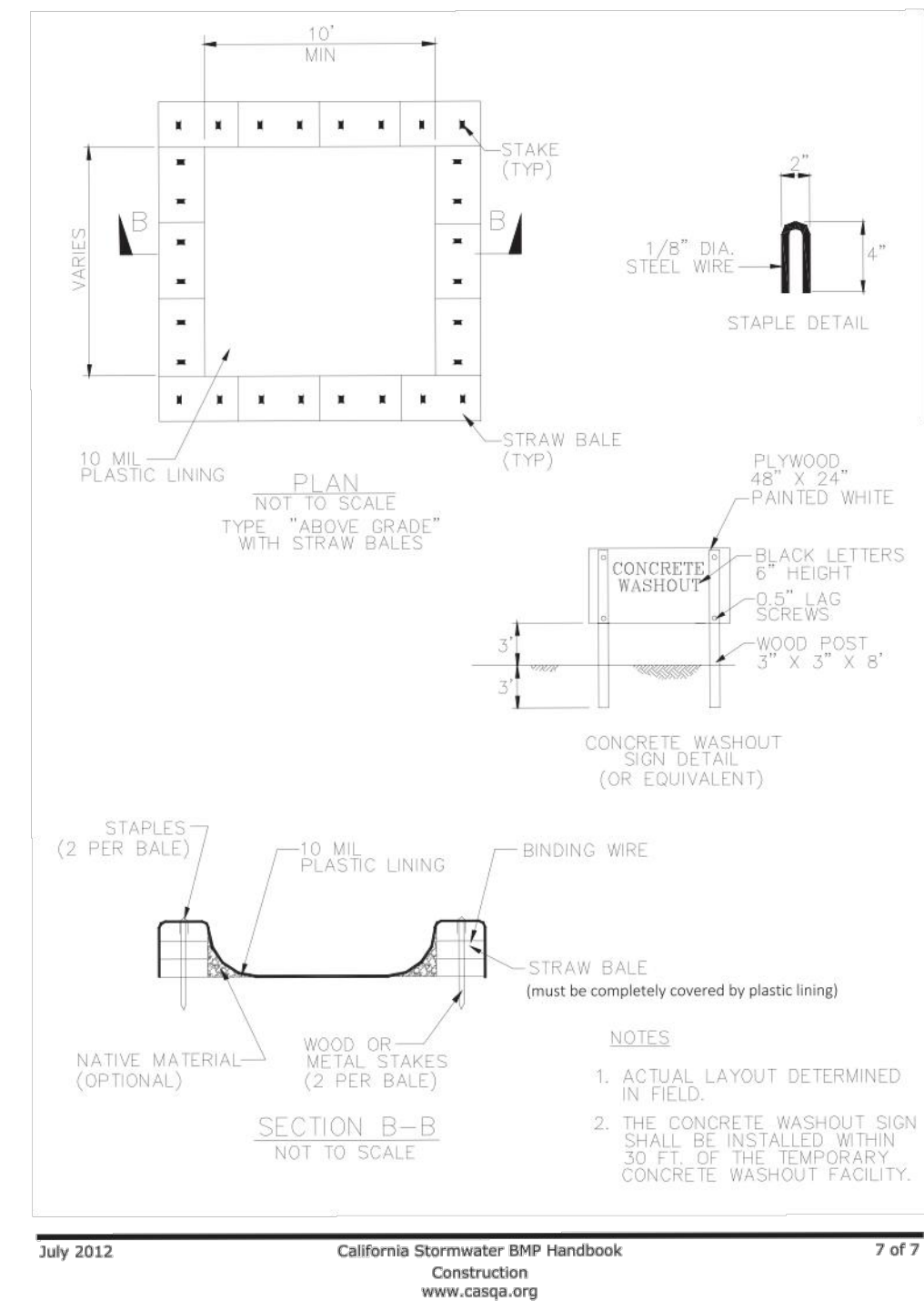
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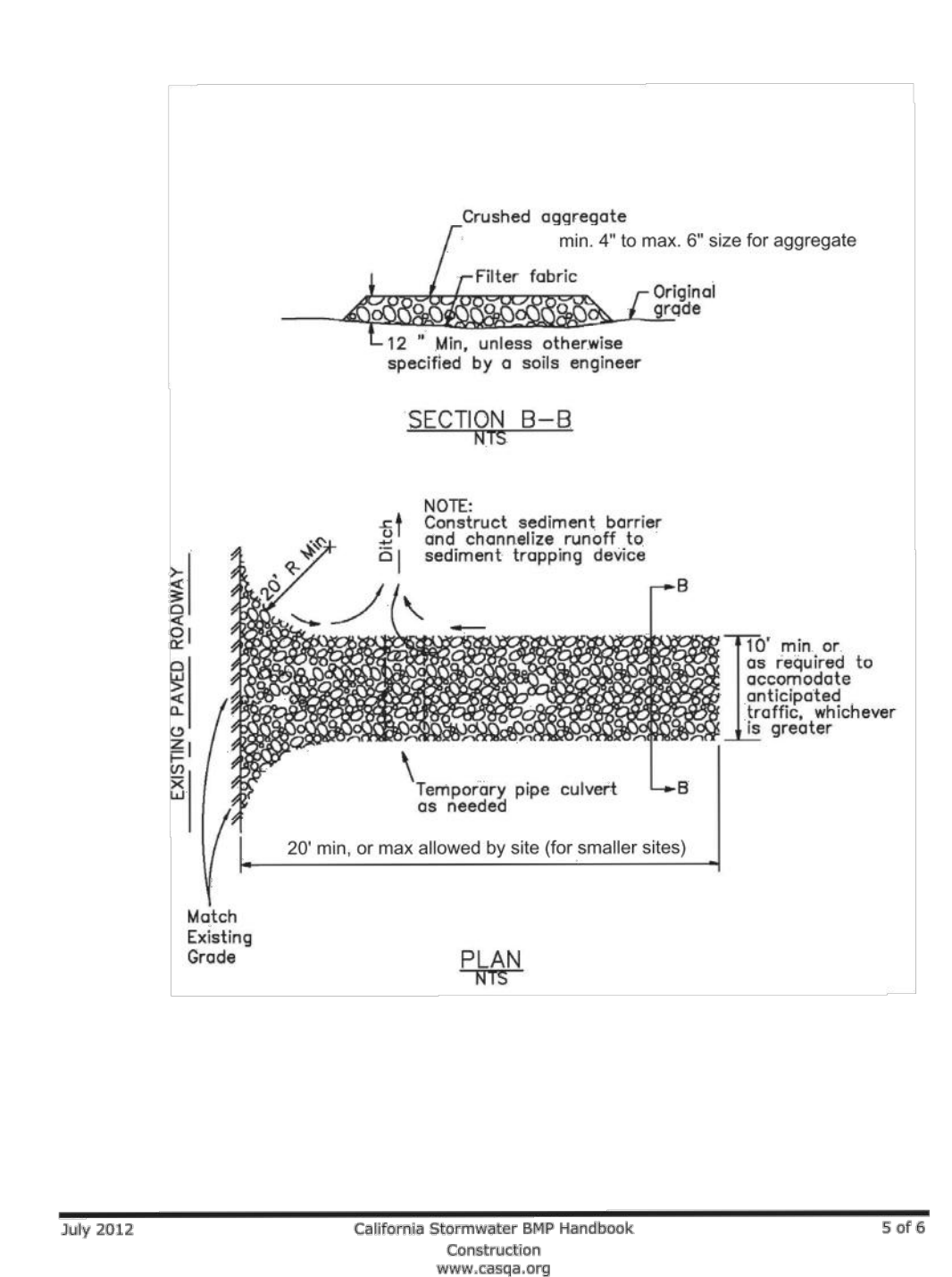
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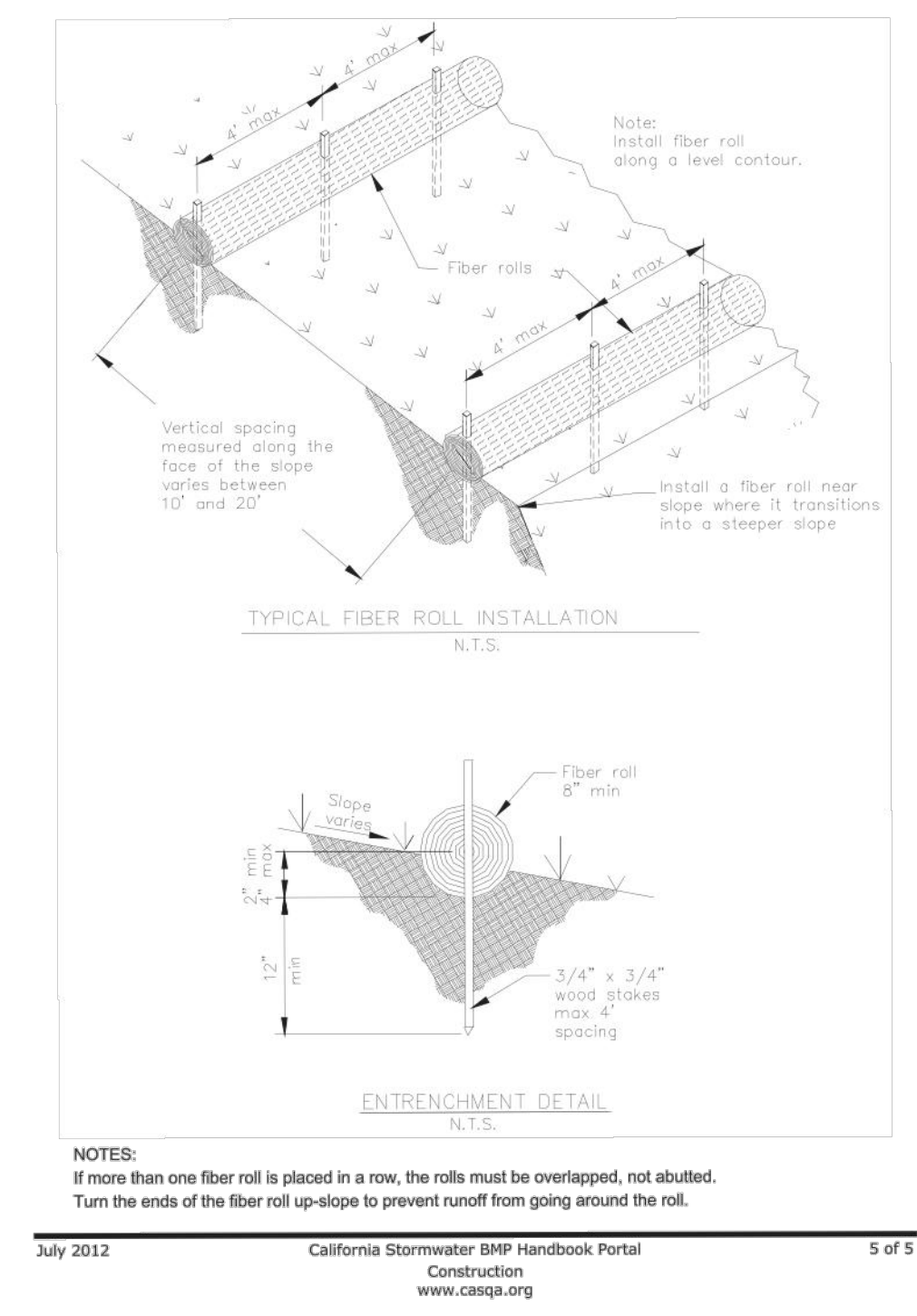
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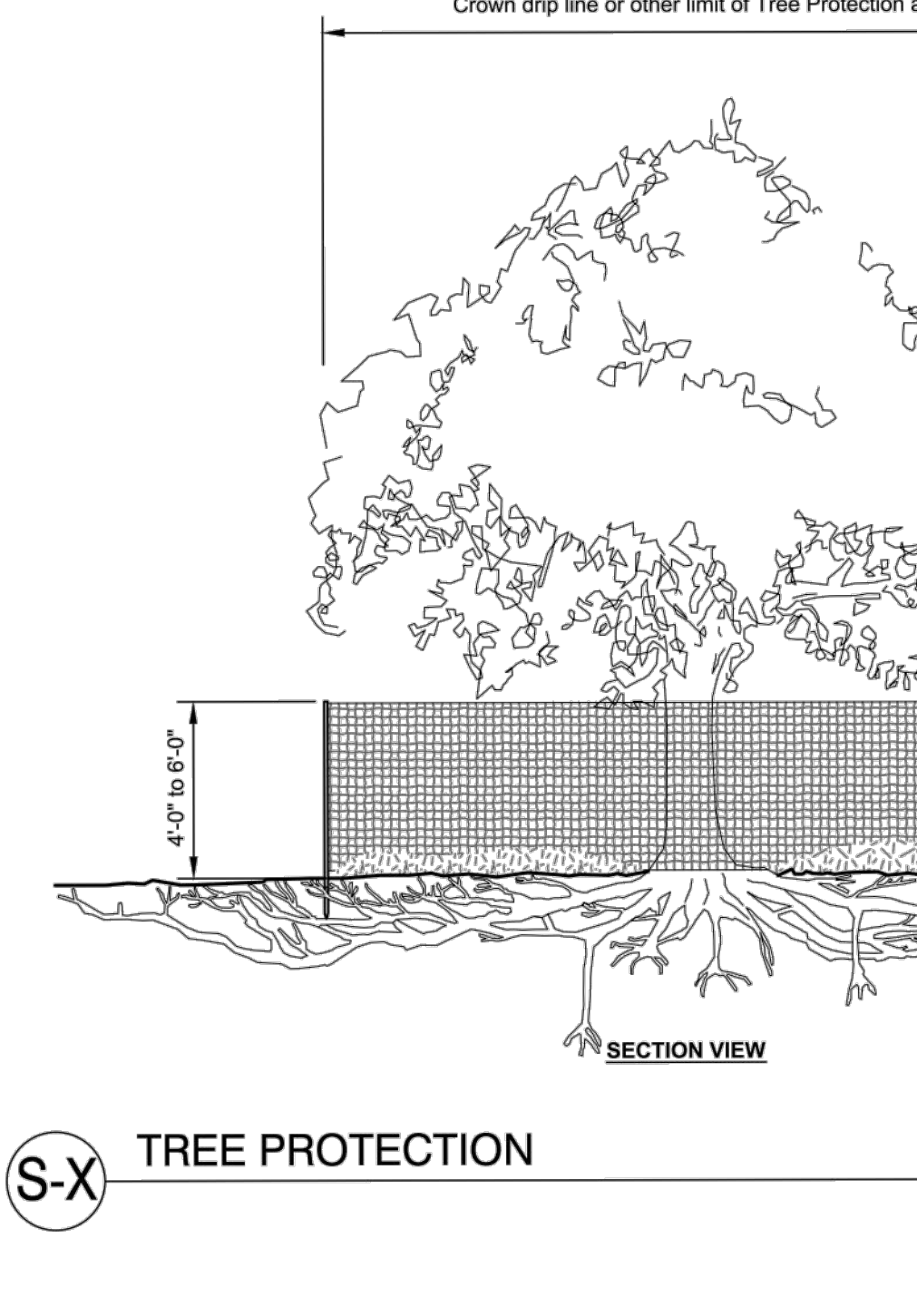
Stabilized Construction Entrance/Exit TC-1



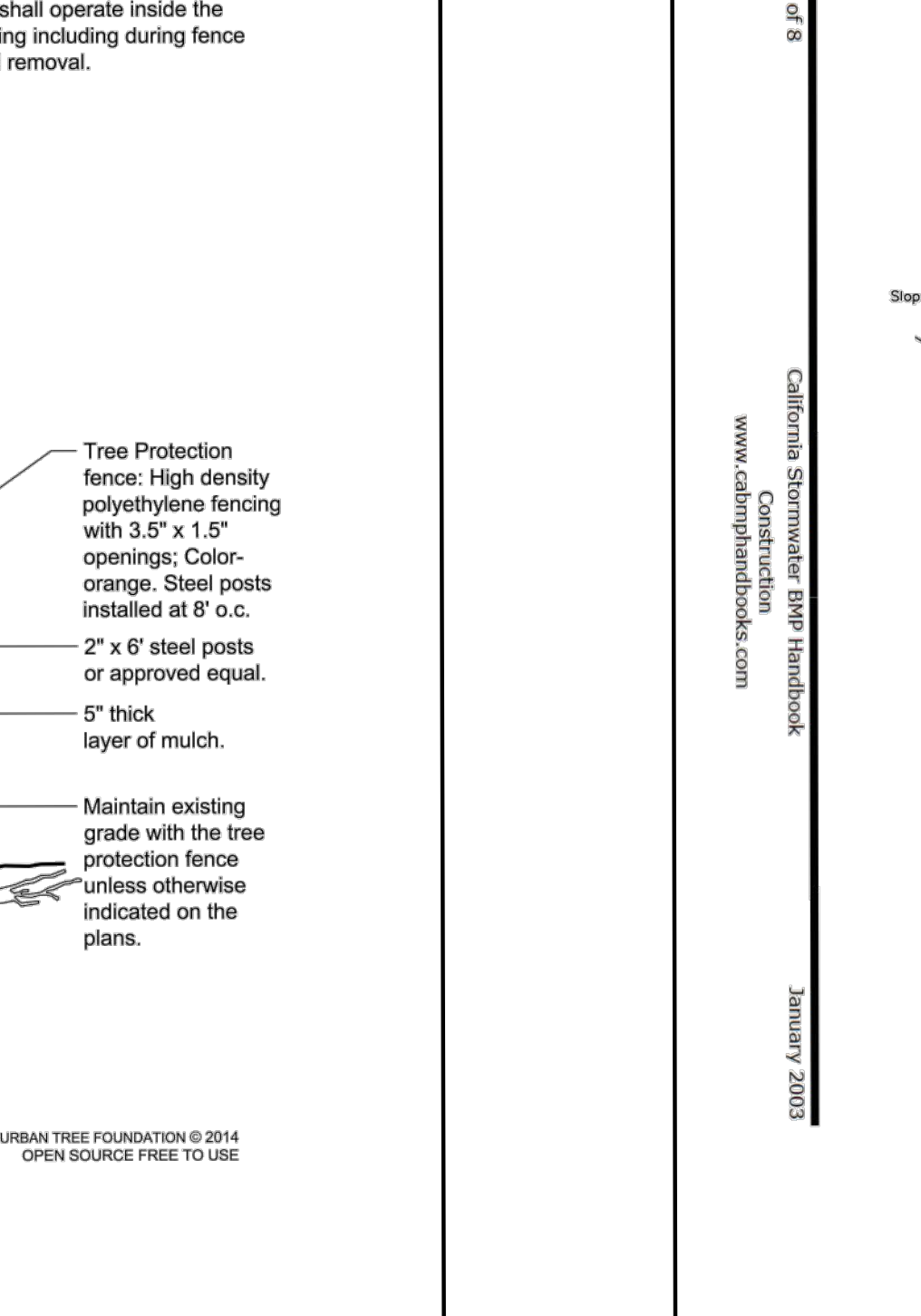
Fiber Rolls SE-5



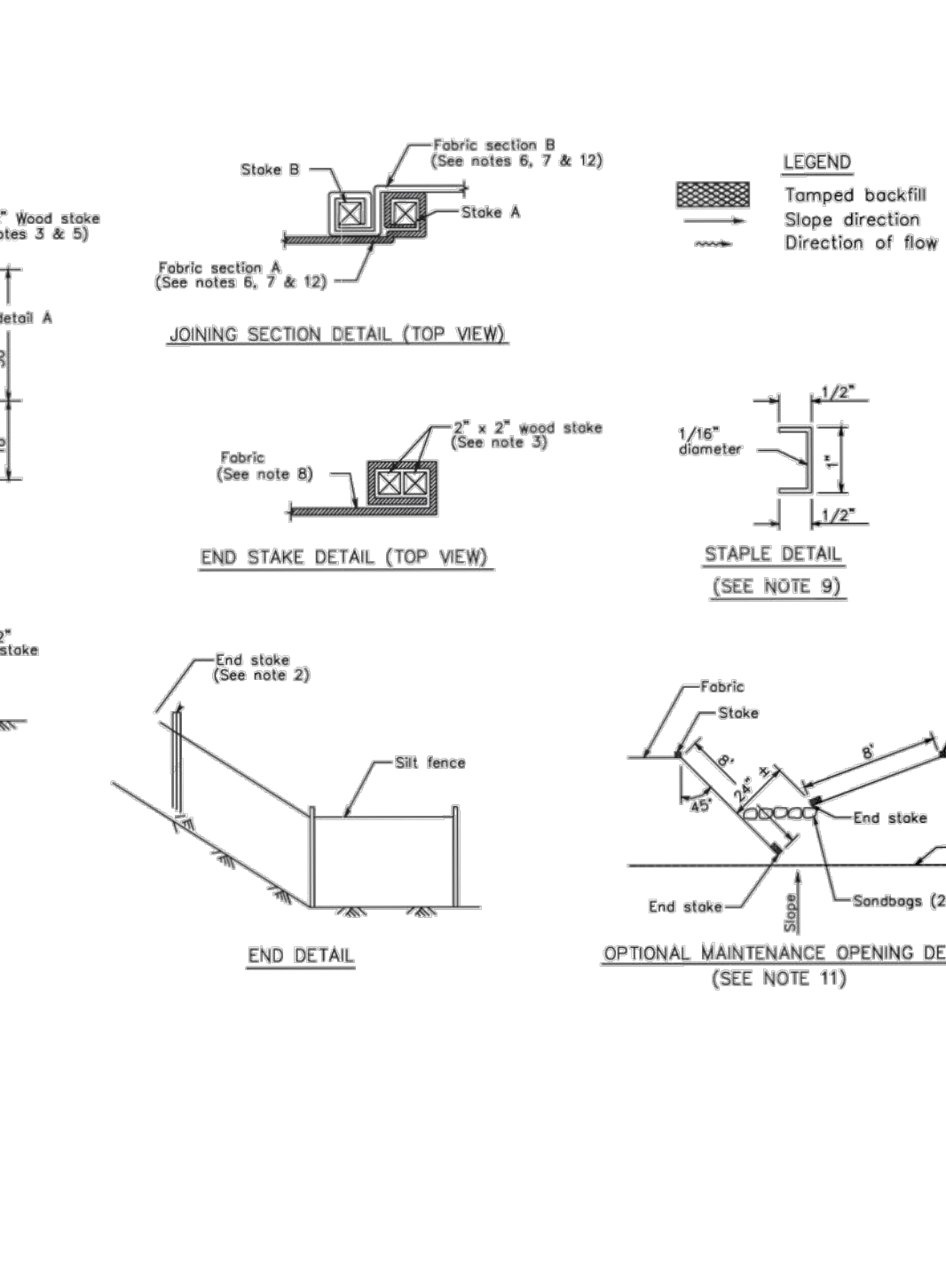
Tree Protection S-X



Concrete Waste Management WM-8



Silt Fence SE-1



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EROSION CONTROL DETAILS

NO.	REVISIONS	BY
6	PLANCHECK 01-30-23	JOR
5	PLANCHECK 05-24-22	JOR
4	PLANCHECK 04-07-22	JOR
3	PLANCHECK 11-25-21	JOR

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